

VIDLER ESTATES

Specific Plan

SP14-004

March 9, 2015

Prepared for:

**The Orlando Company Inc.
2039 San Elijo Avenue
Cardiff By The Sea, CA 92007**

Vidler Estates Specific Plan – Section I

INTRODUCTION

I. Introduction

A. Purpose

Vidler Estates will be developed in accordance with this Specific Plan. This Specific Plan is adopted by the City Council of the City of San Marcos and establishes development regulations and standards for Vidler Estates site. The Specific Plan will only focus on development and regulatory procedures that vary from existing procedures. Existing City policies and ordinances apply to development within the Vidler Estates Specific Plan unless specifically discussed in this text and graphics or conditions of approval. Should there be a conflict between this plan and existing city ordinances, the provisions of the Specific Plan shall prevail.

Preparation of a Specific Plan is a requirement of the SPA zoning classification. The Vidler Estates Specific Plan shall constitute zoning for all land covered by this plan. All conditions of this plan are imposed as a condition of this zoning approval that is described in Section V. Section V also describes the procedures required to amend this document.

B. Authorization

The authority for adoption of the Vidler Estates Specific Plan originates from the State Government Code Sections 65450-65457 and Chapter 20.250 of the San Marcos Zoning Ordinance.

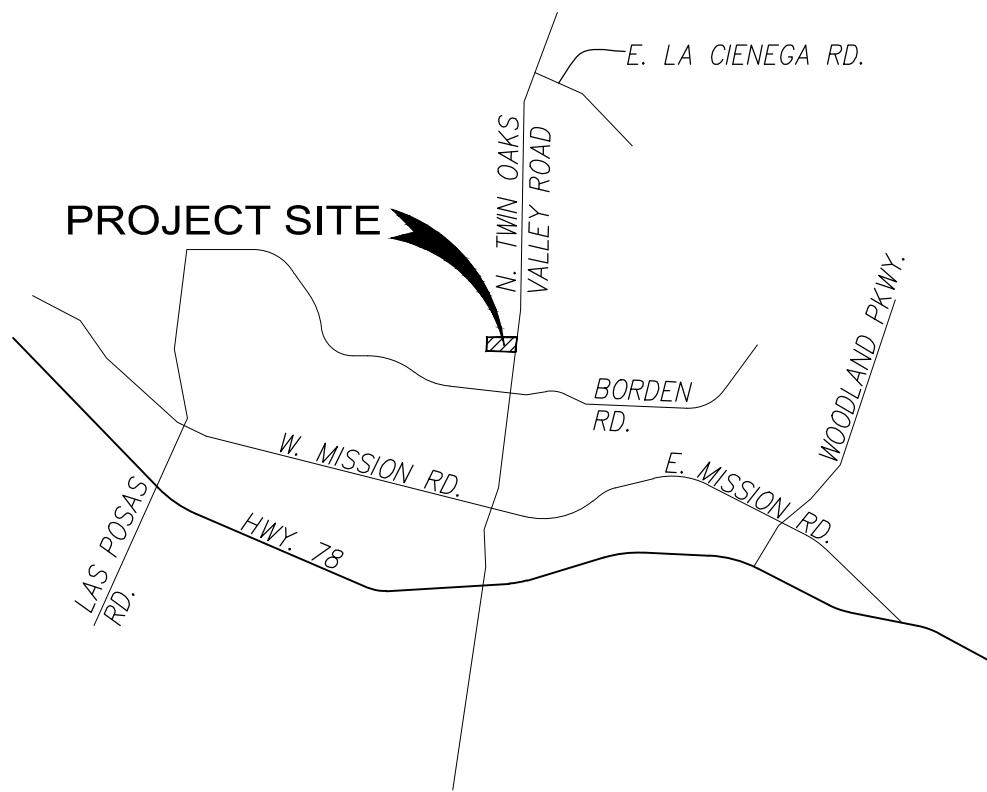
C. Scope

The Vidler Estates Specific Plan covers the 4.90 acre property at 824 N Twin Oaks Valley Road in the City of San Marcos. The property is bordered by single-family residential homes to the west and north, Twin Oaks Valley Road to the east, and light industrial to the south. The site is further discussed in Section II.

This Specific Plan is for 19 single family residential units. The conceptual land plan is included as Exhibit B. The Tentative Map is included as Exhibit C. The Development Plan is discussed in Section III.

EXHIBIT 'A'

VICINITY MAP



N



EXHIBIT 'B'

CONCEPTUAL LAND PLAN

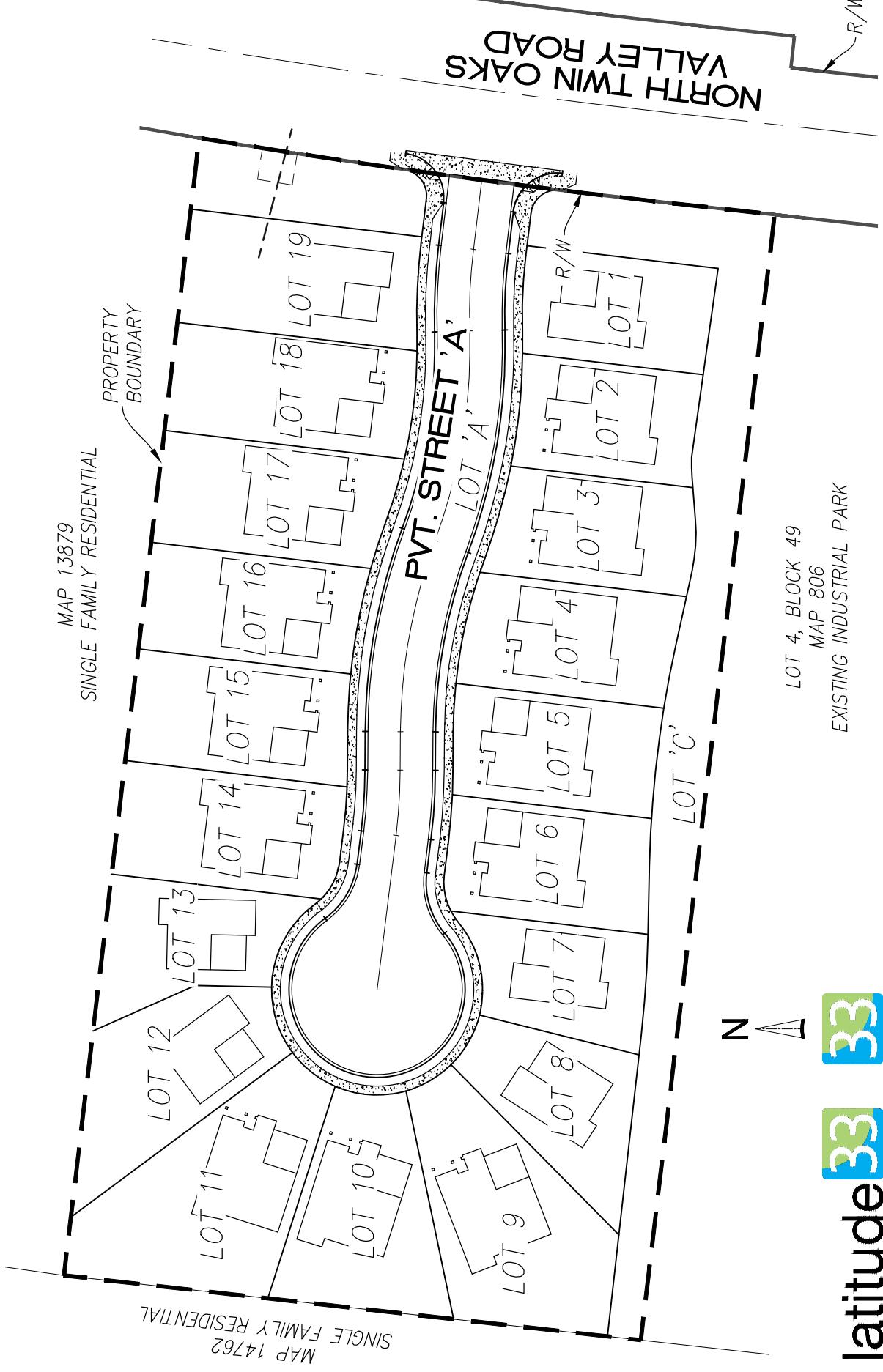
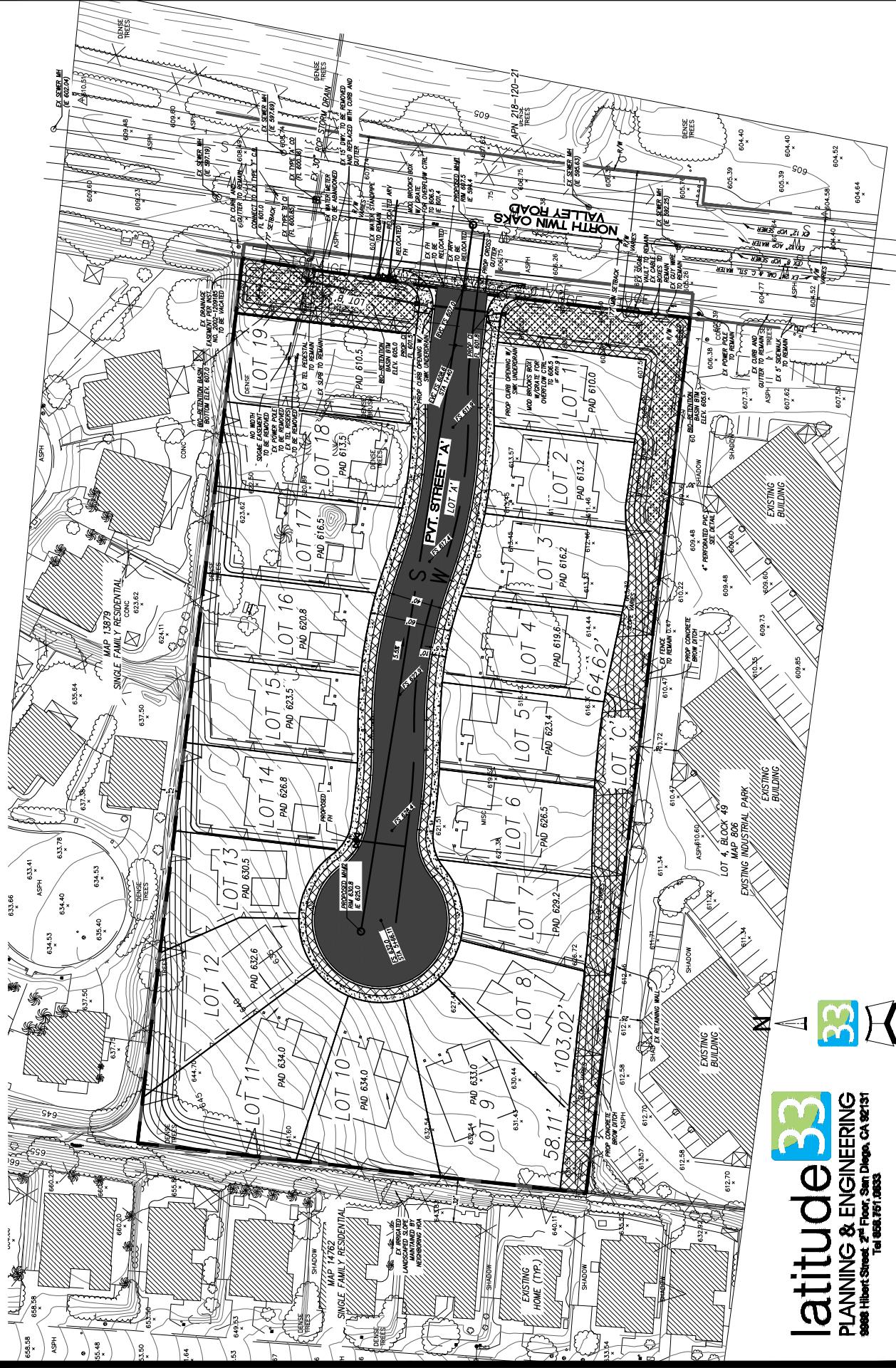


EXHIBIT 'C'
TENTATIVE MAP



Vidler Estates Specific Plan – Section II

SITE

II. Site

A. Description

The site is located in the Richmar Neighborhood as defined by the San Marcos General Plan on the north side of State Route 78 and just north of a light industrial corridor along N. Twin Oaks Valley Road. The APN of the property is 218-110-05. The site is designated in the General Plan as a Specific Plan Area, Very Low Density, 2-4 dwelling units per acre. The site is also identified as Focus Area 46 in the General Plan. The project requires review by CEQA and a MND has been prepared which requires adoption by City Council. The property is vacant land currently covered in weeds (house has been demolished and foundation has been removed). The site gradually slopes to the east and has a highpoint in the northwest area of the site. To the north and west, the site is surrounded by single family neighborhoods. To the east across from Twin Oaks Valley Road is open space as part of the Twin Oaks Valley Ranch Specific Plan.

The San Marcos Elementary school is located to the south of the site on San Marcos Boulevard and Tiger Way. The San Marcos Middle School is to the south west along West Mission Road. Pebblestone Park and Summer Hill Park are located to the south and west, respectively, along Borden Road and the City of San Marcos Senior Center is one mile to the south on Mission Road.

A local community college, Palomar College, is located to the west on Mission Road. Neighborhood retail stores are to the west along Mission Road and south along San Marcos Boulevard. Future residents will have pedestrian access to the elementary school, the Senior Center, and Pebblestone and Summer Hill Parks.

See Exhibit A for Vicinity Map.

Vidler Estates Specific Plan – Section III

DEVELOPMENT PLAN

III. Development Plan

A. Project Objectives

Vidler Estates shall serve as a furthering of the envisioned low density residential for this northern portion of the Richmar Neighborhood Community plan area of San Marcos. The project is adjacent to existing low density residential homes and is in close proximity to existing schools, parks, and retail. The project is also adjacent to an existing network of bike paths and in close proximity to the Civic Center Transit Station served by the Sprinter.

The development standards and the site layout strategies employed within the project are all intended to be compatible with the surrounding existing residential homes and create a buffer with the light industrial park to the south as well as connect the project to public amenities such as an elementary school, Senior Center, and public parks.

The projects primary goals are therefore to:

- a) Create a buffer with the light industrial development to the south.
- b) Create a project with visual continuity with adjacent residential developments through the incorporation of guidelines for architecture, grading techniques, and landscaping.
- c) Ensure that all public facilities and services are available to serve the project and meet or exceed applicable City standards and requirements prior to, or concurrent with development.
- d) Implement a landscape program to reduce any adverse effects of grading.
- e) Revitalize a vacant residential lot in the Richmar Neighborhood Area and along N. Twin Oaks Valley Road.
- f) Provide a walkable community to reduce automobile use. Facilitate access to urban trails along N. Twin Oaks Valley Road and Borden Road.
- g) Take advantage of the nearby transit infrastructure to facilitate ridership.

B. Project Description

The development plan includes 19 single family lots with planned two-story homes. The project will provide a private residential street designed to public standards with parkways and sidewalks on both sides that will provide pedestrian access to N. Twin Oaks Valley Road. There will be an open space buffer area along the southern boundary of project. See Exhibit F for cross section of Street "A".

C. Circulation

Because the project is of an infill nature and takes advantage of the public infrastructure investment already in place, the circulation system within the surrounding neighborhood is envisioned to function as it does presently and automobile access to the site will occur from N. Twin Oaks Valley Road.

D. Public Facilities

The public facilities described below are necessary to accommodate the projected development of the Vidler Estates project. The engineering details of these facilities will be determined through the development review process.

1. Water

The Vidler Estates site is presently within the water service area of the Vallecitos Water District (VWD). Currently, a 12-inch water main exists in N. Twin Oaks Valley Road. A new public 8" water main will be constructed within the project to serve the 19 lots. The proposed development will utilize 19 water meters (one for each lot) plus one meter for irrigation of common areas.

2. Sewer

Vidler Estates is presently within Vallecitos Water District for sewer service. There is a 12" sewer main in N. Twin Oaks Valley Road, and this is adequate to serve the development. A new 8" sewer main will be constructed within the project to serve each lot.

3. School District

Vidler Estates is presently within the San Marcos High School District.

4. Fire and Police Districts

Vidler Estates is presently within the San Marcos Fire Protection District and the San Diego County Sheriff's Department.

5. Solid Waste

The Vidler Estates site is presently within the EDCO Recycling & Waste Collection District.

6. Gas and Electric

Vidler Estates is presently within the San Diego Gas & Electric District.

7. Telephone

Vidler Estates is presently within the Pacific Bell Telephone Company District.

8. Parks and Recreations

Vidler Estates is presently within the San Marcos Community Services Department.

9. Stormwater

Vidler Estates is presently within the stormwater service area of the City of San Marcos.

Vidler Estates Specific Plan – Section IV

DEVELOPMENT GUIDELINES

IV. Development Plan Guidelines

A. Design Approach

This following standards are designed to create diversity, while respecting the needs of today's building process. The goal is to create a neighborhood with consistent streetscape elements coupled with diversity of architecture. While the whole composition is unified, individual homes present variation in style, massing, detailing and color. In addition to these guidelines, development covenants, conditions and restrictions (CC&R's) administered by the HOA will be prepared in conjunction with the Final Map recordation to ensure the future development compliance with the design standards set forth.

This Single Family Residential area is characterized by lots that range from approximately 6,100 S.F. to 12,000 S.F., with a density of 3.9 units per acre.

1. Architectural Guidelines

The architectural character of Vidler Estates will be designed to complement the surrounding neighborhoods as well as the history of San Marcos. This single family residential neighborhood is envisioned to have a strong emphasis on overall neighborhood quality by offering various plan types and elevation styles. The design concepts found in older, traditional neighborhoods throughout San Marcos should be incorporated into these neighborhoods in order to create a strong sense of community and reinforce country-style living.

There will be 2-3 different floor plan types with anticipated sizes ranging from 2,500 square feet to 3,500 square feet although this may vary based on the market at the time of development, with a minimum floor plan size of 1,950 square feet. Each of the three models is recommended to have at least two architectural styles and color schemes which can be employed to create visual interest. The same model and floor plan can be expressed with different architectural treatment, window grouping and pattern, roof pitch and varying roof forms such as gables and hips. The architectural styles are Craftsman and Old World.

Craftsman Style

Low sloping roofs with deep overhangs, multiple gables, asymmetrical compositions, expressive trim, rafters, and porches help to characterize the Craftsman Style. Building materials are a mix of stucco, horizontal siding, shingle siding, board and batt and stone veneer. Some key elements of the Craftsman style are:

- Flat or shingle tile roof
- Broad overhangs at rake and eave, with exposed rafter tails
- Outlookers and braces typical at gable ends of roof
- Gable ends vents are integral to design of gable elevations
- Windows are vertically proportioned and may be ganged in the horizontal groupings with divided lites in all or top portion of the window.
- Louvered shutters
- Well detailed porch columns of stone, brick, wood or plaster, tapered or double columns

Old World Style

Old World architecture is simplistic in design and features stucco exterior finishes, natural stone facades, windows with shutters, and wood beams as architectural frameworks. Some key elements of Old World style are:

- Barrel tile roof
- Exposed rafter tails or continuous corbel at eave
- Arched door and window openings
- Recessed windows and doors of vertical proportions with divided lites
- Simple Plank Shutters
- Ornate wrought iron balconies, window grills, awning braces and light fixtures
- Decorative gable end vents

2. Massing and Design

Wall and roof plans shall be varied and articulated. The primary building elevation toward the street shall be architecturally enhanced, and have at least two articulation or changes in plane. Each home shall have horizontal building offset. Architectural features such as balconies, porches, chimneys, door placement, window proportions, building detailing, fencing, and material and color scheme should be carefully considered to complement the overall architectural style of the building.

Variation in roof pitch, style, overhangs and eave detailing shall be incorporated in the various styles.

For homes with side yards facing Twin Oaks Valley Road (Lot 1 and Lot 19) side elevation articulation requirements are the same as front elevation articulation, including architectural enhancements. In addition, architectural enhancements will be required for the rear elevations of Lots 1, 2, and 19.

Garages must be set back a minimum of 5 feet behind the leading edge of the house. The prominence of garage doors viewed from the street should be minimized by such methods as subdividing them into multiple doors to reduce scale, incorporating doors into the architectural character of the primary structure, placing other architectural features such as porches, bays and upper floors forward of the garage, or deeply recessing front loaded, attached garages. Garage doors will have a decorative design. Floor plans will vary so the street view does not have overwhelming garage door prominence.

3. Materials and Colors

Building materials and colors shall be in keeping with the architectural style of the buildings. Acceptable materials include stucco, stone, brick, siding and shingles, with wood and wrought iron accents. Accent materials and window and door articulation shall be wrapped around the side elevations to coincide with an architectural element. Street facing side elevations shall have a continuation of accent materials and window and door articulation for the length of the elevation. Special attention should be paid to the rear elevations where viewed from adjacent residential properties.

4. Details

Window type, composition and proportion are key character-giving elements of a building façade and should be designed with the architectural style in mind. Windows should be vertically proportions, divided-light windows should be consisting with the architectural style, and shutters should be appropriate sized to the window opening. Window and door trim shall be provided based on architectural style. Recessed windows are encouraged to provide shadow and interest in the façade.

Detail and proportion overhangs and eaves to complement the architectural style of the building.

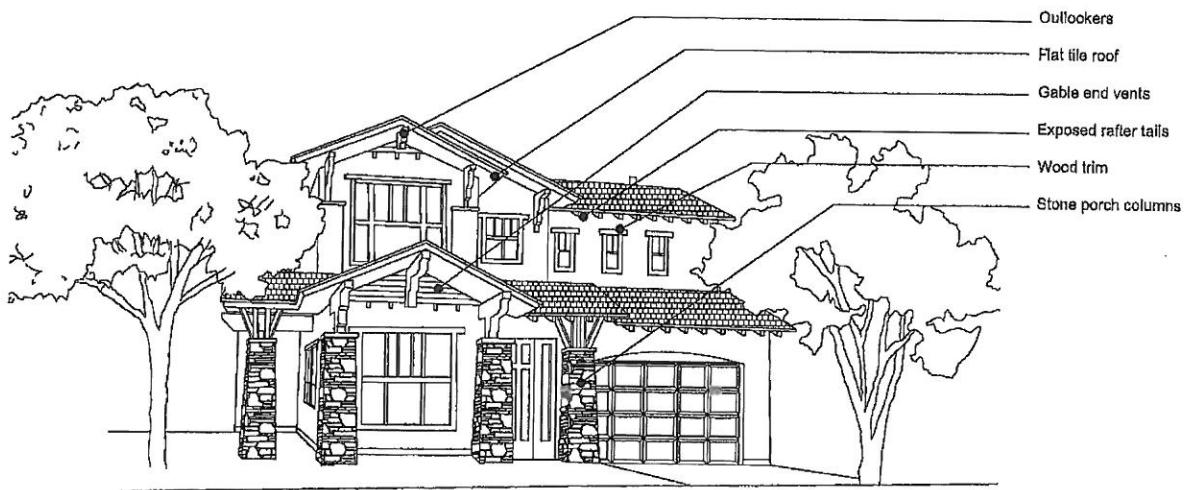
See Exhibit D and E for general architectural character.



Old World Style 1



Old World Style 2



Craftsman Style 1



Craftsman Style 2

B. Landscape Plan

1. Concept Landscape Plan

Vidler Estates proposes a single-family neighborhood that should be designed for a pedestrian. The landscaping should provide a cohesive community image that ties the variety of architectural styles together. The framework of the streetscape should be defined by canopy street trees and grade level planting that enhances and guides the pedestrian experience as one moves from the more traffic intensive N. Twin Oaks Valley Road to the more passive cul-de-sac of the site. Root barriers will be required for street tree plantings.

Plant material will be chosen for its appropriateness to scale, performance in the region, drought tolerance and suitability of use. Landscape materials will be used to enhance and accentuate architectural elements, provide a visually stimulating site element and also be used to screen obtrusive views and elements.

All landscaping within the Vidler Estates Specific Plan shall adhere to the guidelines set forth by the City of San Marcos Water Efficiency Landscape Standards of the San Marcos Municipal Code. Landscape plans will be required to be submitted for review and approval prior to issuance of the grading permit.

2. Streetscapes

N. Twin Oaks Valley Rd., Project cul-de-sac

The project streetscape will be the front door to the project and provide a level of visual relief as well as additional sensory enhancement. Street trees will be provided at each lot to provide a canopy of shade, filtered sunlight, and articulation to the site. The streetscape for N. Twin Oaks Valley Rd. will provide continuity through community as the project will continue the strong streetscape design/theme that exists on these streets. Plantings per the final landscape plans will be consistent with the Tentative Map documents and the Water Quality Improvement Plans particularly within the bio retention basins. Any future modification will require City approval.

Street trees for the cul-de-sac will provide shade as well as an ability to define the project edge and a separation between vehicular and pedestrian traffic. The design of these frontages will encourage pedestrian activity and connectivity from the development to the community through the design of sidewalks. The selection of shrub and ground cover species is important as a support mechanism to the street trees and provides a greater definition of scale at the street level for pedestrians.

Perimeter / Interior Slopes

The perimeter landscape areas consist mainly of a 20'-30' landscape buffer on the south side of the project. The plant palette for this area shall be consistent with the streetscape but shall incorporate native and indigenous plant material to address long term water needs. Slopes within individual properties shall consist primarily of native and indigenous or drought tolerant ornamental plant material. Use of both deciduous trees and evergreen trees is encouraged to provide variation in both form and color. Slopes shall contain a mixture of trees, shrubs, and ground cover to provide adequate coverage for beautification and erosional control purposes. Native and indigenous or drought tolerant ornamental plant material is encouraged in combination with grasses for all slope areas.

Walls and Fencing

Perimeter project masonry walls, whether constructed for privacy or sound attenuation, should be constructed of split face block in earth tones to blend into the landscape as much as possible. Wall and fence heights will be 6'. Sound walls may also be a combination of masonry and plexiglass. Use of tubular steel fencing is encouraged where view opportunities exist. Tubular steel fencing may be used in combination with masonry walls where low level screening is needed but the ability to maintain views or provide a more 'open' feel to the adjacent common area(s) is desired. Walls or fencing that are interior to each project will match perimeter walls and fencing. Use of wood or vinyl fencing for interior side yard conditions or in areas where privacy is desired is encouraged. Pilasters will be used for walls along N. Twin Oaks Valley Road and in conjunction with tubular steel fencing.

C. Land Use Guidelines

1. Lot Size

The minimum lot size is 6000 sf and average is 8030 sf and is consistent with adjacent surrounding development. Lot width shall be 50 feet minimum with exception of lots at cul-de-sac which can be 30 feet minimum. Lot depth shall be 90 feet minimum.

2. Setbacks for Main Residence

The following are minimum setbacks for building walls:

- a) Front yard setbacks will be 15 feet and 20 feet to garage face from property line.
- b) Side yard setback is 5 feet to property line including 3' min. to any slope or retaining wall.
- c) Rear yard setback of 20 feet to property line.
- d) 77 foot setback along Twin Oaks Valley Road taken from the road centerline for Lots 1 and 19.

3. Building Height

Height limit of two stories and a maximum of thirty five feet (35') with exceptions given for architectural features such as chimneys and finials as approved by the City.

4. Garage Requirements

For homes less than 3,000 square feet the requirement is an attached 2 car garage. The minimum interior dimensions will be 20 feet x 20 feet, with a minimum of 400 square feet. The garage shall be constructed out of the same materials as the principal dwelling structure on the lot or parcel. For a home larger than 3,000 square feet, the requirement is an attached 3 car garage. The minimum interior dimensions will be 20 feet in depth with a minimum 640 square feet. The third space may be tandem; no required portion shall be eligible for garage conversion.

5. Attached patio covers and balconies will comply with setbacks for main residence.

6. Accessory Structures Requirements:

- a) Accessory structures are prohibited in the front yard.
- b) Side and rear yard setbacks is 5 feet from property line.

- c) A minimum of (5) feet separation from the primary residence or any other accessory structure.
- d) All accessory structures shall be architecturally compatible with the existing residence on the same lot.
- e) All accessory structures shall blend with the existing residence on the lot and neighborhood residences by incorporating the same or similar architectural features, building materials, and color as the primary dwelling unit on the property. These features shall include roofing material, roof design, fascia, exterior building finish, color, exterior doors and windows (including ratios of window dimensions [i.e., width to height] and window area to wall area), garage door, and architectural enhancements.
- f) The exterior design of all accessory structures shall be in harmony with and maintain the scale of the neighborhood. The design of the accessory structure shall relate to the design of the primary residence and shall not visually dominate it or the surrounding properties.
- g) Shall be limited to uses that are accessory to the main use, including a cabana, garage or carport, gazebo, greenhouse, pergola, pool and/or spa and related equipment, or workshop. An accessory structure shall not be used for dwelling purposes. Bathtub(s), fireplace(s), and/or kitchen (full or partial) facilities are prohibited in accessory structures. Air conditioning, heating, shower, toilet, washtub, and/or washer and dryer facilities are allowed within an accessory structure; however, a deed restriction shall be required and shall state that the accessory structure shall be maintained as an accessory structure and shall not be used for sleeping quarters or be converted to a residential use.
- h) For those lots 7500 square feet or greater, the maximum allowable gross floor area for all completely enclosed accessory structures in conjunction with an existing single-family residence shall be equal to forty percent (40%) of the living area of the primary residence, or eight hundred (800) square feet of gross floor area, whichever is less. For those lots less than 7500 square feet, the maximum size for an accessory structure is four hundred (400) square feet or as approved by the Planning Division Director. The total gross floor area shall include all accessory structures, including those that do not require a building permit, with the exception of those that are completely open on at least three (3) sides, exclusive of any supporting columns.
- i) Height of the accessory structures(s) shall be one (1) story maximum, fifteen (15) feet at peak of roof, and shall not exceed the height of the primary residence.

7. Second dwelling units are prohibited.
8. HVAC units shall be placed at least nine (9) feet from any property lines unless a 6-foot high masonry wall is constructed between the unit and the adjacent single-family lot. If quieter HVAC units are proposed than that analyzed in the RECON noise study (dated 1/16/15), then a supplemental analysis shall be submitted prior to issuance of building permit to substantiate the quieter equipment will comply with the 50 dBA noise limit for nighttime hours at the property line.
9. Grading
All grading within the Vidler Estates Specific Plan will comply with the City's Grading Ordinance.
10. Landscape Buffer
The landscape buffer will be along the south side of the Vidler Estate site, behind lots 1-9. The landscape buffer will vary from 20' to 30' width. The landscape buffer shall not be reduced in size and shall be maintained in a healthy manner by the HOA.

EXHIBIT 'F'

PRIVATE STREET 'A' SECTION

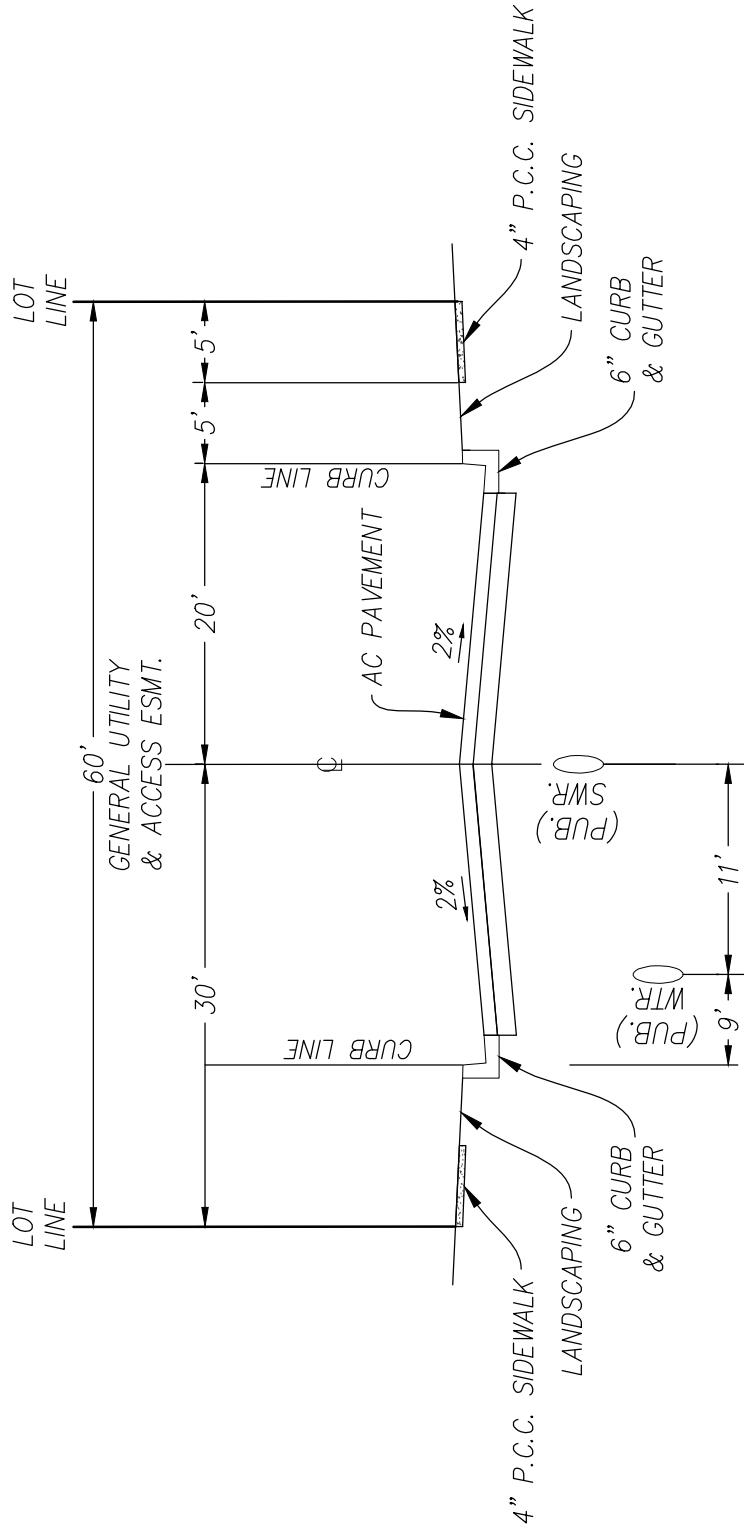
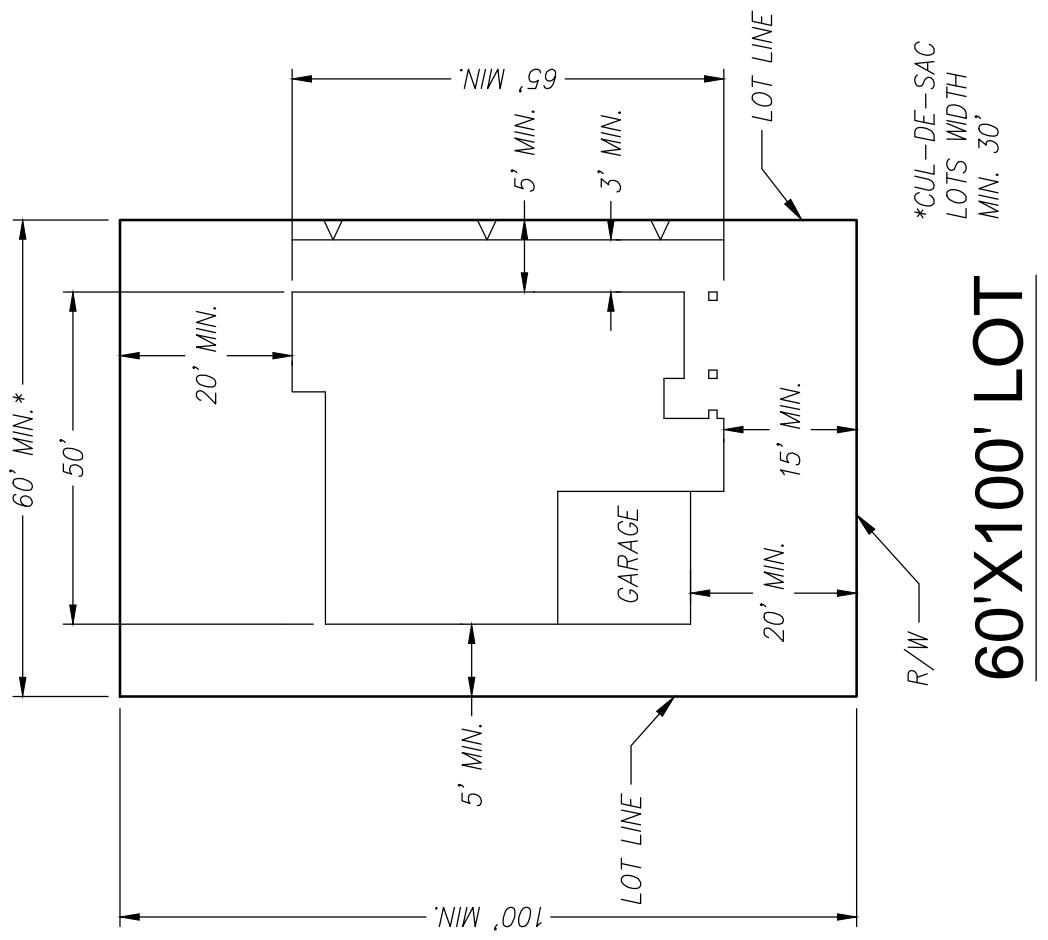


EXHIBIT 'G' LOT PLANS



NOT TO SCALE

NOT TO SCALE

60'X100' LOT

*CUL-DE-SAC
LOTS WIDTH
MIN. 30'

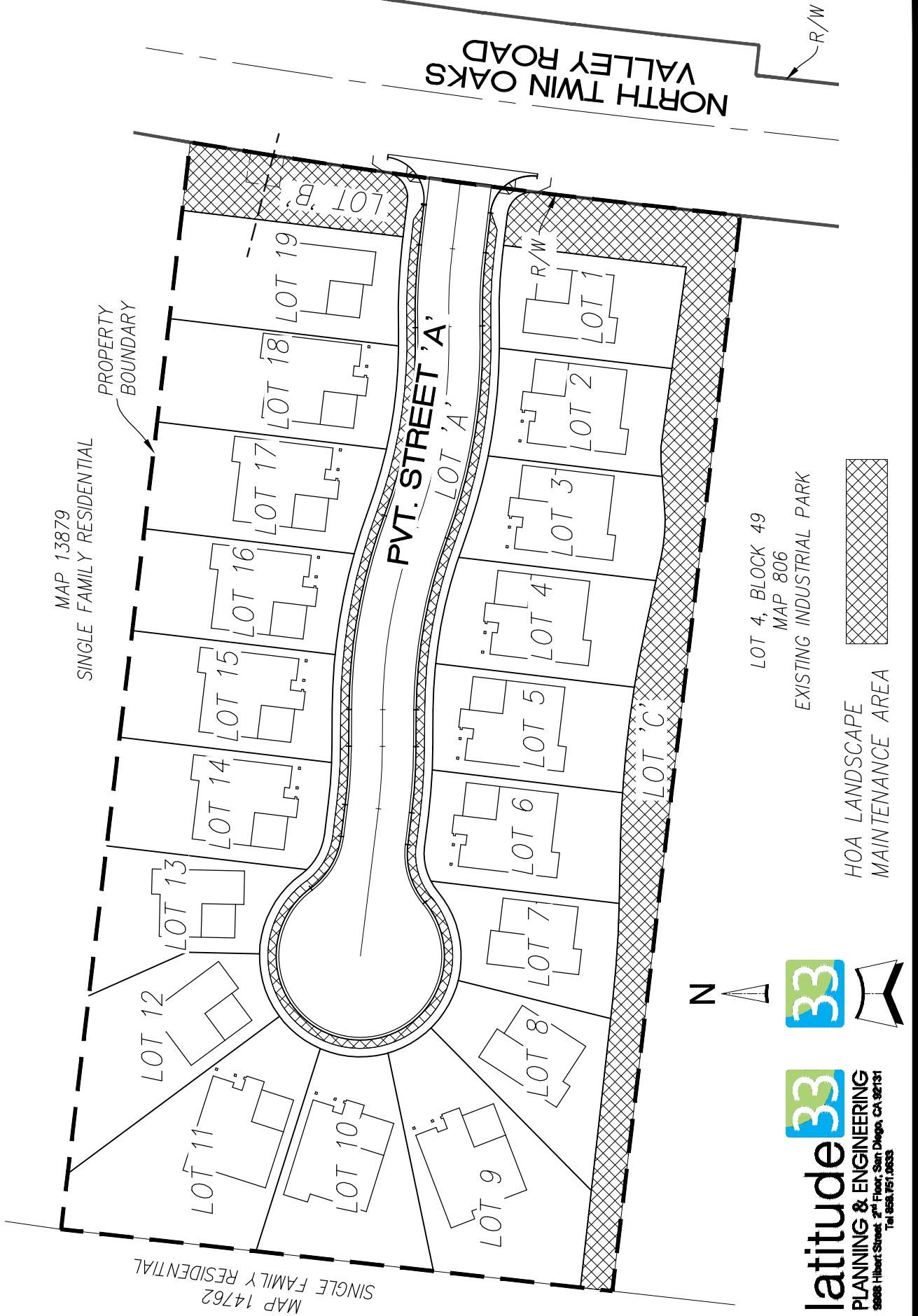
*CUL-DE-SAC
LOTS WIDTH
MIN. 30'

50'X90' LOT

The logo for Latitude 33 Planning & Engineering. It features the word "latitude" in a large, lowercase, sans-serif font, with the number "33" in a large, blue, rounded font to its right. To the right of "latitude" is a vertical stack of text: "PLANNING & ENGINEERING" in a bold, black, sans-serif font, "2nd Floor, San Diego, CA 92131" in a smaller, black, sans-serif font, and "Tel 657.751.0633" in a very small, black, sans-serif font at the bottom.

EXHIBIT 'H'

HOA LANDSCAPE MAINTENANCE AREAS



Vidler Estates Specific Plan – Section V

IMPLEMENTATION

V. Implementation

A. Review Process

Chapter V establishes the development review process for Vidler Estates. The scope of the project includes approval of a Tentative Subdivision Map, Specific Plan, and Mitigated Negative Declaration.

B. Development Plan Review

The primary purpose of the Tentative Subdivision Map is to subdivide land into 19 single family lots and additional HOA lots and dedicate public easements. Plan Review shall be to determine that the project is being developed in a manner that conforms to the goals and standards specified by this Specific Plan and to ensure compatibility with all appropriate City policies and ordinances. Project goes first to Planning Commission for recommendation to City Council. Then the project requires approval by City Council. Subsequently, grading, street improvements, landscaping, and Final Map are submitted for City review and approval. Building Plans are submitted for review and building permit issuance. Architectural elevations will require approval by the Planning Division Director prior to grading plan submittal.

C. Specific Plan Amendments

Approval of this Specific Plan signifies the City of San Marcos specific development standards for Vidler Estates. It is anticipated that certain modifications to the Specific Plan text and Exhibits may be necessary during the life of the project. Any modifications to the Specific Plan shall occur in accordance with the amendment process described in this section. These amendments, should they occur, are divided into two categories. Administrative amendments allow for minor changes to the Specific Plan and may be approved by Planning Division Director. All other proposed changes are considered formal amendments and require recommendation by the Planning Commission and approval by City Council. In all cases amendments must be found to be consistent with the goals and development standards of the Vidler Estates Specific Plan and the City's General Plan.

1. Administrative Amendments

Upon determination by the Planning Division Director, certain minor modifications to the Specific Plan text and/ or graphics may not require formal amendments (i.e. through public hearing) to the Specific Plan as approved. The Planning Division Director has the authority to approve modifications to the Specific Plan Amendment as follows:

- a) Minor modifications to the Specific Plan may be allowed providing such future amendments shall not increase the approved densities of the Specific Plan, or permit a new use or group of uses shown on the approved Specific Plan. Minor modifications are a public notification process.
- b) Modification of design criteria such as paving treatments, and architectural style and details.
- c) Landscape treatments, fencing, lighting, and entry treatments, provided the modifications are in substantial conformance with the purpose and intent of the specified design criteria. Additional environmental review shall not be required for administrative amendments to the Specific Plan, provided such changes are determined to be in accordance with the overall intent of the Specific Plan and do not represent, (a) a substantial change in the project which would require major revisions to the previous Mitigated Negative Declaration due to the involvement of new significant environmental effects, (b) a substantial change in the circumstances under which the project is being undertaken that will require major revisions in the previous Environmental Assessment, or (c) new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence to the project, at the time the previous Mitigated Negative Declaration was certified.

2. Formal Amendments

All Specific Plan modifications which do not meet the criteria of an Administrative Amendment noted in this chapter shall be deemed to require a Formal Amendment of the Specific Plan. These amendments shall be processed pursuant to Chapter 20.535 of the San Marcos Zoning

Ordinance. The Planning Commission and City Council shall review all Formal Amendments for approval. The Specific Plan text and exhibits represent an integrated, well-balanced plan for development that has been reviewed in great detail by the City's staff, Planning Commission and City Council. Any request for a Formal Amendment to the Specific Plan shall require serious consideration as it relates to the intent of the original Specific Plan. Therefore, it shall be the responsibility of the amendment applicant to demonstrate that:

- a. The proposed amendment meets the goals and objectives of the San Marcos General Plan and the Community Plan; and
- b. Any impacts to the Specific Plan resulting from the amendment can be satisfactorily addressed.

It shall also be the applicant's responsibility to update the Specific Plan text and graphics and any Specific Plan studies and/or provide additional studies when determined necessary by the Director of Planning.