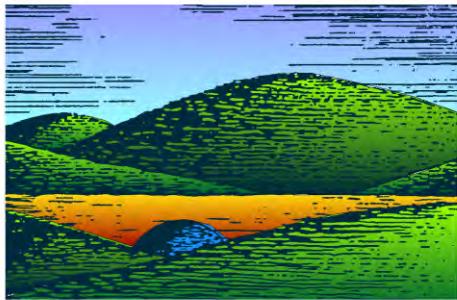


SAN MARCOS



HIGHLANDS

SPECIFIC PLAN

San Marcos Highlands SPECIFIC PLAN AMENDMENT

P13-0009 (SP 13-001, TSM 13-001, CUP 13-010, ROZ 14-001, PZ 14-001,
GPA 15-002)

Originally Adopted: October, 1990
Amended: July, 2002
Second Amendment: June, 2016

Prepared for:

City of San Marcos
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Property Owner:

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INTRODUCTION

I. INTRODUCTION

A. PURPOSE

The San Marcos Highlands properties will be developed in accordance with this Specific Plan. This Specific Plan is adopted by the City Council of the City of San Marcos and establishes development regulations and standards for San Marcos Highlands. The Specific Plan addresses land uses, circulation, allowable uses, development regulations, design guidelines, and implementation of the project. The Specific Plan will only focus on development regulatory procedures that vary from existing procedures. Existing City policies and ordinances apply to development within the San Marcos Highlands Specific Plan unless specifically discussed in the text and graphics herein. Should there be a conflict between this Specific Plan and existing City ordinances the provisions of this Specific Plan shall prevail. Preparation of a Specific Plan is a requirement of the SPA zoning classification. The San Marcos Highlands Specific Plan shall constitute zoning for all land covered by this plan. All conditions of this plan are imposed as a condition of this zoning approval. Chapter IV describes the procedures required to amend this document.

B. AUTHORIZATION

The authority for adoption of the San Marcos Highlands Specific Plan originates from the State Government Code Sections 65450-65457 and Section 20.535 of the City of San Marcos Zoning Ordinance.

C. LOCATION

San Marcos Highlands Specific Plan Area covers a total of 265.8 acres. The entirety of the San Marcos Highlands project area encompasses a total of 293.3 acres, inclusive of 22.8 acres of an off-site contiguous mitigation parcel, and an additional 4.7 acres dedicated as contiguous off-site easement for a habitat linkage, in the north central portion of the City of San Marcos. Exhibit I-1 illustrates the regional context of the site and locates it within the City. The project site is bounded by scattered estate homes and orchards to the north, vacant land and estate homes to the west, vacant land to the east, and the residential Santa Fe Hills (Paloma) community to the south. The surrounding parcels in the County range from 2 acre to 10 acre minimum lot size zoning. The Santa Fe Hills (Paloma) project was developed in conjunction with an approved Specific Plan. Santa Fe Hills (Paloma) minimum lot sizes range from 4,000 to 7,225 square feet. In the area adjacent to San Marcos Highlands, the minimum permitted lot size is 4,400 square feet. The San Diego Aqueduct borders the northwest portion of the property. Las Posas Road, which passes

INTRODUCTION

through the site, will provide access to Mission Road to the south and is ultimately part of the City of San Marcos and County of San Diego's General Plan Circulation Element to ultimately connect to Buena Creek Road to the north. In terms of the San Marcos General Plan the San Marcos Highlands Specific Plan area is located within the College Area Neighborhood.

D. PHYSICAL SETTING

The topography of the San Marcos Highlands can be characterized by hilly terrain traversed by a northeast-southwest trending drainage corridor. An earthen dam is located on the east side of the property which created a one-acre pond, which is now dry. The pond was previously fed from agricultural runoff and water from the now repaired leak from the Vista Irrigation District (VID) flume. The earthen dam is located along the drainage corridor near the center of the property. Elevations range from approximately 600 to 1300 feet above mean sea level. Exhibit I-2 is a map depicting the topography of the project site.

Vegetation within the Specific Plan area consists primarily of Diegan Coastal Sage Scrub on the hills and Freshwater Marsh/Riparian habitat along the drainages. A stand of eucalyptus trees is located south of the small reservoir. Disturbance within the project area is minor, consisting of graded dirt roads and fire roads, and minor recent trash dumping. Exhibit I-4 provides a summary analysis of the opportunities and constraints presented by the property. Project design has responded to a number of these factors:

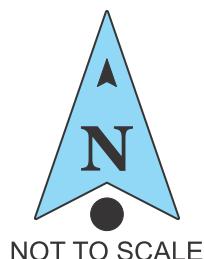
- Access
- San Diego Aqueduct
- Riparian Areas
- Steep Slopes
- Visually Sensitive Areas

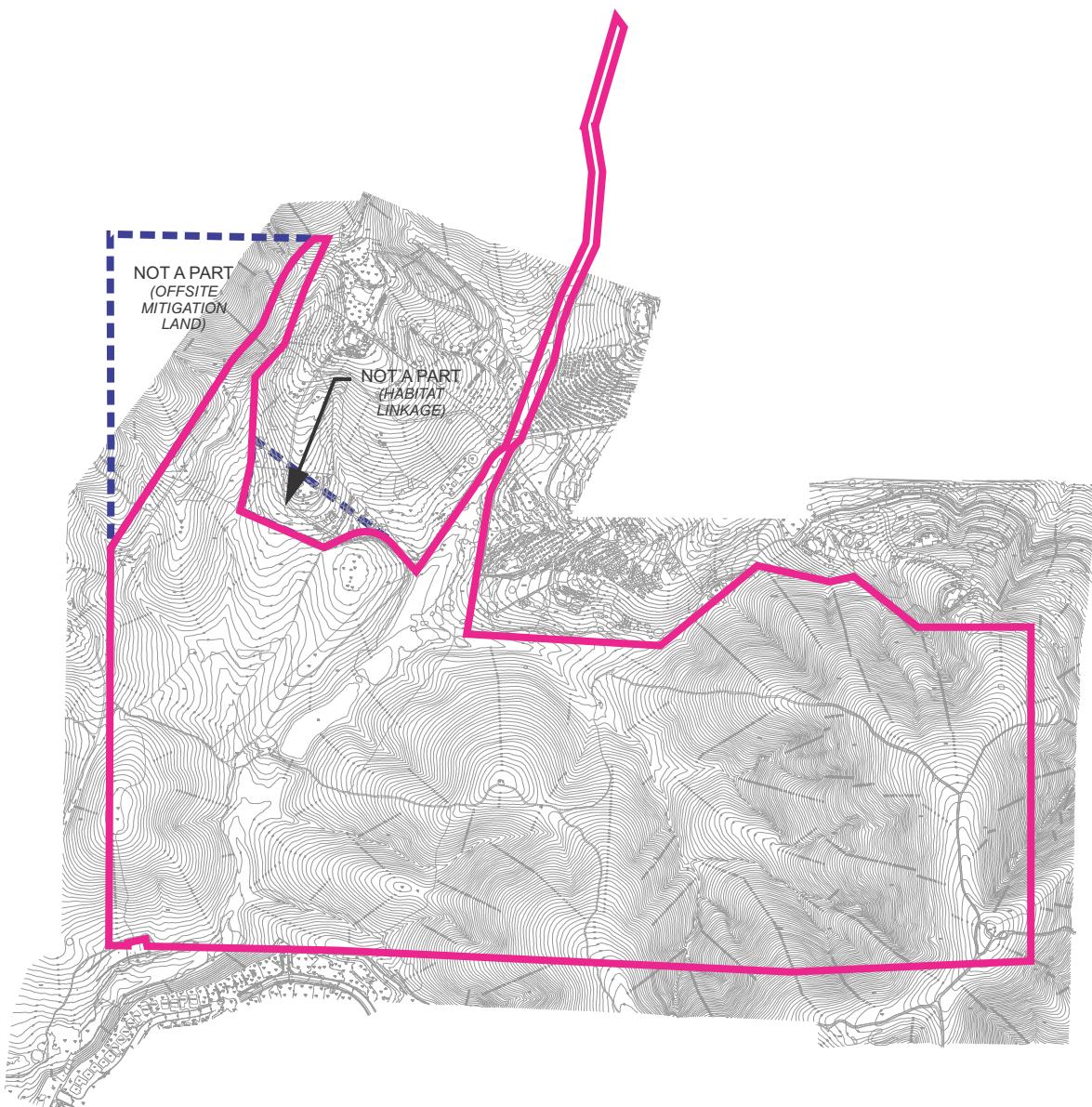


Project Vicinity

Exhibit I-1

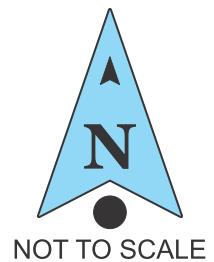
SAN MARCOS HIGHLANDS





Topographic Map
SAN MARCOS HIGHLANDS

Exhibit I-2



INTRODUCTION

E. GENERAL GOALS

The following goals have been established to guide the development of this Specific Plan. All development within the San Marcos Highlands Specific Plan area shall comply with these seven goals:

1. This Specific Plan shall provide for complete conformity of all aspects of development with the City of San Marcos General Plan, and all applicable City ordinances, regulations and policies.
2. Cluster development to maximize open space preservation including primary and secondary ridgelines located on the site.
3. Preserve and wherever possible, enhance the existing riparian woodland, and wildlife corridors.
4. Ensure that all public facilities and services are available to serve the project and meet or exceed applicable City standards and requirements prior to, or concurrent with development.
5. Provide development standards that will regulate the nature and appearance of all construction within the San Marcos Highlands Specific Plan Area (SPA) to meet grading, architectural and aesthetic standards that supplement existing City-wide zoning and development regulations.
6. Implement a comprehensive landscape program that provides visual continuity throughout the project area and reduces adverse effects of grading.
7. San Marcos Highlands shall be a well-planned, orderly community. Covenants, Conditions and Restrictions (CC&R's) will be prepared which will provide for attractive, well-maintained neighborhoods.
8. Implement a maintenance program which will ensure the proper care of all common landscape areas and open space areas including the riparian area.
9. Finance or contribute toward community and city-wide infrastructure consistent with Proposition R and the College Area Community Plan, Exhibit C Facility Costs.

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F. PROJECT SUMMARY

San Marcos Highlands consists of multiple parcels; some of those parcels contain area within the County of San Diego and the City of San Marcos's City Sphere of Influence boundary as shown on Exhibit I-3. The subdivision boundary must align with the City of San Marcos Sphere of influence boundary therefore a boundary adjustment will be required to align the boundary of the parcels 184-101-14 and 184-241-05 at the northwest corner of the project site with the current sphere of influence boundary. The boundary adjustment will be processed through the County of San Diego with the City of San Marcos as a joint signatory.

Exhibit I-5 is the Master Land Use Plan for the San Marcos Highlands Specific Plan. The Specific Plan includes a total of 189 detached single-family residences. The Specific Plan has been subdivided into three planning areas.

Planning Area 1, west of Las Posas Road, includes all of the development area west of Las Posas Road which includes 109 residential lots on approximately 20.27 acres.

Planning Area 2, east of Las Posas Road consists of the southerly development area along the easterly side of Las Posas Road adjacent to the Santa Fe Hills (Paloma) Specific Plan Area. Planning Area 2 includes 80 residential lots on approximately 24.1 acres.

Planning Area 3 includes the majority of the open space land within the Specific Plan Area. The Open Space Planning Area has been subdivided into four sub-areas (A – D) on both sides of Las Posas Road. No residential development is proposed within Planning Area 3.

With the exception of Las Posas Road, which is designated an 84-foot wide secondary arterial, all San Marcos Highlands vehicular circulation streets will be 60 feet in width. All internal streets will be private with public easements.

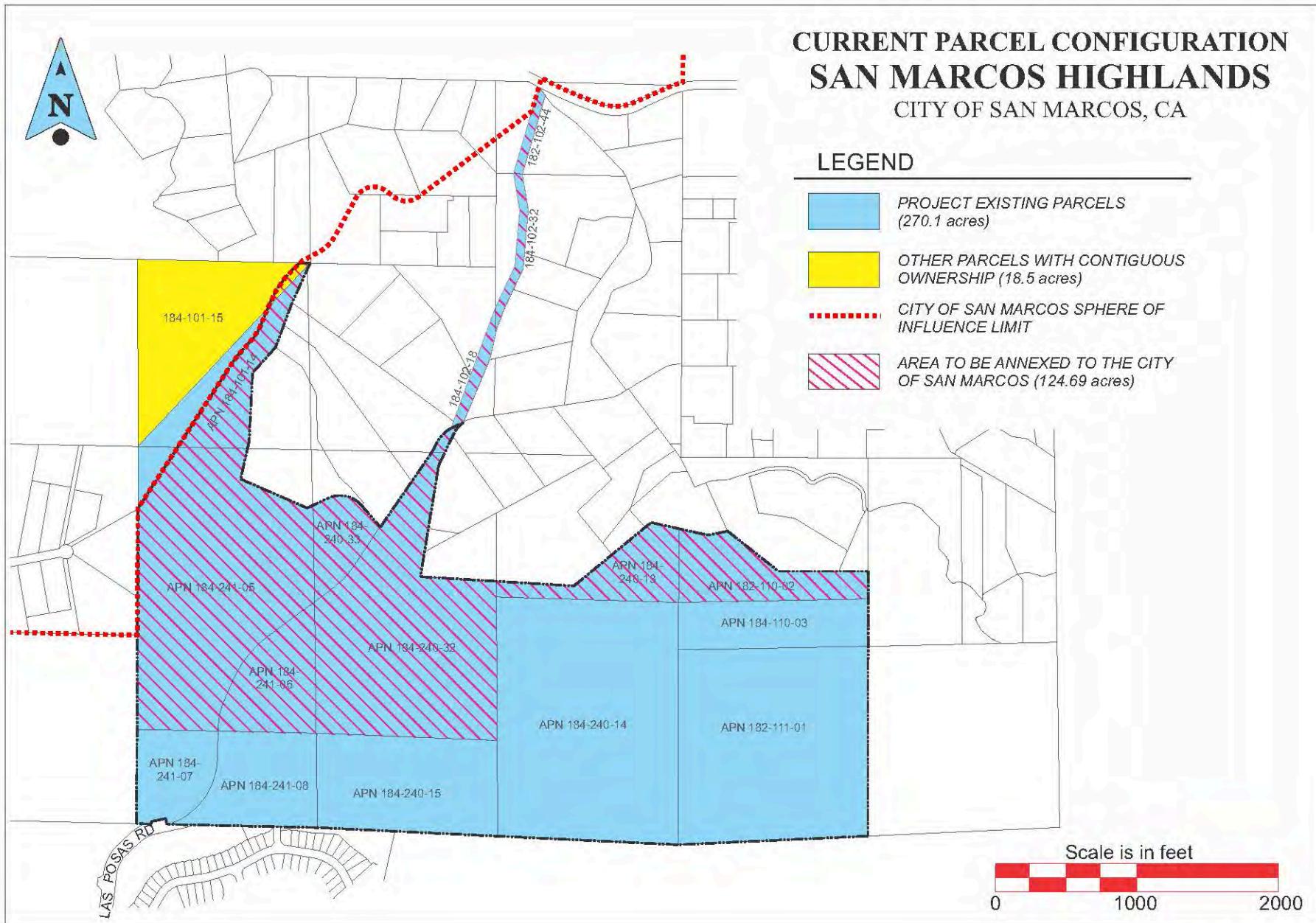
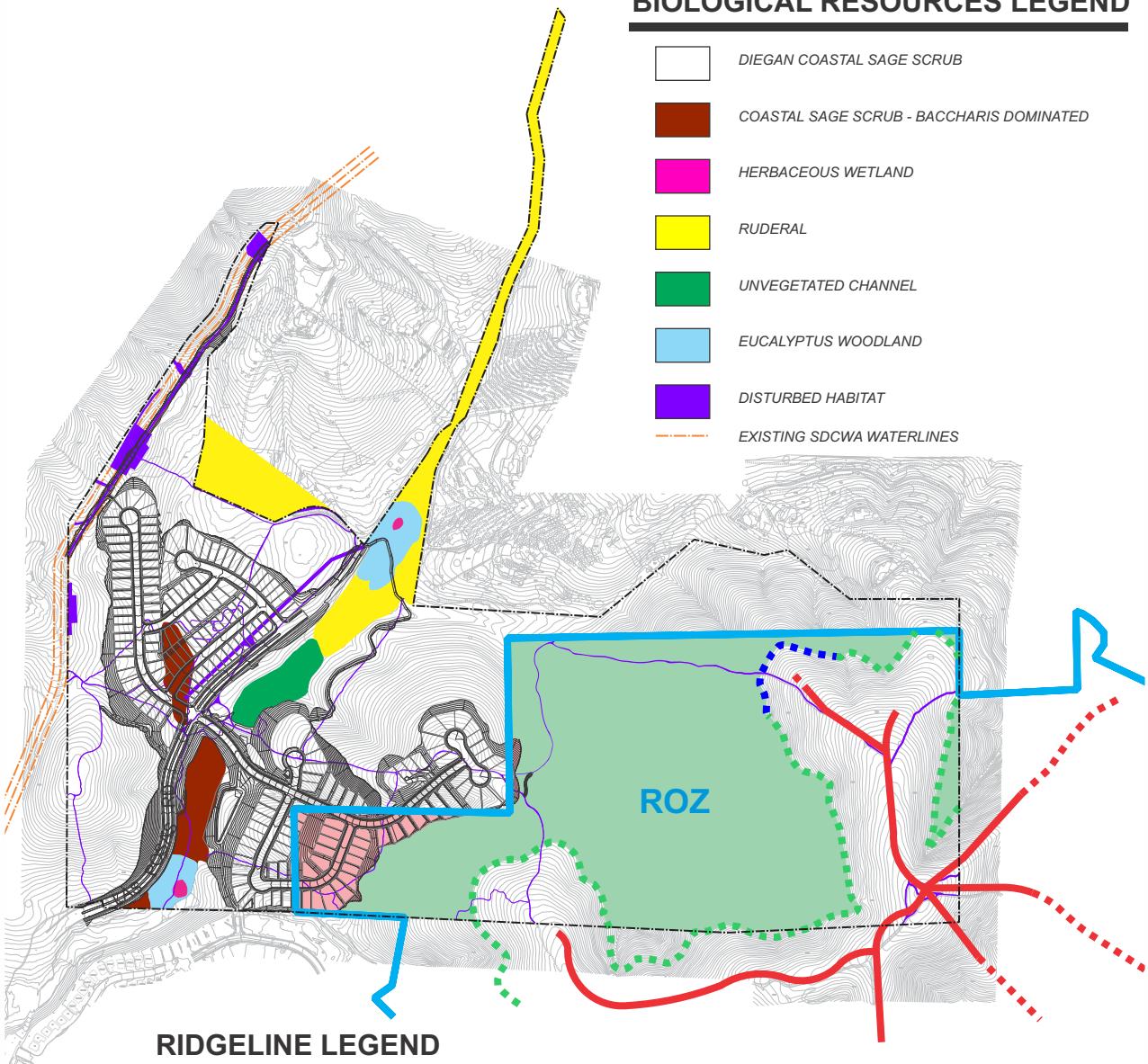


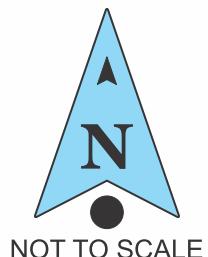
Exhibit I-3

BIOLOGICAL RESOURCES LEGEND

	DIEGAN COASTAL SAGE SCRUB
	COASTAL SAGE SCRUB - BACCHARIS DOMINATED
	HERBACEOUS WETLAND
	RUDERAL
	UNVEGETATED CHANNEL
	EUCALYPTUS WOODLAND
	DISTURBED HABITAT
	EXISTING SDCWA WATERLINES



Opportunities & Constraints *Exhibit I-4* SAN MARCOS HIGHLANDS



INTRODUCTION

Table I-1 Land Use Summary

Zone/Plan Area		Min. Lot	Max. Lot	Units	Acres	Density		
Planning Area 1								
R-1 5.0		5,000 sf	10,349 sf	109	20.27	5.37		
Planning Area Total		5,732 sf avg.						
Planning Area 2								
R-1 5.0		5,000 sf	14,897 sf	52	24.41	3.27		
R-1 5.5		5,500 sf	20,669 sf	28				
Planning Area Total		8,127 sf avg.						
Las Posas Road					5.36			
Residential Total		6,746 sf avg.		189	50.04	3.77		
Planning Area 3								
3A				168.69				
3B				38.91				
3C				7.38				
3D				0.79				
Contiguous off-site mitigation parcel¹				22.79				
Contiguous off-site open space habitat linkage easement²				4.67				
Open Space Total³				243.23				
Residential footprint Total				50.04				
Project Total				293.27	0.71			

¹ Contiguous off-site mitigation parcel is not a part of the San Marcos Highlands Specific Plan area.

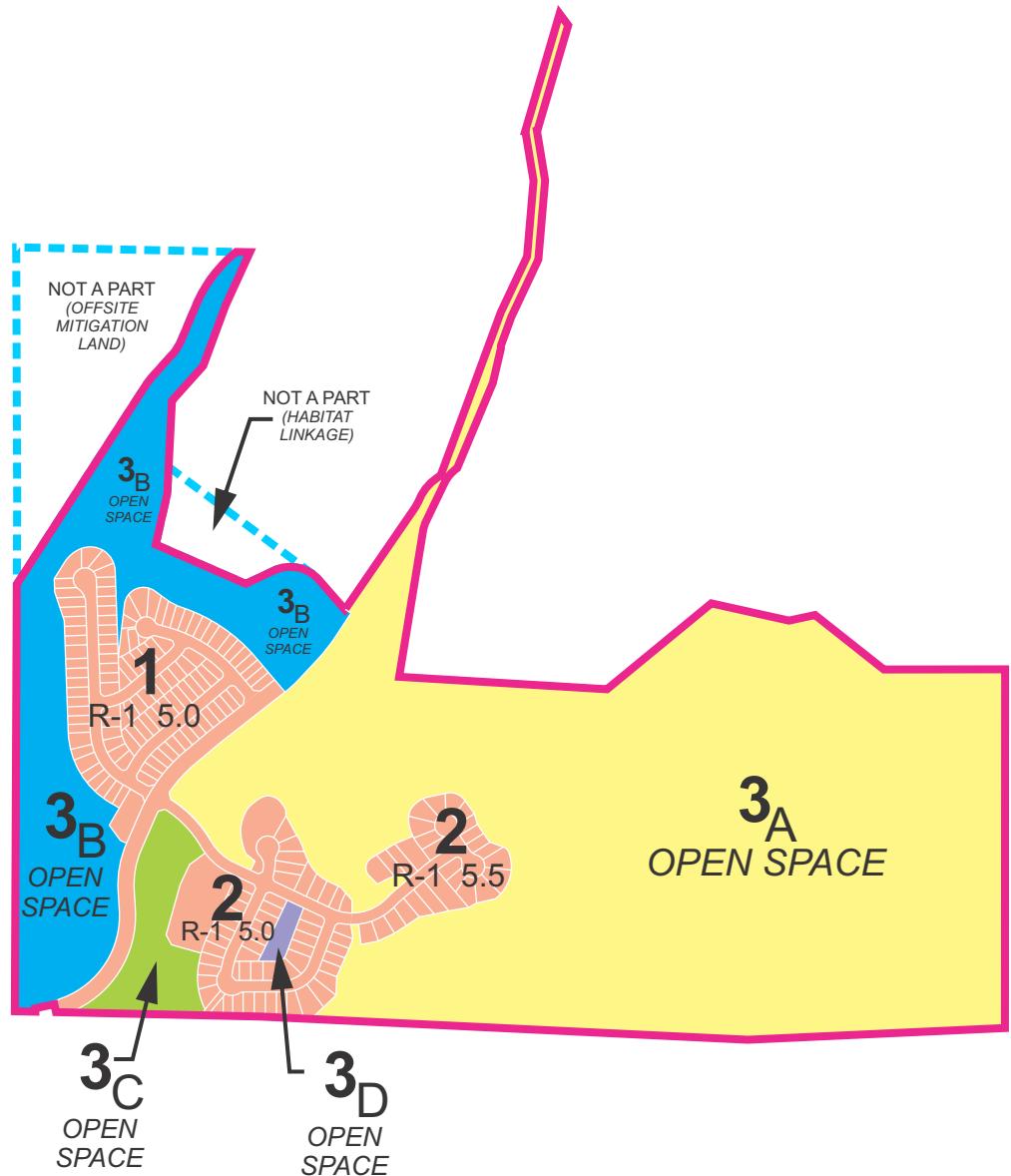
² Contiguous off-site open space habitat linkage easement is not a part of the San Marcos Highlands Specific Plan area.

³ Total Open Space acreage is inclusive of Open Space Lots 3A through 3D, Contiguous Off-site mitigation parcels, Contiguous off-site habitat linkage.

Non-Biological Open Space (Parks, Manufactured exterior slopes, Water quality lots, Fuel modification acreage) ⁴	32.43
Biological open space	210.80
Open space Total⁵	243.23
Residential footprint Total	50.04
Project Total	293.27

⁴ Parks, manufactured exterior slopes, Water quality lots, and Fuel modification acreage all overlap and/or may overlap within the open space.

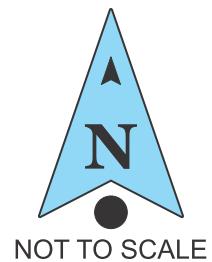
⁵ Total Open Space acreage is inclusive of Non-Biological Open Space and Biological Open Space.



Master Land Use Plan

SAN MARCOS HIGHLANDS

Exhibit I-5



INTRODUCTION

G. CONSISTENCY WITH GENERAL PLAN

The project area is located within the College Area Neighborhood. The site is located within both the limits of the City of San Marcos and in the County of San Diego. The portion within the County is within the Sphere of Influence of the City of San Marcos adopted by Local Agency Formation Commission (LAFCO). State law allows cities to establish general plans outside its boundaries within spheres of influence that bear a relationship to the City's planning.

The current General Plan designation for the property is Specific Plan Area (SPA). The City of San Marcos pre-zoned the area of the project that is in the County to SPA in 1990, except for a 9.7 acre portion of the site (APN: 182-110-02), which will now be changed from County zoning (A-70) to SPA as part of this Specific Plan. The General Plan designates the northern portion of the College Neighborhood for larger lots; however this transition takes place between the Highlands property and Buena Creek Road.

The proposed project complies with the General Plan, which designates the maximum yield of 230 units for the subject site. The original San Marcos Highlands Specific Plan approved in 1990 included 275 single-family units on 225 acres for a gross density of 1.22 du/ac. The 2002 Specific Plan amendment modified the density further to 1.13 du/ac with a total of 230 units on 203 acres. This Specific Plan contains 189 residential units on 265.8 acres. The project density is 0.71 dwelling units per acre for the Specific Plan Area.

The approved 2002 San Marcos Specific Plan requires an integrated system of open space, developed parks, and public/private recreational facilities. This San Marcos Highlands Specific Plan provides public trails (Exhibit II-2), a public park (Exhibit III-9.C), and approximately 243 acres of the property in open space (Exhibit II-8), of which approximately 210 acres are conserved open space as noted on Table 1-1. This Specific Plan amendment will decrease the total units by 41 while increasing open space acreage by approximately 90 acres, thereby preserving more of the site as biological open space.

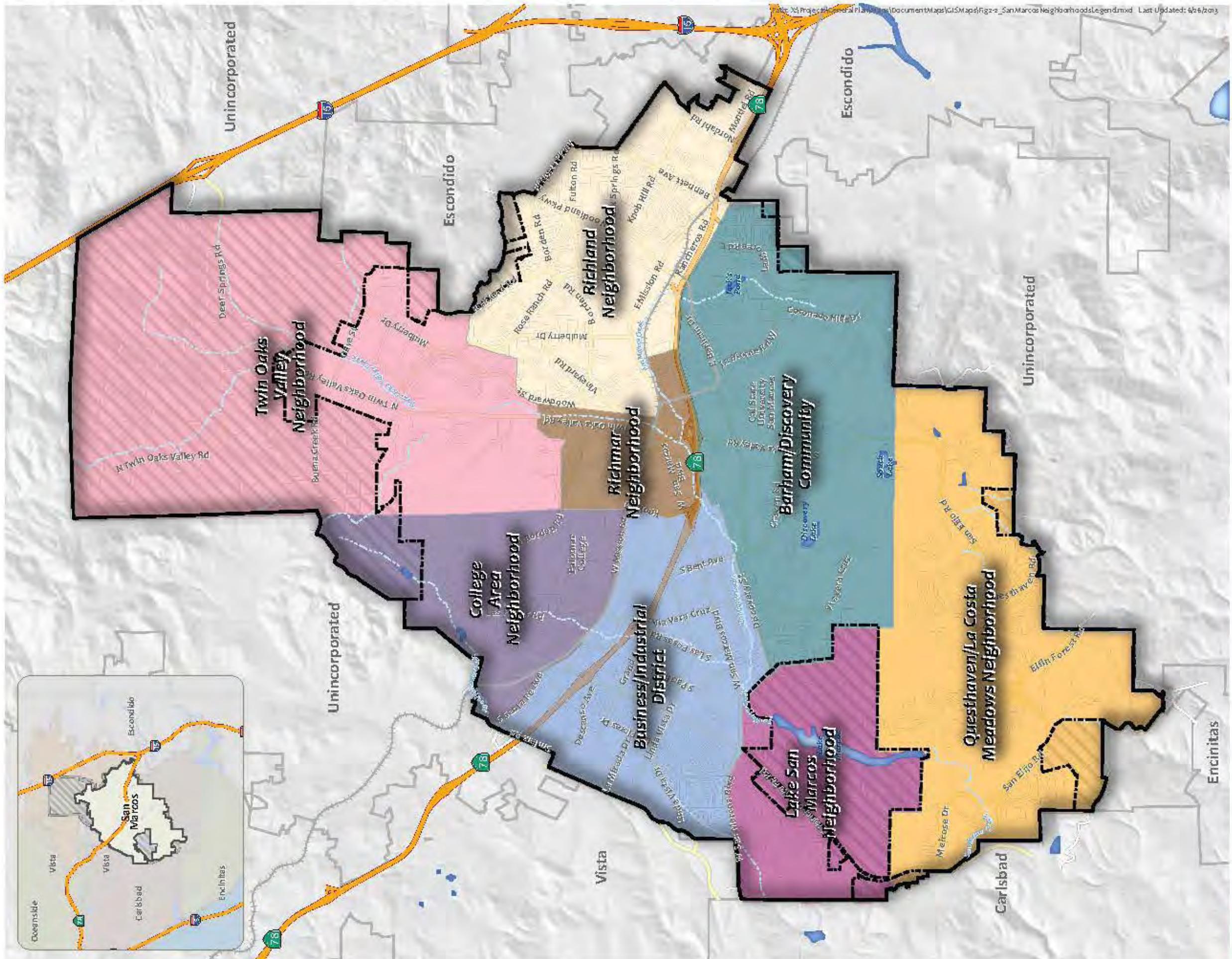
The project proposes to extend Las Posas Road from its terminus within the Santa Fe Hills project (formerly Paloma) to near the northern boundary of the project. Extension of Las Posas Road to Buena Creek is not a part of this Specific Plan; however the Las Posas road connection to Buena Creek Road is shown on the City's Circulation Element as well as on the County's Circulation Element to ensure an adequate roadway network within the City and the County. The proposed project extends the right-of-way through the project and will construct the street improvements to Street "D" of the subdivision. A gated fire road will provide emergency

INTRODUCTION

access connection between Las Posas Road and Robinhood Lane which travels north to Buena Creek Road, as shown on Exhibit II-1.

The Specific Plan provides for a variety of housing types with lot sizes from 5,000 square feet minimum to a maximum of 20,669 square feet. Two lot sizes categories (5,000 and 5,500 sf lots) are presented in Table I-1 with an average lot size of 5,732 square feet for Planning Area 1 and an average lot size of 8,127 square feet for Planning Area 2. The specific plan requires a variety of architectural styles.

The General Plan requires protection and enhancement of natural resources. The Specific Plan implements this goal by preserving approximately 183 acres within the Specific Plan area as biological open space. Additional contiguous off-site open space parcels totaling 22.8 acres and a habitat linkage of 4.7 acres brings the total biological open space preserved within the San Marcos Highlands project area to 210 acres. An additional 32.43 acres of non-biological open space, inclusive of parks, water-quality lots, manufactured exterior slopes, and fuel modification zones round out the San Marcos Highlands project area for a total of 243 acres of open space. The Specific Plan is consistent with the draft MHCP for the North County. The Mitigation Monitoring Program requires the preservation of several types of habitat within the Specific Plan Area. In addition to the preservation of natural habitat, the San Marcos Highlands Specific Plan will remove the earthen dam located at the southern edge of the riparian habitat area and restore the Agua Hedionda Creek to its natural flow through the riparian zone as required by the regulatory agencies.



2 LAND USE AND COMMUNITY DESIGN ELEMENT

City of San Marcos
San Marcos Neighborhoods

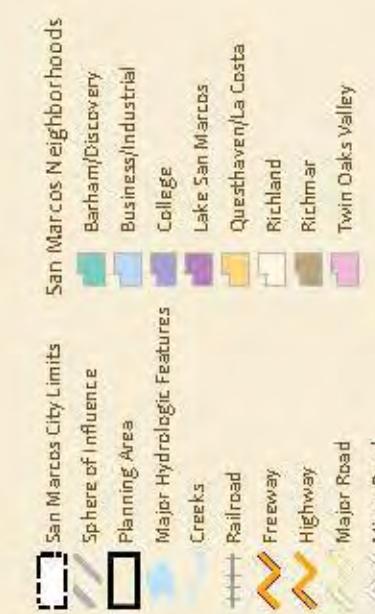


Exhibit I-6

Every effort has been made to assure the accuracy of the map and data provided; however, some information may not be accurate or current. The City of San Marcos assumes no responsibility arising from use of this information and incorporates by reference.

II. Plan description

A. Overall concept

The San Marcos Highlands Specific Plan evolved following extensive environmental analysis, market research and engineering studies. The results of these efforts culminated in a land use plan, which satisfies the goals and objectives of the City of San Marcos. In addition to a mixture of single-family homes, San Marcos Highlands will provide the community with a 21.68-acre interactive riparian park.

B. Land use description

The development plan for San Marcos Highlands promotes a balanced residential community in terms of housing types and economic range. It should be noted that the Master Land Use Plan (Exhibit I-5) is a general representation of the lot pattern and road locations. The submittal of a Tentative Subdivision Map will further define the Specific Plan.

The Specific Plan includes residential land use designations and open space.

A quantitative description of each designation is provided below. More specific details, including land use regulations and design guidelines are presented in Chapter III.

1. Residential 5.5

This category is found in Planning Area 2 east of Las Posas Road. The minimum lot size allowed under this designation is 5,500 square feet. The minimum lot width allowed under this designation is 55'. The average lot area proposed under this designation is approximately 9,386 square feet. The Specific Plan includes 28 lots under this designation.

2. Residential 5.0

This residential designation is utilized in Planning Area 1 located on the west side of Las Posas Road as well as for units located in Planning Area 2 east of Las Posas Road. The minimum lot size for this area is 5,000 square feet. The minimum lot width allowed under this designation as measured from 20' in from the front property line (PL) would be 40'. The average lot area proposed under this designation is approximately 6,079 square feet. The Specific Plan includes 153 lots under this classification. The 5,000 square feet

minimum lot classification totals include lots from both the East and West phases of development.

3. Open space

The five open space areas designated by the Master Land Use Plan will act as an aesthetic amenity to the community. Open space areas within the San Marcos Highlands Specific Plan are divided into two categories; biological open space inclusive of a passive riparian park, and non-biological open space inclusive of fuel modification/brush management, the park sites, landscaped slopes, and water quality lots. For a more detailed description of open space refer to Section F- Open Space of this chapter.

C. Circulation plan

Primary access to San Marcos Highlands is provided by Las Posas Road from the south. Las Posas Road is designated as a 6-lane Primary Arterial with a right-of-way of 125 feet. From La Mirada Drive to Borden Road, Las Posas is a 4-lane Major Arterial with a right-of-way of 102 feet. Beginning at Borden road and continuing northward through San Marcos Highlands, Las Posas Road is designated an 84-foot, 4-lane Secondary Arterial. It is anticipated that at some future date Las Posas Road will be extended northward to intersect Buena Creek Road, though not as part of this project. The San Marcos Highlands Circulation Plan is shown on Exhibit II-1.

Planning Area 1, west of Las Posas Road, will take access from Las Posas Road at two locations. All streets in Planning Area 1 will be private. Right-of-way will be a minimum of 60 feet in width.

Planning Area 2, east of Las Posas Road, will also take primary access from Las Posas Road. Streets will be private and all right-of-ways will be a minimum of 60 feet in width. A public access easement will be granted to allow access to Park "C" via Street "A" and Street "E." Secondary emergency access will be from the south on Street "E" via the adjacent residential tract in the Santa Fe Hills (Paloma) community.

Segments of the City of San Marcos trail system are located within the San Marcos Highlands Specific Plan Area. The location and details of the three trail sections within the Specific Plan Area are illustrated on Exhibit II-1 and II-2. Entering the Specific Plan Area from the Santa Fe Hills (Paloma) community to the south, the Trail #27 follows along the easterly edge of the habitat linkage northward through Planning Area 2 to Park C. Trail #27 is a Local Trail, comprised of 10-foot wide decomposed granite within a 10-foot right-of-way, as shown on Exhibit II-2. Trail #27 proceeds

north through open space before crossing Street "A," traveling east before heading north on Street "E" and connecting through Park "C" to the interactive riparian nature park as a 10 foot wide decomposed granite/soft surface trail. Trail #27 then connects to Trail #36 at the fire access road on the north end of the subdivision. Trail #36 is an existing improved decomposed granite trail constructed along Las Posas Road in the Santa Fe Hills (Paloma) community. The improved trail includes a 10-foot wide decomposed granite surface and 5-foot wide sidewalk within a 16-foot right-of-way, as shown on Exhibit II-2. Designs for Trail #36 will continue along the extension of Las Posas Road for approximately 2892 linear feet and connect to Trail #27 at the north end of the subdivision.

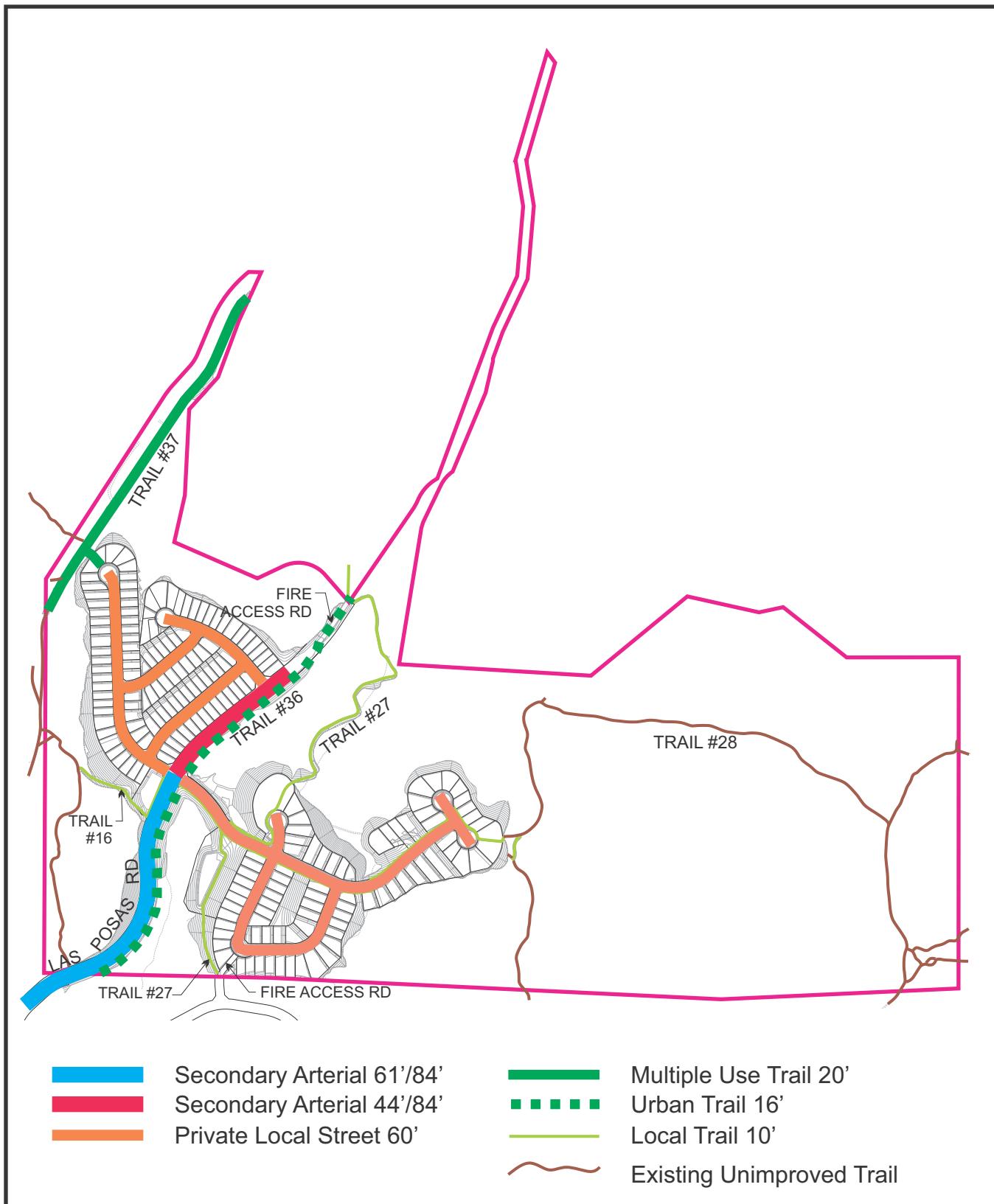
It is anticipated that the section of trail between the northerly project boundary and Buena Creek Road will be constructed concurrently with the northward extension of Las Posas Road when that section of the City/County Circulation Element is constructed in the future. The extension of Las Posas Road to Buena Creek Road and the associated trail connection is not a part of this Specific Plan. The trail extension should be designed in a manner that will prevent pedestrian and equestrian access into the riparian area.

Trail #37 is a multiple use trail to be located within the San Diego County Water Authority aqueduct right-of-way. Improvements to Trail #37 will include a 10 foot wide paved surface adjacent to a 10 foot wide decomposed granite surface within a 20-foot wide right-of-way.

Trail #16 is an improved trail to the existing unimproved trail along the western property line which connects to Trail #37 at the western edge of the Specific Plan Area.

Trail #28 is an unimproved trail on the eastern portion of the Specific Plan area and will feature a trail head connection at the eastern edge of Planning Area 2.

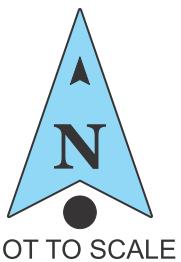
The final right-of-way width may vary (increase or decrease) to accommodate drainage, landscaping, and retaining walls per the City Engineers direction.

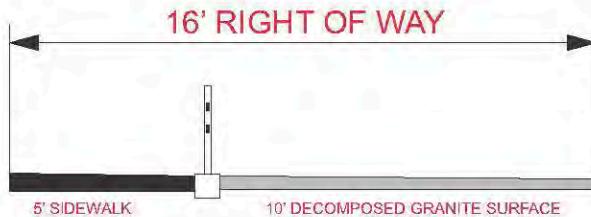


Circulation Plan

SAN MARCOS

Exhibit II-1





D. Public facilities and services

The following public facilities and services will be necessary to accommodate San Marcos Highlands. Specific engineering details will be determined through the subdivision map and improvement plan process. The locations of public facilities are shown on Exhibit II-4, and Exhibit II-5.

The San Marcos Highlands will require a Boundary Adjustment by the Vallecitos Water District (VWD) Board to move the VWD water service sphere of influence lines and allow for annexation by Vista Irrigation District (VID) to provide water service. This action will allow for a more efficient water delivery system than the current boundaries provide.

The Vista Fire Protection District currently serves 11.10 acres of the San Marcos Highlands SPA. In order to provide cohesive and comprehensive fire protection to the Specific Plan Area, the 11.10 acres currently under Vista Fire Protection District control will be annexed into the San Marcos Fire Protection District.

1. Water services

The project area is located within the boundaries of two water districts (VID and VWD). Results of a hydraulic analysis performed on the site determined with an interconnect between both Districts so the site will be serviced with adequate water pressure. As member agencies of the San Diego County Water Authority both districts are guaranteed a supply of water. District Master Plans indicate facility sizing based on the ultimate build-out of areas within district boundaries. The size of interior facilities shall be based on domestic requirements and fire flow demands established by the fire department. A well may be placed within the Specific Plan Area to supplement irrigation to open space and common landscaping. If ground water production at the well site produces less than ideal gallons per minute it may be necessary to add a storage tank to build appropriate water levels. If a storage tank is necessary three potential screening methods would be incorporated. The tank would use either architectural screening, ornamental landscaping to screen, subterranean placement, or a combination of the three methods to reduce visual impacts.

A hydraulic analysis has been prepared by each water utility to determine the precise elevations each can serve. The conceptual project water system is shown on Exhibit II-4. The final design of the system will be determined during the final engineering phase. Due to the project area's location within the boundaries of two water districts, the project proposes two options for water service: 1) Water service as proposed would be partially served by VID and

partially served by VWD, or 2) Water service would be exclusively served by VWD for the residences. The water districts will determine the appropriate service boundaries prior to Local Agency Formation Commission (LAFCO) submittal by the applicant.

2. Sewer services

San Marcos Highlands will be provided sewer service by VWD. Sewage from the project will flow by gravity to a trunk line, which will be located in Las Posas Road. Effluent will flow south along Las Posas Road to a 36-inch interceptor line located in San Marcos Boulevard and ultimately to the District's Meadowlark Reclamation Plant for treatment. The facility has a current treatment capacity of two million gallons per day (MGD) with an ultimate planned capacity of 5 MGD. As the demand for reclaimed water increases, the plant will reach optimum utilization. The proposed sewer layout is shown on Exhibit II-5.

3. District Annexations – The project proposes two options for water district annexation. If it is determined by VWD and VID that the project acreage would be served by both districts, then the San Marcos Highlands project will require annexations of the water service areas to overlap VWD and VID sphere of influence service areas as shown in Exhibit II-3a and II-3b. If the water districts determine that VWD would be the sole provider, then the entire subdivision would be annexed into VWD as shown on Exhibit II-3c.

**ANNEXATION TO THE
VALLECITOS WATER DISTRICT
CITY OF SAN MARCOS, CA**

LEGEND

 EXISTING VWD SERVICE AREA

 EXISTING VWD SPHERE OF INFLUENCE

 PROPOSED VWD ANNEXATION AREA OUTSIDE THE EXISTING SPHERE OF INFLUENCE WITH NEW VWD SPHERE OF INFLUENCE (44.06 ACRES)

 FINAL SUBDIVISION BOUNDARY

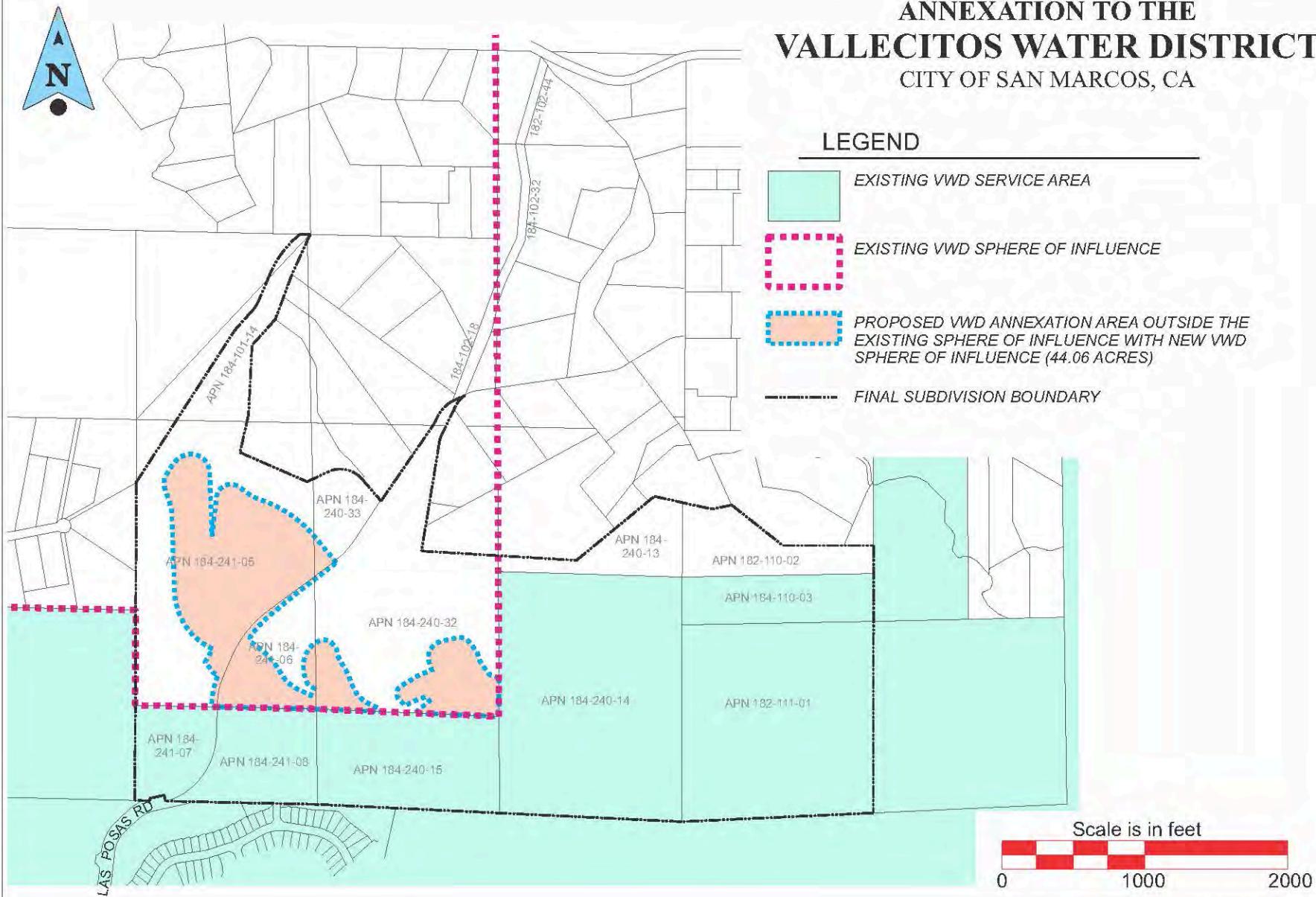


Exhibit II-3a

**AFTER REORGANIZATION
WATER SERVICE AREA
VISTA IRRIGATION DISTRICT
CITY OF SAN MARCOS, CA**

LEGEND

- VID WATER SERVICE AREA AFTER REORGANIZATION
- NEW VID SPHERE OF INFLUENCE
- FINAL SUBDIVISION BOUNDARY
- 3.06 ANNEXED ACRES

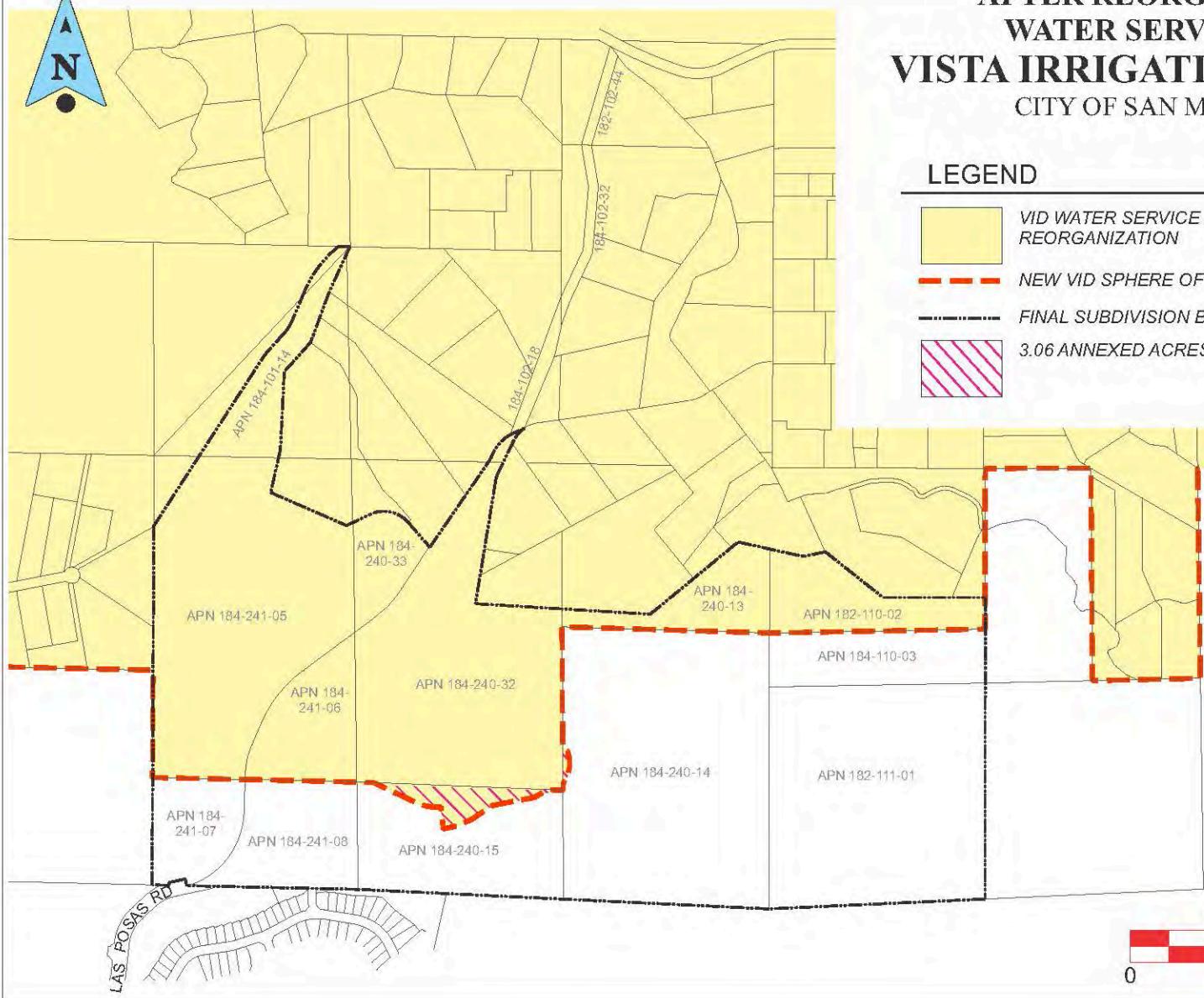


Exhibit II-3b

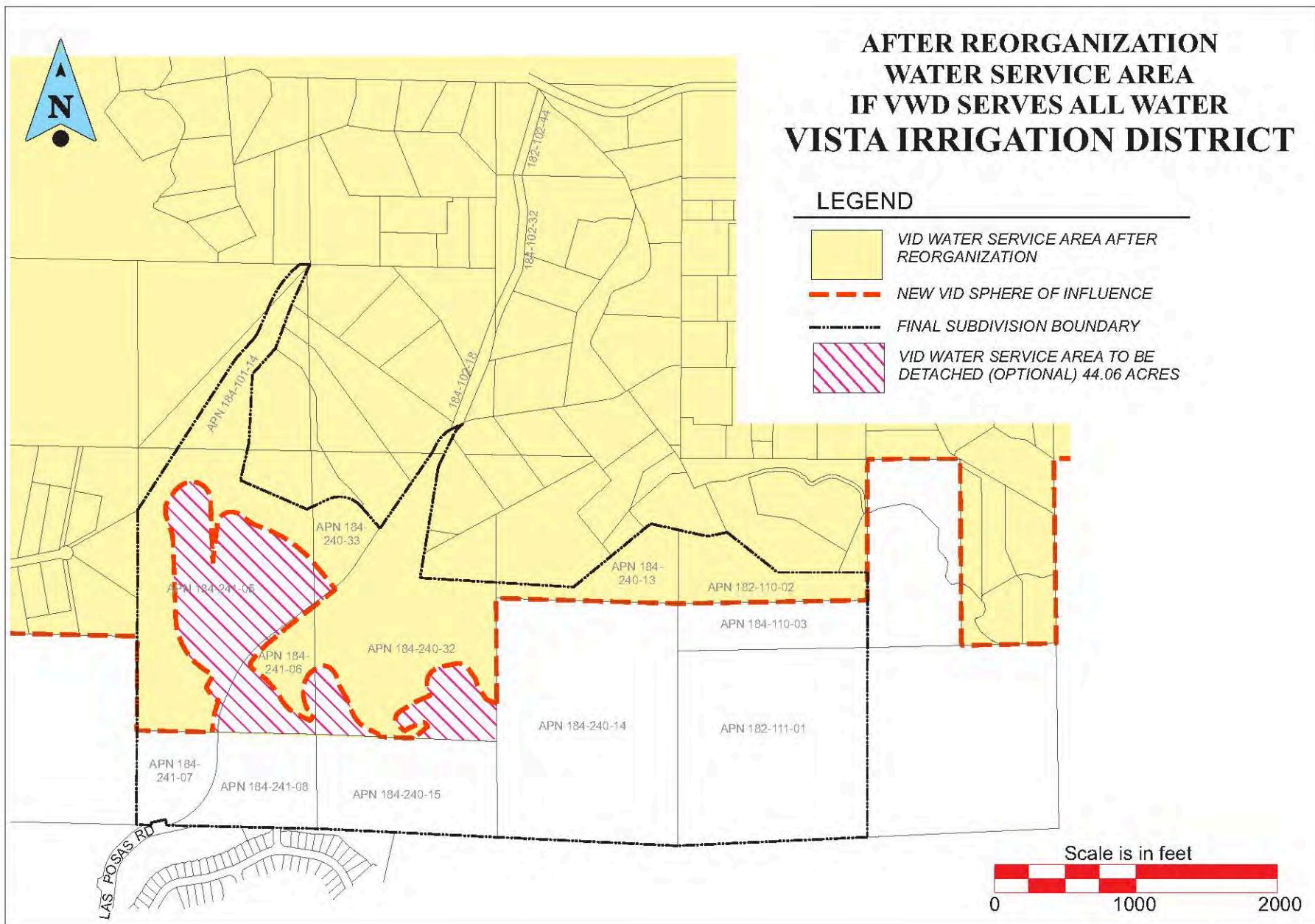
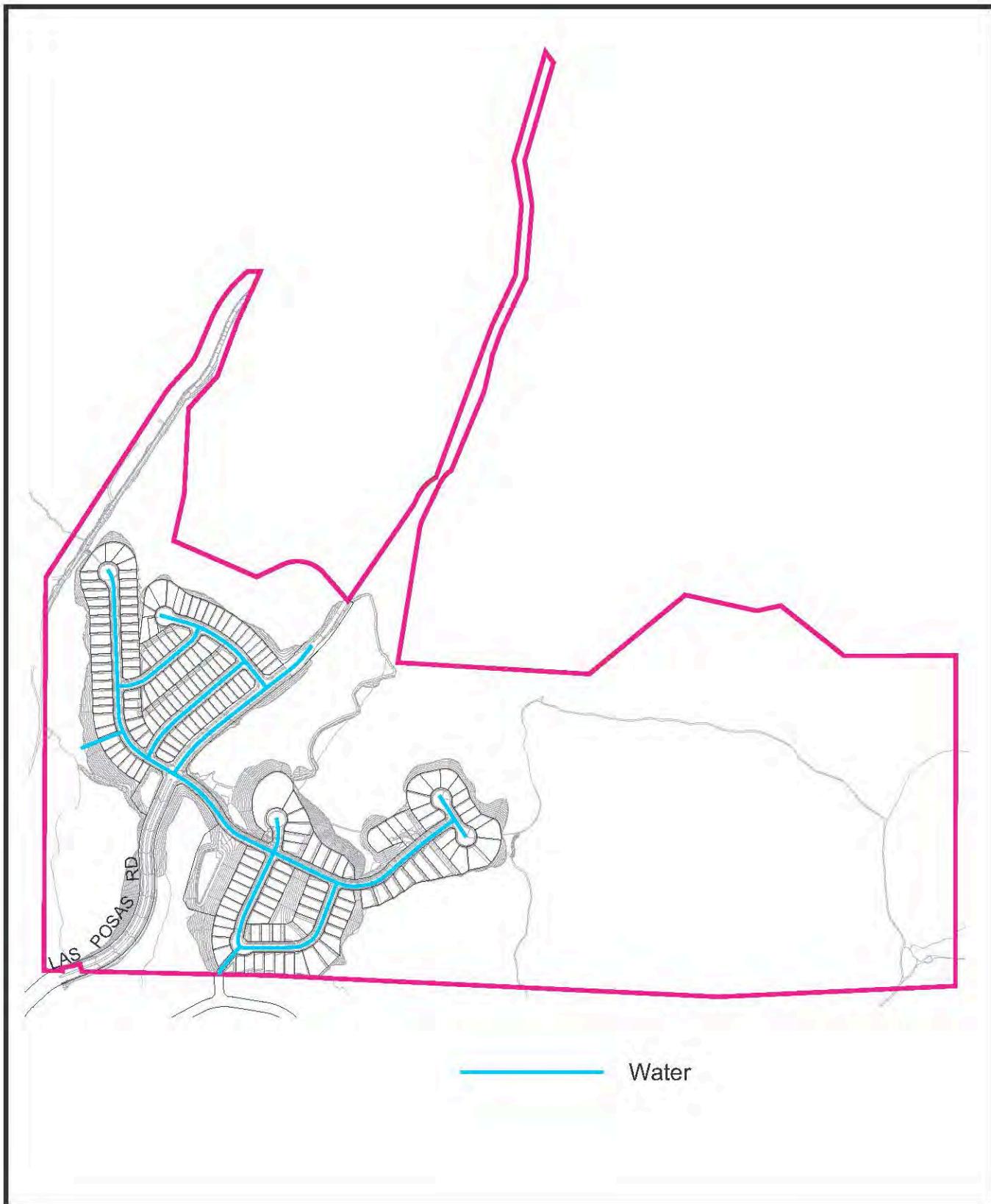


Exhibit II-3c

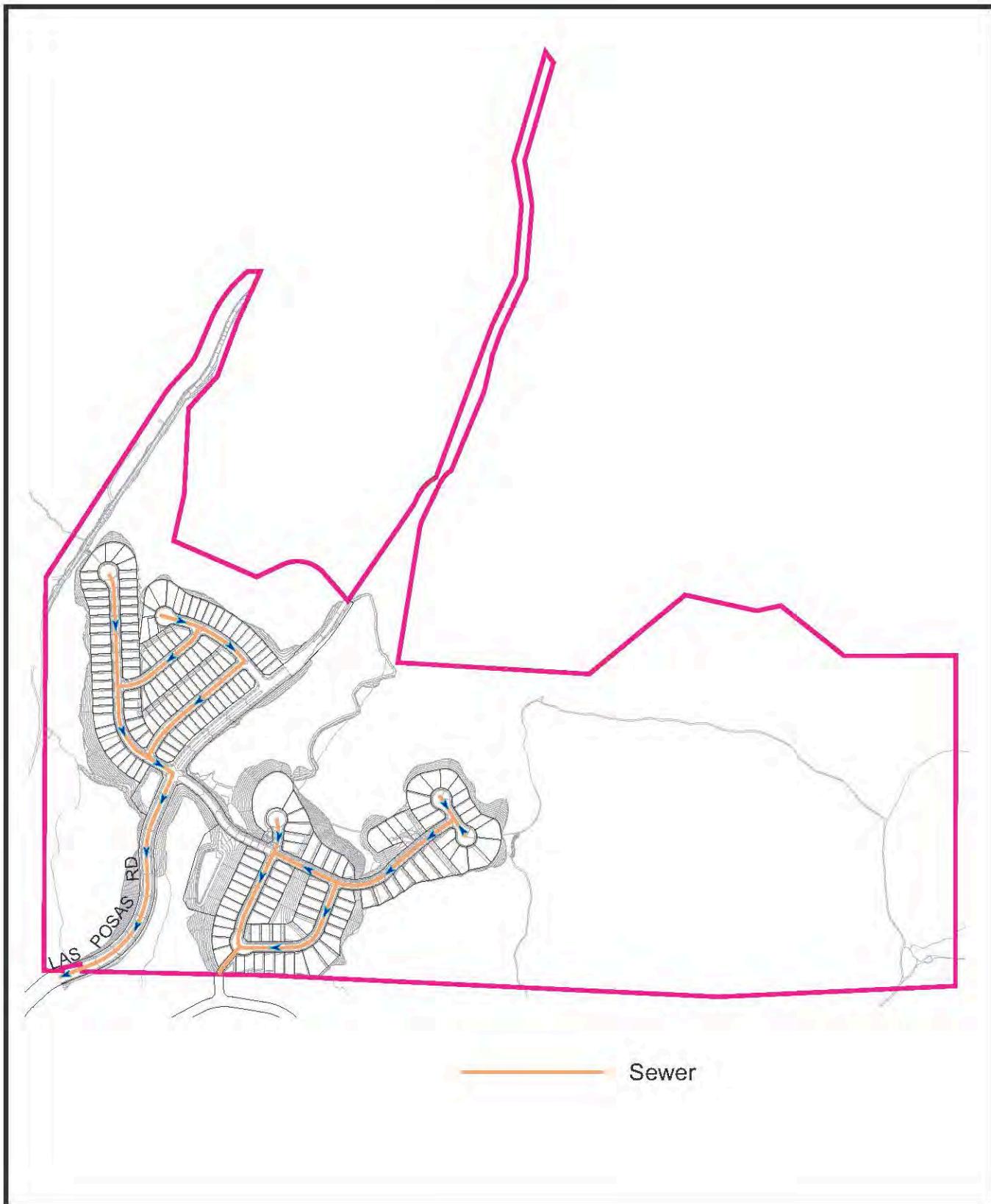


Public Facilities Plan -Water

Exhibit II-4

SAN MARCOS HIGHLANDS





Public Facilities Plan - Sewer *Exhibit II-5*
SAN MARCOS HIGHLANDS



Plan description

4. Law enforcement

Police protection within the Specific Plan Area is provided by the County of San Diego Sheriff's Department under contract with the City of San Marcos. Service will be through the San Marcos Sheriff's station at 182 Santar Place. Police protection will be increased depending on the crime rate and response time. Tax revenues generated by the project area will be used to offset the cost of contracting with the sheriff. No additional requirements are anticipated as a result of the development of the Specific Plan.

5. Fire protection services

The City of San Marcos Fire Department will provide fire protection for the project. Although the northwest portion of the site is currently within the Vista Fire District, the intent is to annex 11.10 acres from the Vista Fire Protection District to the San Marcos Fire District (Exhibit II-6). This annexation will allow for rapid response to the site and a comprehensive fire protection from one district rather than fragmented fire protection. The nearest fire station is located at 180 West Mission Road. Backup response would be from the headquarters station located at 1250 S. Rancho Santa Fe Road.

6. Public schools

The San Marcos Highlands Specific Plan area is located within two school districts. Approximately 40 acres along the westerly boundary is located within the Vista Unified School District. The remainder of the site is within the boundaries of the San Marcos Unified School District. It is expected that as a result of an inter-district service agreement, San Marcos Unified will provide school service to the entire project area. If the Vista and San Marcos School Districts are unable to come to an inter-district agreement the western portion of the site would be serviced through Vista School District, while the eastern portion of the site would remain in the San Marcos Unified School District. Elementary school students will attend the nearby Paloma Elementary School. Junior high school students will attend the district's facility at 651 West Mission Road. San Marcos High School, located at 615 San Marcos Boulevard will provide educational opportunities for 9th-12th graders.

An agreement shall be negotiated prior to final map approval between the developer of the site and the school district concerning school fees. As provided per state law, the developer will be required to pay school fees in effect at the time of building permit issuance.

Plan description

7. Parks and recreation

A total of 3 parks will be included in the San Marcos Highlands Specific Plan. Park "A" is a 0.28-acre private active and passive park located at the terminus of Street "A." Another private park containing both active and passive amenities will also be included in Planning Area 1. Park "B" is 0.09-acres and is located at the end of Street "D." Based on the requirements of the San Marcos Parks Master Plan, a public park (Park "C") site has been included in Planning Area 2. The 1.16 acre active park complements the Interactive Riparian Nature Park that is located on the northerly side of Street "E." The overlook park site is connected to the San Marcos Trail system and offers access to the trail circling the Interactive Riparian Nature Park and connection to Trail #36. Neighborhood access is provided from Street "E." Exhibit III-10 illustrates the proposed park. Chapter III, Section F describes the components of that park.

8. Solid waste services

Solid waste generated by the project will be picked up and transported by EDCO Waste and Recycling Services and transferred to the solid waste transfer station in Escondido. From there, it will be transferred to any one of several public or private landfill sites.

9. Health care

San Marcos Highlands is located within the Palomar/Pomerado Hospital District, which covers 800 square miles, including 80 percent of the City of San Marcos. Palomar Medical Center is located at 2185 Citracado Parkway in Escondido. The medical center features 288 private single-patient rooms, 44 emergency and trauma rooms, and 11 operating rooms. The 56-acre campus will expand in phases (up to double its current size) to meet the developing needs of the North San Diego County growing community. In addition, the Scripps Memorial Hospital in Encinitas also serves residents of San Marcos. Scripps Hospital in Encinitas is located at 354 Santa Fe Drive and features 24 hour emergency medical care.

10. Libraries

Library facilities are available at the San Marcos Public Library located at 3 Civic Center Drive, the Phil H. Putnam and Fine Arts Library of Palomar Community College and the facilities at San Marcos State University.

Plan description

11. Gas and electric, telephone service and cable television

Gas and electric services will be provided by San Diego Gas and Electric Company. Telephone services will be available from the Pacific Bell Company. Alternative long distance systems and services are available. Cable television service will likely be available from Cox Communications.

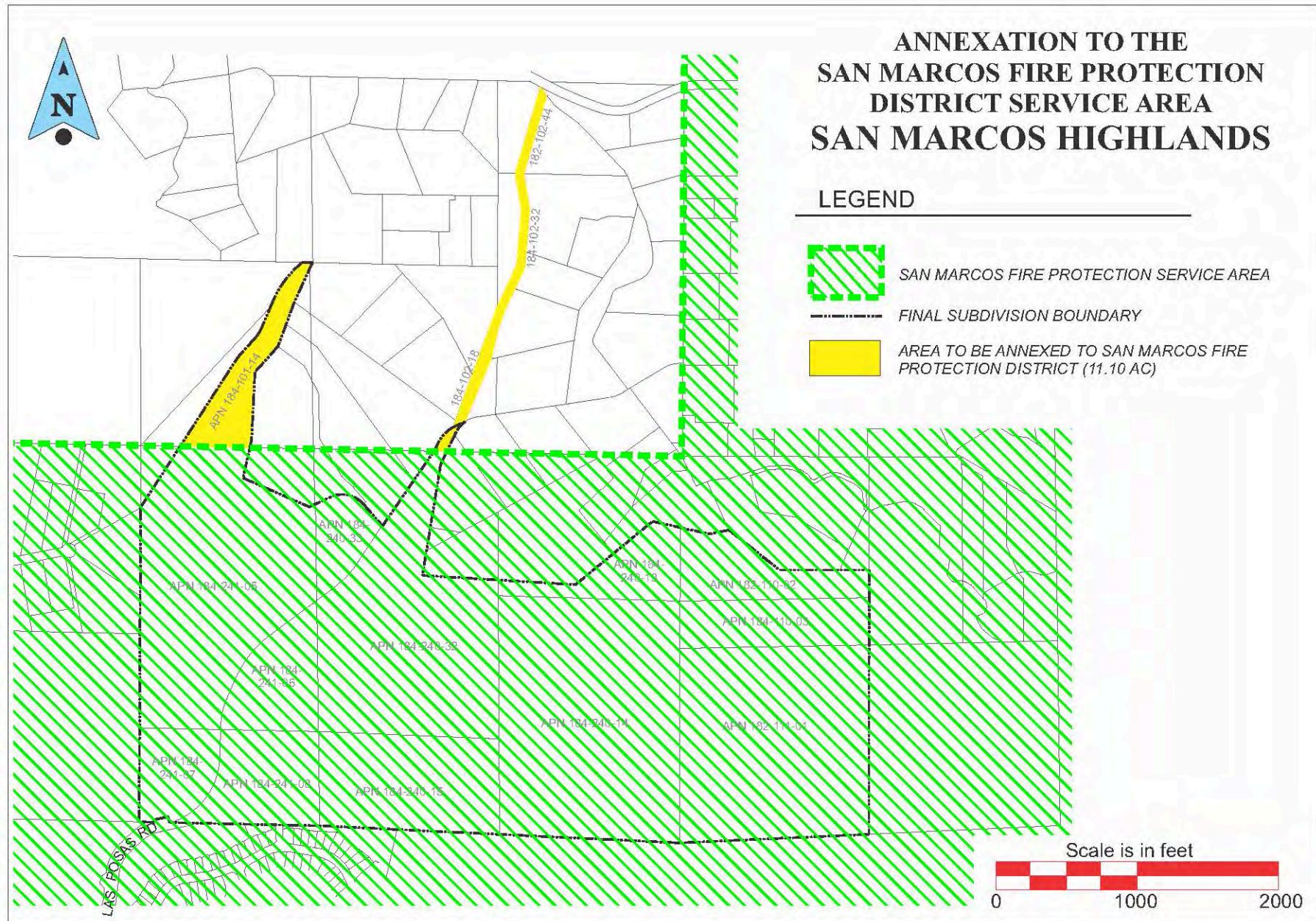


Exhibit II-6

Plan description

E. Drainage

The design of the drainage system for San Marcos Highlands incorporates features such as curbs and gutters, underground storm drains, water quality basins, and retention of natural swales downstream of the dam.

Grading and improvement plans shall include drainage facilities designed in accordance with requirements of the City Engineer. Supporting calculations shall be provided to indicate the anticipated flows and required sizing of facilities.

F. Open Space

The San Marcos Highlands Specific Plan consists of 265.8 acres of which 183 acres are preserved as biological open space. An additional 27.5 acres of biological open space include 22.8 acres of contiguous off-site open space and a 4.67 acre contiguous off-site open space habitat linkage easement are provided as offsite mitigation. Open space areas within the Specific Plan Area are divided into two categories; biological open space inclusive of a passive riparian park and offsite contiguous open space areas, and non-biological open space inclusive of fuel modification/brush management, the park sites, landscaped slopes, and water quality basins. The locations of open space are depicted on Exhibit II-7.

1. Biological Open Space

The implementation of the San Marcos Highlands Specific Plan will result in the preservation of 210.80 acres of conserved biological open space. Conserved biological open space areas are intended for use and enjoyment as open space and will not include improvements or encroachments such as buildings or accessory structures. These areas may include minor improvements such as trails or pedestrian paths, directional or informational signage, and scenic lookout areas or rest stops. Fuel modification and/or brush management will be required where natural open space areas transition to development, as shown on Exhibit III-3, however those fuel modification areas do not count toward the conserved biological open space acreage totals.

Riparian Open Space – The riparian area located in Planning Area 3A, 3B and 3C includes riparian habitat which ranges in quality from poor to good. As a condition of development the riparian corridor will be rehabilitated where necessary and enhanced to produce additional high quality riparian habitat, in conjunction with the Habitat Mitigation and Monitoring Program (HMMP) as determined by the updated biology report from Everett and Associates. The final riparian boundary will be determined by the

Plan description

Army Corps of Engineers. This habitat will be a natural and visual amenity for San Marcos Highlands and the College Area Neighborhood. The restored riparian habitat located in Open Space Planning Area's 3A, 3B, and 3C will be circled by a trail with kiosk stations accessible by mobile devices and located at various points along the trail creating an interactive educational experience. The residents of San Marcos Highlands as well as the public will be able to access information about the various natural plant communities and animals found in the Interactive Riparian Nature Park through a mobile device. The riparian habitat and adjacent areas have been designed to respect wildlife linkages that allow for animal movement through the area. Further Riparian Open Space guidelines are described in Section D of Chapter III.

Offsite Contiguous Mitigation Open Space – 22.8 acres of offsite contiguous open space have been secured in the northwest portion of the site to act as open space mitigation for San Marcos Highlands.

Contiguous Habitat Linkage – A 4.67 acre habitat linkage has been established to create a minimum 400' linkage exclusive of the fire buffer area allowing wildlife to access open space areas to the north and west of San Marcos Highlands.

2. Non-biological open space

Fuel Modification/Brush Management - The fuel management areas are those areas, which provide a buffer zone between the project development and the adjacent natural open space or adjacent to undeveloped lands to the north of the project. These areas are defined in Chapter III Section D, Landscape Architecture and shown on xhibit III-3.

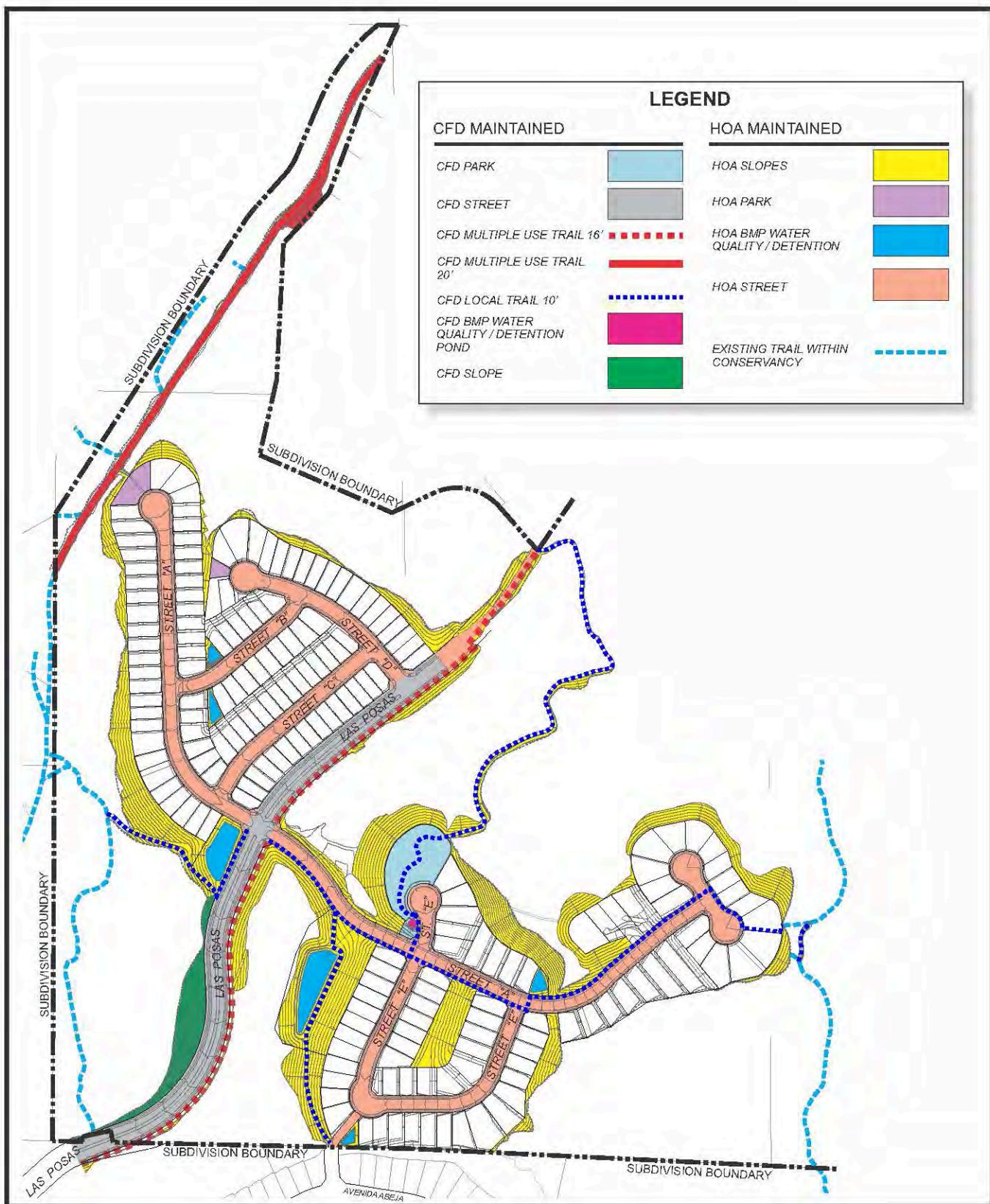
Parks - San Marcos Highlands Specific Plan includes three parks totaling 1.53-acres. These parks add benefit to the residents of San Marcos Highlands, as well as adding a public benefit. Parks "A" and "B" will remain private parks and will be maintained by the communities in which they were assigned. Park "C" will be a public park accessed via Street "E", via Street "A" and ultimately Las Posas Road. Park "C" will include a range of amenities including seating and picnic tables, bathrooms, a cabana, barbeques, access to trails, passive lawn area, and a children's play structure. Park "C" is also located adjacent to the Interactive Riparian Nature Park and offers benches to enjoy the views. Parks "A" and "B" include seating, passive lawn area, and children's play structures. Additionally Park "A" will have access to Trail #37 along the aqueduct.

Plan description

Landscaped Slopes - By the nature of the terrain, approximately 11.61 acres of exterior manufactured slopes will be required to accommodate development. The San Marcos Highlands Specific Plan calls for these areas to be graded with slopes of varying degrees in a contoured manner and landscaped with shrubs and trees. Many slopes are designed to mimic the existing contours to minimize visual impacts. These slopes will also provide both vertical and horizontal separation between building pads.

Open space areas can be subdivided into 2 categories; biological and non-biological open space. The Home Owners Association (HOA) will maintain non-biological open space areas with a portion being maintained through Community Facility District (CFD) fees. Fire buffer areas will also be maintained by the HOA. Biological open space will be placed in and maintained by a conservation conservancy. Open space maintenance responsibilities can be seen on Exhibit II-7.

Water Quality Lots - Water quality lots within the San Marcos Highlands Specific Plan Area are open space areas dedicated to retain and filter water runoff from the development as permanent Best Management Practice (BMPs) before leaving the Specific Plan Area. Water quality lots shall be maintained by the San Marcos Highlands Home Owners Association (HOA).



CFD / HOA Maintenance Exhibit *Exhibit II-7*
SAN MARCOS HIGHLANDS



G. Financing mechanisms

A combination of financing mechanisms will be utilized for the development of the San Marcos Highlands Specific Plan Area. The precise nature of these mechanisms will be described in detail by the Public Facilities Plan.

The long-term operation and maintenance of community facilities will be accomplished through several mechanisms. Maintenance of private community facilities will be accomplished through a Homeowners Association (HOA) or similar organization and a conservancy to maintain dedicated open space. The Citywide Landscape and Lighting Community Facilities District, CFD 98-02, and the Special Improvement District F will provide for the maintenance of community facilities on public easements, property, and sopes. The district would be administered by the City of San Marcos and funded through an annual assessment paid by homeowners within the district. At the minimum facilities to be maintained by the District may include the following:

- Multipurpose trails (CFD)
- Street lights (CFD)
- Park 'C' (CFD)

The following open space areas will be maintained by the homeowners through a Homeowners Association (HOA) or conservancy:

- Parks 'A' and 'B' (HOA)
- Community landscape areas (HOA)
- Fuel management zones (HOA)
- Major open space areas (conservancy)
- Riparian Open Space (conservancy)

The Citywide Landscape and Lighting CFD No. 98-02 will maintain all of the improved trails as shown on Exhibit II-7, park C, and manufactured slopes on the west side of Las Posas Road South of Street A after a maintenance period performed by the developer. This period will be approximately two years from the completion of the improvements to the date of acceptance of the improvements by the representatives of the CFD.

The City has created a financing district to assist in the funding of various police and fire department improvements. San Marcos Highlands will be annexed into Community Facilities District (CFD) 98-01 (Police) and CFD 2001-01 (Fire and Paramedic). The future homeowners will pay an assessment for this district, with increases as determined by the City Council.

Plan description

H. Development phasing plan

The development phasing of San Marcos Highlands will be primarily based on the provisions for necessary circulation access. Phasing of the San Marcos Highlands will be determined at the time of Final Map submittal. The following conditions will govern the development of the Specific Plan Area:

1. The project will be phased in conjunction with the thresholds established in the Major Infrastructure Requirements and Phasing for College Area Community Plan, Exhibit "A" and the project's phasing plan as approved by the City.
2. Construction phasing of the San Marcos Highlands is as follows:
 - a. Phase 1: Phase 1 will include installation of orange construction fencing around open space areas east and west of Las Posas Road to delineate the limits of disturbance during grading. Phase 1 will also include clearing and grubbing of the development footprint.
 - b. Phase 2: Phase 2 will include the mass grading of the development footprint west of Las Posas Road.
 - c. Phase 3: Phase 3 will include mass grading of the development footprint east of Las Posas Road.
 - d. Phase 4: During this phase Las Posas Road will be constructed to the specifications of the Final Map, and Trail #36.
 - e. Phase 5: This phase will include the construction of Unit 1 of the Tentative Subdivision Map (TSM), construction of Street A west of Las Posas Road, construction of Trail #37 (County Water Authority Trail), and construction of Trail #16.
 - f. Phase 6: This phase will include the construction of Unit 2 of the TSM, construction of the loop road (Street C), and construction of a small portion of Street D (to the connection of Street C to allow for emergency vehicle turn-around).
 - g. Phase 7: This phase will include the construction of Unit 3 of the TSM, construction of Street B, and the connection of Street D to Street B.
 - h. Phase 8: This phase will include construction of Unit 4 of the TSM, completion of Street D to cul-de-sac, and Park B.
 - i. Phase 9: This phase will include construction of Unit 5 of the TSM, construction of Street A east of Las Posas Road, construction of Street E, construction of all water quality lots, and construction of Trail #27 from the south to Street A.
 - j. Phase 10: This phase will include construction of the Public Park and the Riparian Trail section (Trail #27).

- k. Phase 11: The final phase will include the construction of Unit 7 of the TSM and the trail connection at the eastern portion of the development footprint connecting to the unimproved Trail #28.

PROJECT DEVELOPMENT STANDARDS

III. PROJECT DEVELOPMENT STANDARDS

This chapter identifies those Specific Plan design elements that are necessary to create a distinctive identity for San Marcos Highlands. One of the major objectives of a Specific Plan is to create a community rather than a collection of unrelated housing areas.

The following are a set of basic guidelines that are conceptual in nature. This approach will allow future development teams to explore and express their own creativity in relation to the intended character of the community while still adhering to the underlying guidelines. In addition to these guidelines, separate covenants, conditions and restrictions (CC&R's), which provide more specific criteria on allowable and prohibited architectural elements, will be prepared in conjunction with Final Map recordation.

A. DESIGN OBJECTIVES

All design aspects of the San Marcos Highlands Specific Plan shall be driven by the following objectives:

1. Create a comprehensive project with visual continuity throughout the entire Specific Plan Area through the incorporation of guidelines for architecture, grading techniques, landscaping and signage.
2. Adopt the Specific Plan to the features of the site in order to minimize disturbance to key environmental features.
3. Implement a comprehensive landscape program to reduce any adverse effects of grading.
4. Preserve and enhance the riparian corridor and wildlife corridors.
5. Maximize both on-site and off-site view opportunities
6. Provide planned interactive recreational opportunities with the surrounding environment.

B. DESIGN TREATMENT

A variety of design features including grading, landscaping, architecture and streetscape treatments shall be incorporated into the project to establish a strong sense of community identity. Areas with neighborhood or community exposure, specifically slopes, will share in these design treatments to provide a sense of cohesion and continuity.

PROJECT DEVELOPMENT STANDARDS

1. PLANT PALETTES

A distinct plant palette is included in the Specific Plan which specifies plantings for four (4) landscape categories; Coastal Sage Scrub Compatible, Riparian, Transition and Ornamental plantings. All future San Marcos Highlands landscape plans shall incorporate the plants provided by these plant palettes in order to create a unified landscape theme throughout the Specific Plan Area.

2. LAS POSAS ROAD PARKWAY

Special landscape treatments shall be required for the slope areas and parkways adjacent to Las Posas Road.

3. PROJECT ENTRIES

Entrances to residential projects provide an aesthetic and functional transition between the major circulation road and neighborhood streets in addition to providing project identification along the major circulation road. The arrangement and configuration of the plantings, walls and signage of the three entry areas should provide an opening to contrast the linear configuration of the major parkway landscaping and the more subdued streetscape scenes of the residential neighborhoods.

4. INTERIOR SLOPE TREATMENTS

Due to the high visibility of certain portions of the San Marcos Highlands, slope landscape treatments will play a vital role in producing a project of pleasing visual quality. Specific landscape guidelines are included in the Specific Plan that will turn these highly visible areas into visual amenities for the surrounding community.

5. SIGNAGE

Signs in the San Marcos Highlands should blend into the community and neighborhood streetscapes and architectural themes. Colors and materials should be chosen to reflect the architectural theme of the San Marcos Highlands planning areas.

6. LIGHTING

Site lighting for streets, walkways and landscaped areas shall be unobtrusive, shielded to prevent glare and placed in irregular patterns. Such lighting shall be designed so as not to fall on adjacent property and to the extent possible will not be visible to

PROJECT DEVELOPMENT STANDARDS

residences adjacent to San Marcos Highlands. All lighting near preserved open space shall be shielded and illumination directed downward away from preserved areas.

C. GRADING

All grading within the San Marcos Highlands Specific Plan Area will comply with the City's Grading Ordinance, except as permitted within this Specific Plan. These exceptions are required because of site topography. Grading which is in substantial conformance with this approved Specific Plan and the approved tentative map shall not require any future variances or exemptions.

In any area where grading ordinance exceptions are employed, substantially increased landscape standards and special grading techniques shall be applied. Slope treatments are further described in the landscape section of this Chapter. The intent of the grading along these slopes will be to replicate the natural contours of the hillside. The following grading techniques should be incorporated for all manufactured slopes:

1. Artificial appearing slopes shall be avoided. Where possible manufactured slopes shall be contoured both vertically and horizontally and landscaped to simulate natural terrain.
2. All manufactured slope banks in excess of ten feet in height shall be constructed at a gradient of 2 to 1 or less except that cut slopes up to 1.5 to 1 and as shown on the Tentative Subdivision Map may be allowed upon certification of soil stability by a soils engineer and approval by the City Engineer.
3. All manufactured slopes shall be planted in compliance with a slopes planting plan approved by the Planning Division Manager with plant materials that stabilize the slopes and minimize erosion.
4. Temporary erosion-control devices will be installed in conjunction with grading activities. Such device shall conform to related City of San Marcos and State of California standards.
5. The issuance of a grading permit will provide assurance to the City Engineer that manufactured slope banks will be properly landscaped and that the landscape will be maintained by either the developer, Homeowners Association (HOA), property owner and/or by Community Facility District (CFD).

PROJECT DEVELOPMENT STANDARDS

6. Phasing of grading within each planning area shall provide for the safety and maintenance of other planning areas already developed or under construction.
7. Landscape screening shall be used to minimize visual impact of graded slopes from view of any public and private roads by utilizing plant material of varying form, height and densities to soften and vary graded slope planes.
8. Slope drainage structures shall be obscured by creating a variety of plant masses to soften the man-made appearance.
9. All manufactured slopes shall be rounded at top and toe to conform to the existing topography.
10. To reduce grading quantities, overall slope heights, and therefore visual impacts, benching of slopes in excess of 20' in height shall not be required as per the soils engineer's recommendation.
11. Development architecture shall be sensitive to the natural terrain. Reduced front yard setbacks will allow for reduced pad grading for selected locations.
12. The architectural design of rear elevations shall be carefully detailed to soften their appearance.
13. The developer shall ensure stability and growth on all manufactured slopes for a minimum of two years and until maintenance is assumed by Lighting and Landscape CFD 98-02.
14. Grading shall be minimized, and buildings and roadways shall conform to blend with landforms to the extent possible.
15. Jute-type matting or other fibrous covers shall be placed on graded cut slopes, where needed to help allow for the establishment of plant cover.
16. The developer shall provide temporary construction fencing around natural open space areas and sensitive plant areas prior to the grading and construction phases of the project to delineate the limits of construction onsite and to protect sensitive open space.
17. Variation and undulation of slopes to create natural character shall predominate.

PROJECT DEVELOPMENT STANDARDS

18. Grading allows for slopes in excess of 20' in height.

D. LANDSCAPE ARCHITECTURE

The Conceptual Landscape Plan illustrated by Exhibit III-1 prescribes the overall style and landscaping for the San Marcos Specific Plan Area. A primary goal of the Landscape Concept Plan is to blend the developed areas with the existing natural surroundings. The character of the neighborhood perimeter landscape is borrowed from two recognizable, existing plant communities: Coastal Sage Scrub and Riparian.

The Coastal Sage Scrub plant community represents the predominant character of the site. With the exception of the major drainage area that runs in a northeast-southwest direction, the Coastal Sage Scrub can be found throughout the area. The predominant plants of this community include Sage, California Buckwheat, Lemonade Berry and California Encelia.

The riparian area along the stream course makes up the other recognizable, existing landscape element of San Marcos Highlands. This plant community is characterized by California Sycamore, Willow, Coast Live Oak and Coyote Bush.

These two plant communities comprise the context within which San Marcos Highlands will occur. It is the intent of the Landscape Concept Plan to minimize the visual impact of the development upon the natural environment. To implement this intent four primary landscape categories have been established:

- Coastal Sage Scrub Zone
- Riparian Zone
- Transition Zone
- Ornamental Zone

Plant palettes selected for each of the four landscape categories are presented on Table III-1. Culturally and aesthetically appropriate plant materials have been chosen for each category. Cultural considerations applied to plant selection include:

- Drought resistance
- Soil/slope stabilizing qualities
- Frost tolerance
- Low maintenance requirements

PROJECT DEVELOPMENT STANDARDS

Aesthetic criteria applied to plant selection include:

- Compatibility with surrounding environment
- Visually pleasing form, texture and color
- Ability to minimize residential view obstruction



PROJECT DEVELOPMENT STANDARDS

1. LANDSCAPE FUNCTION

The functional component of the landscape design has been developed to satisfy the following conditions:

- Entry Identification
- Streetscape Development
- Slope Re-vegetation
- Fuel Management Program
- Long Term Maintenance
- Fencing

2. ENTRY IDENTIFICATION

Entry treatments will provide recognition of one's arrival at San Marcos Highlands. The community image will be presented at each entry in a manner consistent with either the coastal sage or riparian environment, depending on the location of the given entry. The two westerly entries off Las Posas Road will fall within the coastal sage environment and will reflect that general character. The easterly entry shall reflect the character of the adjacent riparian environment. Each entry shall include a monument with the community name displayed. The monument material shall be stone and each monument will be illuminated with low intensity lighting. The preliminary entry treatment is shown on Exhibit III-2.

3. STREETSCAPE DEVELOPMENT

An intensive streetscape program is proposed. Evergreen trees will be utilized to buffer residences from adjacent streets. Flowering and/or accent trees will be utilized at neighborhood entries and key intersections, as well as at the transitions to open space or recreational land uses within the Specific Plan Area.

4. SLOPE RE-VEGETATION

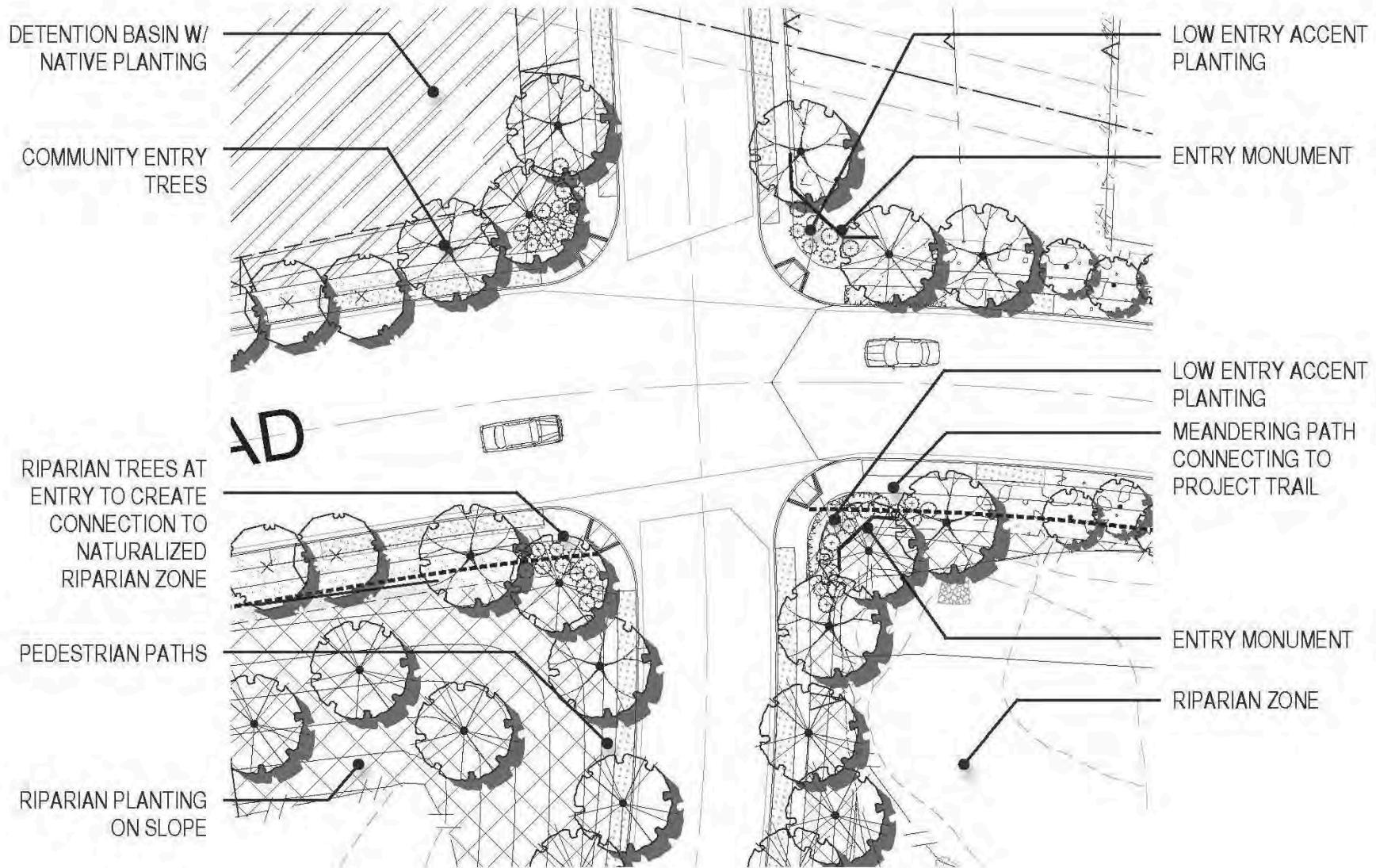
The plant palette for slopes within San Marcos Highlands has been selected with sensitivity to the natural open space area and recognition that certain slopes will be highly visible. Table III-1 lists typical plants for plantings of major slopes.

5. FUEL MANAGEMENT

Because there is a significant presence of fuel on site in the form of flammable, native plant material, and because of the topography of

PROJECT DEVELOPMENT STANDARDS

the site, it is critical that a fuel management program be initiated in the interest of fire safety. The intent of the fuel management program is to minimize potential fuel, particularly near development. Fuel management can be better understood by referencing the Fire Protection Plan (FPP) attached to this document.



Main Entry

SAN MARCOS HIGHLANDS

Exhibit III-2

NOT TO SCALE



PROJECT DEVELOPMENT STANDARDS

6. FUEL MANAGEMENT CATEGORIES

Fuel management zones (FMZ's) are proposed throughout the project area as shown on Exhibit III-3. Three fuel management transition categories have been established within this zone as identified in the FPP.

These categories and treatment zones are illustrated on Exhibit III-3. A minimum 150-foot buffer or a distance as approved by the City of San Marcos Fire Marshal and stated in the FPP, shall be provided to all structures. Fire-break dimensions and maintenance practices shall conform to applicable requirements of the Uniform Fire Code.

The following strategy and mitigation measures would provide effective treatment of flammable fuels and minimize structure losses due to a wildfire event for the proposed San Marcos Highlands development:

- A. Implement and maintain an irrigated Zone 1 (low fuel volume/defensible space) and a significantly modified non-irrigated Zone 2 around each residential structure and along roadways as described herein.
- B. A long term interior fuel modification treatment plan and fire resistant landscaping criteria deployed around all planned structures as described herein.
- C. For the benefit of the proposed community, the fuel modification and maintenance of common areas would be under the control of a homeowners association (HOA) or other common ownership, which will be established in perpetuity.
- D. The establishment and maintenance of a riparian area within Open Space Lot 3B as shown on Exhibit II-9. The establishment of this riparian area will include planting native riparian vegetation in this naturally wet environment and the removal of existing non-native species such as eucalyptus trees and other non-native invasive species.
- E. Pedestrian fire access points are located throughout the community.

Fuel Management Zones include fire protection measures which are implemented in accordance with the FPP. Fuel Management Zones are as follows:

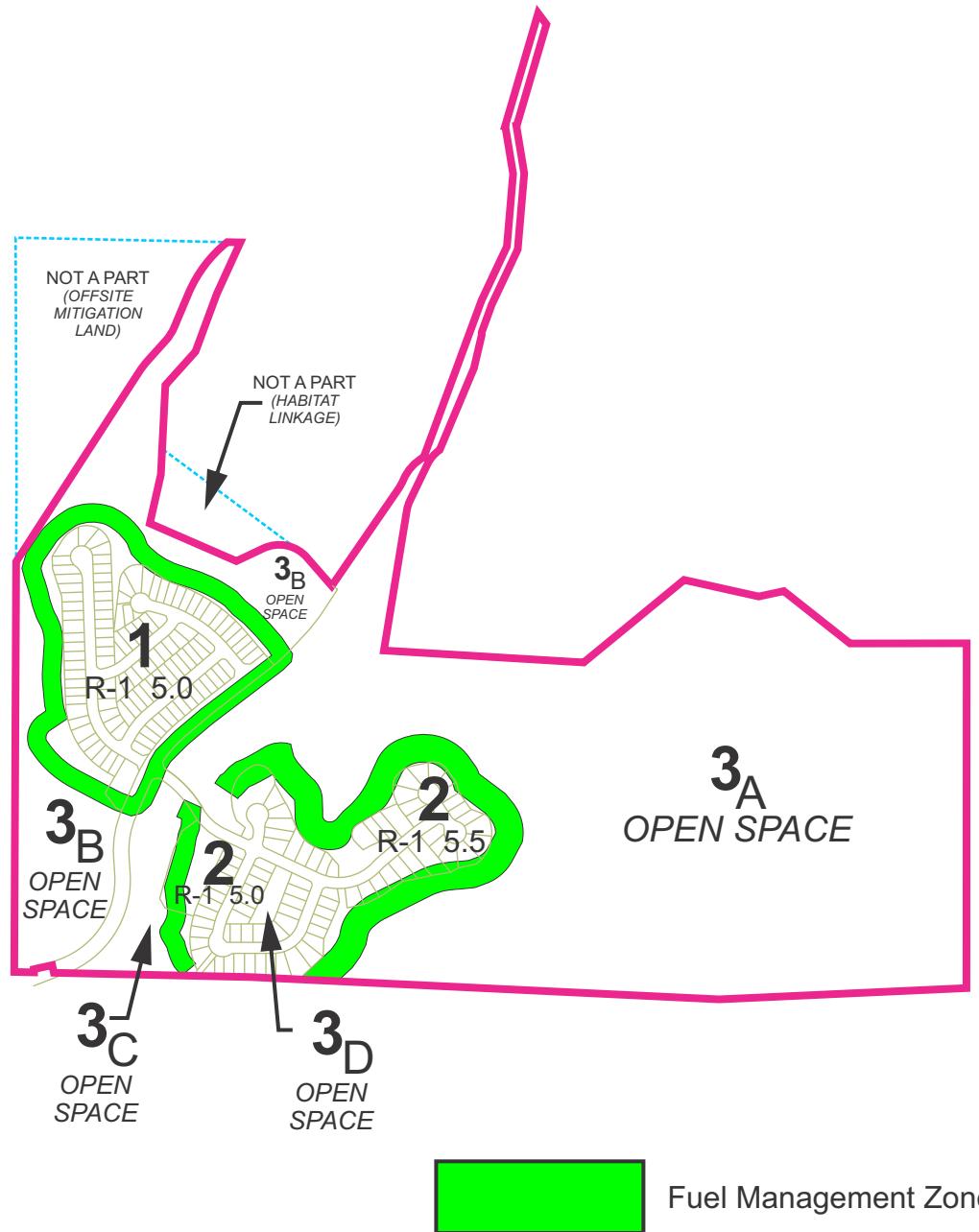
PROJECT DEVELOPMENT STANDARDS

Zone 1 – Irrigated. The first 50 feet around a structure or to the lot line and is commonly called the “survivable space” zone. This is usually irrigated and consists of fire resistant, maintained native or ornamental plantings which are less than 18 inches in height. This zone is maintained by the individual lot owner.

Manufactured Slopes – These slopes are re-vegetated with fire resistant species and maintained to Zone 1 standards. Lot owners are responsible to maintain manufactured slopes within their lot boundaries. The HOA is responsible for manufactured slopes outside residential lots.

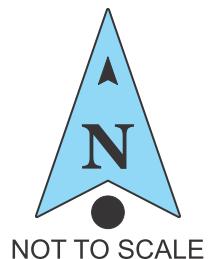
Zone 2 – Non-Irrigated – This zone is located 100' to 150' from any structures. All native shrubs are permanently removed and the cleared areas are hydro-seeded with a mix of native annual and perennial grasses which are cut or weed whipped to a 4-inch stubble height. All cut material is removed by June of each year. Larger native shrubs, such as toyon can be retained but must be pruned and the dead materials removed. Irrigation may be necessary for establishment and maintenance.

Zone 3 – Riparian Wetland Habitat. This zone will remove eucalyptus and other non-native invasive species per the project's approved Habitat Mitigation Monitoring Plan.



Fuel Management Zones
SAN MARCOS HIGHLANDS

Exhibit III-3



PROJECT DEVELOPMENT STANDARDS

7. FENCING

The wall and fence system for San Marcos Highlands will be an extension of the Landscape Concept Plan and the community architectural character. Continuity of building materials and details will provide a cohesive architectural theme throughout the community. Proposed wall and fence locations are shown on Exhibit III-4.

Wall and fence types have been developed to provide one or more of the following:

- Sound attenuation
- Privacy
- Containment and definition
- View Preservation

Wall types include:

- Split-face block construction, or stucco finish wall (4' - 6')
- Solid masonry sound attenuation wall (5')

All solid walls shall be of masonry with split-face block construction or stucco finish with stucco or stone pilasters. All wall materials, textures and colors shall be compatible with prevailing designs of the neighborhood area. Suggested solid wall design is shown on Exhibit III-5.

The location of sound attenuation walls will be determined by a noise study to the satisfaction of the City of San Marcos.

Fence types may include:

- Wood or vinyl privacy fence (5' - 6')
- Vinyl-clad wire fencing (6') (for lots adjacent to habitat areas as required by the Habitat Mitigation & Monitoring Program).
- Wrought iron fence or tubular steel (5' - 6')

Open fencing shall be primarily wrought iron or tubular steel as shown on Exhibit III-5. Pilasters, where used, shall match the pilasters used for solid walls (i.e. stucco or stone). Fencing along the riparian corridor shall conform to the guidelines established in the HHMP. As with solid walls, all materials, textures and colors shall be compatible with the design of the neighborhood area.

8. LIGHTING

The lighting and illumination standards for San Marcos Highlands will be complementary to the architecture and the land uses throughout the project area. All lighting shall be shielded to

PROJECT DEVELOPMENT STANDARDS

minimize light scatter and therefore maintain a dark sky. Lighting standards will comply with the City of San Marcos Street Lighting requirements.

LED energy-efficient lighting shall be used for all roadways. Lighting in parking areas at Park 'C' shall be LED energy-efficient lighting and shall be designed to provide illumination levels as required by the City of San Marcos.

There shall be no trail lighting in the preserved areas and all lighting adjacent to the preserved open space shall be shielded and focused away from preserved areas. Trails shall be passive and used during daylight hours only.



LEGEND

- Wrought Iron or Tubular Steel Fencing
- Wood or Vinyl Privacy Fencing
- Sound Attenuation Wall

Note: All flammable fencing will be setback and transition to non-flammable fencing to meet all fire codes within the fuel management

Note: Locations and numbers of pilasters will be included on the landscape plans and subject to approval by the City of San Marcos.

Note: The location and type of habitat fencing is subject to final approval by the Army Corps of Engineers.

Fencing Plan

Exhibit III-4

SAN MARCOS HIGHLANDS





Up to 6' Masonry Stucco Wall
Example #1



Wall Pilaster
Example #2



Up to 6' Tubular Steel Fence
Example #1



Up to 6' Tubular Steel fence
Example #2



Up to 6' Wood or Vinyl Fence
Example #1



Up to 6' Wood or Vinyl Fence
Example #2

PROJECT DEVELOPMENT STANDARDS

Table III-1 Landscape Plant Palettes

Botanical Name/Common Name

STREET TREES - LAS POSAS ROAD (VEHICULAR EMPHASIS)

Cercis canadensis / Eastern Redbud
Platanus x mexicana / Mexican Sycamore
Podocarpus gracilior / Fern Pine - High Branching
Quercus virginiana /Southern Live Oak
Rhus lancea / African Sumac
Platanus Acerifolia 'colombia'/London Plane tree

STREET TREES - LAS POSAS ROAD (PEDESTRIAN EMPHASIS)

Agonis flexuosa / Peppermint Tree
Cercidium x 'Desert Museum' / Thornless Palo Verde
Lagerstroemia indica / Crape Myrtle
Prosopis pallida 'Thornless' / Thornless Kiawe
Quercus virginiana /Southern Live Oak
Rhus lancea / African Sumac

COMMUNITY ENTRY TREES

Eriobotrya deflexa / Bronze Loquat Multi-Trunk
Koelreuteria bipinnata / Chinese Flame Tree
Platanus racemosa / California Sycamore Multi-Trunk

NEIGHBORHOOD ENTRY TREES

Arbutus x 'Marina' / Arbutus Standard
Cassia leptophylla / Gold Medallion Tree
Lagerstroemia indica 'Catawba' / Catawba Tree Crape Myrtle Multi-Trunk
Magnolia grandiflora / Southern Magnolia

STREET TREES - STREET A

Brachychiton populneum / Bottle Tree
Jacaranda mimosifolia / Jacaranda
Magnolia grandiflora / Southern Magnolia
Koelreuteria paniculata / Chinese Flame Tree
Rhus lancea / African Sumac

STREET TREES - STREET B – F

Brachychiton populneum / Bottle Tree
Jacaranda mimosifolia / Jacaranda
Koelreuteria paniculata / Chinese Flame Tree
Magnolia grandiflora / Southern Magnolia
Rhus lancea / African Sumac

PROJECT DEVELOPMENT STANDARDS

INTERIOR SLOPE TREES

Heteromeles arbutifolia / Toyon
Prunus ilicifolia / Holly Leaf Cherry
Prunus ilicifolia lyonii / Catalina Cherry
Rhamnus californica `Eve Case` / California Coffeeberry
Rhus integrifolia / Lemonade Berry

EXTERIOR SLOPE TREES

Quercus agrifolia / Coast Live Oak
Quercus dumosa / Coastal Shrub Oak
Rhus integrifolia / Lemonade Berry
Rhus laurina / Laurel Sumac
Rhus ovata / Sugar Bush

RIPARIAN ZONES TREES

Alnus rhombifolia / White Alder
Platanus racemosa / California Sycamore Multi-Trunk
Populus fremontii / Fremont Cottonwood
Quercus agrifolia / Coast Live Oak
Salix laevis / Pacific Willow

DETENTION BASIN TREES

Heteromeles arbutifolia / Toyon
Platanus racemosa / California Sycamore Multi-Trunk
Rhus integrifolia / Lemonade Berry
Rhus ovata / Sugar Bush

PARK TREES

Koelreuteria paniculata / Chinese Flame Tree
Lagerstroemia indica `Natchez` / Natchez Crape Myrtle
Tipuana tipu / Tipu Tree
Ulmus parvifolia / Chinese Elm

TRAIL TREES

Heteromeles arbutifolia / Toyon
Prunus ilicifolia Lyonii / Catalina Cherry
Rhus integrifolia / Lemonade Berry
Rhus laurina / Laurel Sumac
Rhus ovata / Sugar Bush

SHRUBS - LAS POSAS ROAD (VEHICULAR EMPHASIS)

Ceanothus spp. / Mountain Lilac
Ferocactus grusonii / Golden Barrel Cactus

PROJECT DEVELOPMENT STANDARDS

Hesperaloe parviflora / Red Yucca
Ribes viburnifolium / Evergreen Currant
Salvia leucantha / Mexican Bush Sage
Salvia leucophylla 'Point Sal' / Purple Leaf Sage

SHRUBS - LAS POSAS ROAD (PEDESTRIAN EMPHASIS)

Arctostaphylos spp. / Manzanita
Baccharis spp. / Coyote Brush
Ceanothus spp. / Mountain Lilac
Ferocactus grusonii / Golden Barrel Cactus
Muhlenbergia capillaris 'Regal Mist' TM / Muhly
Muhlenbergia rigens / Deer Grass
Yucca whipplei / Chaparral Yucca

SHRUBS - COMMUNITY ENTRY

Ferocactus grusonii / Golden Barrel Cactus
Lavatera assurgentiflora / Mallow
Salvia leucantha / Mexican Bush Sage

SHRUBS - INTERIOR SLOPES

Baccharis spp. / Coyote Brush
Ceanothus spp. / Mountain Lilac
Salvia clevelandii / Cleveland Sage

SHRUBS - EXTERIOR SLOPES

Encelia californica / California Encelia
Galvezia speciosa / Island Bush Snapdragon
Garrya elliptica / Coast Silktassel
Rhamnus ilicifolia / Hollyleaf redberry
Salvia clevelandii / Cleveland Sage
Yucca whipplei / Chaparral Yucca

SHRUBS - DETENTION BASIN SLOPES

Baccharis salicifolia / Sticky Seepwillow
Carex barberae / Santa Barbara Sedge
Iva hayesiana / San Diego Poverty Weed
Juncus effusus / Soft Rush
Juncus patens / California Gray Rush
Juncus polyanthemos / Australian Grey Rush
Scirpus cernuus / Low Bulrush

SHRUBS - RIPARIAN ZONE

Encelia californica / California Encelia

PROJECT DEVELOPMENT STANDARDS

Eschscholzia californica / California Poppy
Iva hayesiana / San Diego Poverty Weed
Lonicera subspicata / Southern Honeysuckle
Lotus scoparius / California Deer Weed
Ribes viburnifolium / Evergreen Currant
Rosa californica / California Wild Rose
Vitis californica / California Wild Grape

SHRUBS - PARKS

Arctostaphylos spp. / Manzanita
Ceanothus spp. / Yankee point
Erigeron karvinskianus / Fleabane
Ferocactus grusonii / Golden Barrel Cactus
Muhlenbergia capillaris / Pink Muhly
Muhlenbergia rigens / Deer Grass
Yucca whipplei / Chaparral Yucca

SHRUBS – TRAILS

Clarkia bottae / Farewell to Spring
Eschscholzia californica / California Poppy
Linum lewisii / Lewis Flax
Lotus scoparius / California Deer Weed
Lupinus bicolor / Miniature Lupine
Mimulus puniceus / Red Monkey Flower
Nemophila menziesii / Baby Blue Eyes
Oenothera elata / Hooker's Evening Primrose
Phacelia campanularia / California Desert Bluebells

PARK LAWN

Festuca arundinacea 'Marathon II' / Dwarf Cool Season Turf

PROJECT DEVELOPMENT STANDARDS

E. RIPARIAN CORRIDOR

The purpose of this section is to provide basic guidelines for the preservation, enhancement and long-term maintenance of the riparian corridor area of the San Marcos Highlands Specific Plan. The riparian woodland and freshwater marsh habitats are considered the most sensitive resources within the Specific Plan Area. One of the primary goals of this Specific Plan is to preserve and wherever possible, enhance these existing habitats. ERC Environmental and Energy Services Company (ERC) conducted the initial biological survey of the San Marcos Highlands area in March and April of 1989. The site biological survey has been updated by a report from Everett and Associates dated 26 September 2014. The updated survey determined a portion of 13.37 acres of ruderal habitat, 2.55 acres of un-vegetated channel or floodway, a portion of 0.20 acres of herbaceous wetland, and 3.41 acres of eucalyptus/riparian woodlands also are located within the riparian corridor.

The riparian corridor has been degraded by local agricultural and recreational activity. The riparian area downstream and just upstream of the now dry pond is generally considered high quality habitat. Further upstream, portions of the habitat are of only limited quality, and in several areas the channel is devoid of riparian vegetation. For reasons of structural safety the existing earthen dam located at the south end of the existing pond must be removed allowing for the restoration of the stream through the riparian corridor. Street "A" will be constructed over the section of dam to be removed to provide vehicular access to the easterly portion of the site. Prior to any disturbance to the riparian corridor, the developer shall implement all approvals from the U.S. Army Corps of Engineers and the California Department of Fish and Wildlife.

An exhibit has been prepared which illustrates the riparian corridor enhancement program. Please refer to Exhibit III-6. The relationship of the riparian habitat to the residential area and Las Posas Road are shown in cross section on Exhibit III-7. Note the riparian setback of 100 feet shall be observed from residential uses except where encroachment is permitted by the wildlife agencies via approved permits (i.e. to allow for roads, trails and parks). Additionally, the residential pads will have vertical separation from the riparian restoration area. All graded slopes adjacent to the riparian restoration area have varied slopes, which are rolled at the toe and top of slope to provide a more natural character.

The following specific conditions shall apply to the riparian corridor habitat:

1. The riparian corridor is an environmental resource which may be utilized by native wildlife and enjoyed as a visual amenity by the community. Pedestrian and maintenance access and passive recreation activities shall be located and managed in accordance

PROJECT DEVELOPMENT STANDARDS

with the recommendations contained within the updated biological survey in conjunction with the Habitat Mitigation & Monitoring Program (HMMP).

2. Provisions for continuous wildlife movement through the riparian corridor shall be provided.
3. The western boundary of the riparian corridor shall be enhanced with plant material and fencing barriers to prohibit intrusion into the corridor from the roadway and walkways along Las Posas Road.
4. The southern riparian corridor shall be physically separated by fencing from the equestrian and hiking path to prevent intrusion into the riparian area.
5. The riparian corridor shall be enhanced by the developer. Existing willows shall not be removed but may be thinned under the direction of a certified biologist. The transition areas around the riparian corridor shall be enhanced by the planting of sycamores, cottonwoods and/or oak trees or as determined by the regulatory agencies.
6. Enhancement of the southern riparian corridor shall be conducted with the first phase of development of San Marcos Highlands.
7. In conjunction with the Riparian Enhancement Plan, a Re-vegetation Monitoring System shall be developed. Re-vegetated areas shall be inspected three and five years after re-vegetation or in compliance with the established HMMP. A conservancy bond shall be posted for the Re-vegetation Monitoring System by the developer.
8. Should it be required according to the HMMP, the existing riparian boundary shall be expanded to compensate for losses caused by roadway improvements.
9. Particular stands of eucalyptus located in the riparian corridor, which are judged to be unsightly or which threaten the viability of the habitat, shall be removed.
10. Noxious and non-native exotic plant materials shall be selectively removed. The intermediate layer of overgrown brush shall be thinned to facilitate wildlife movement and preferred species growth.

PROJECT DEVELOPMENT STANDARDS

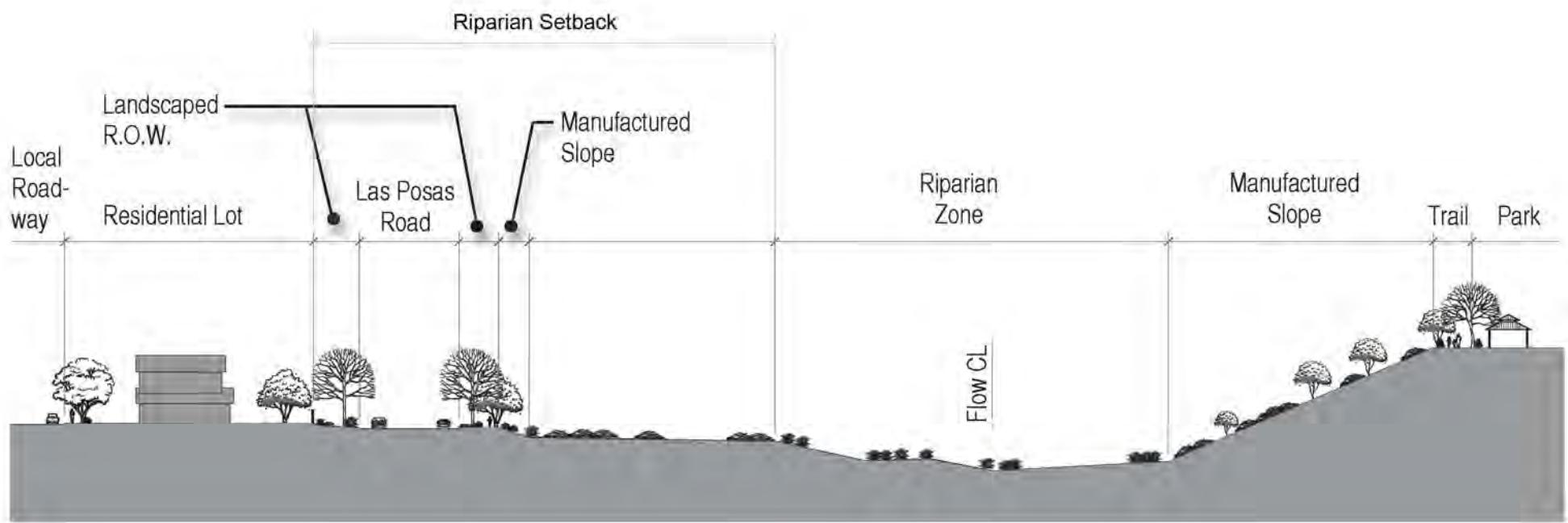
11. Additional native riparian plantings such as cottonwoods and wild berries shall be introduced to provide high habitat value as well as visual ornamentation.



Conceptual Riparian Park

San Marcos Highlands

Exhibit III-6



Las Posas - Riparian Section

Exhibit III-7

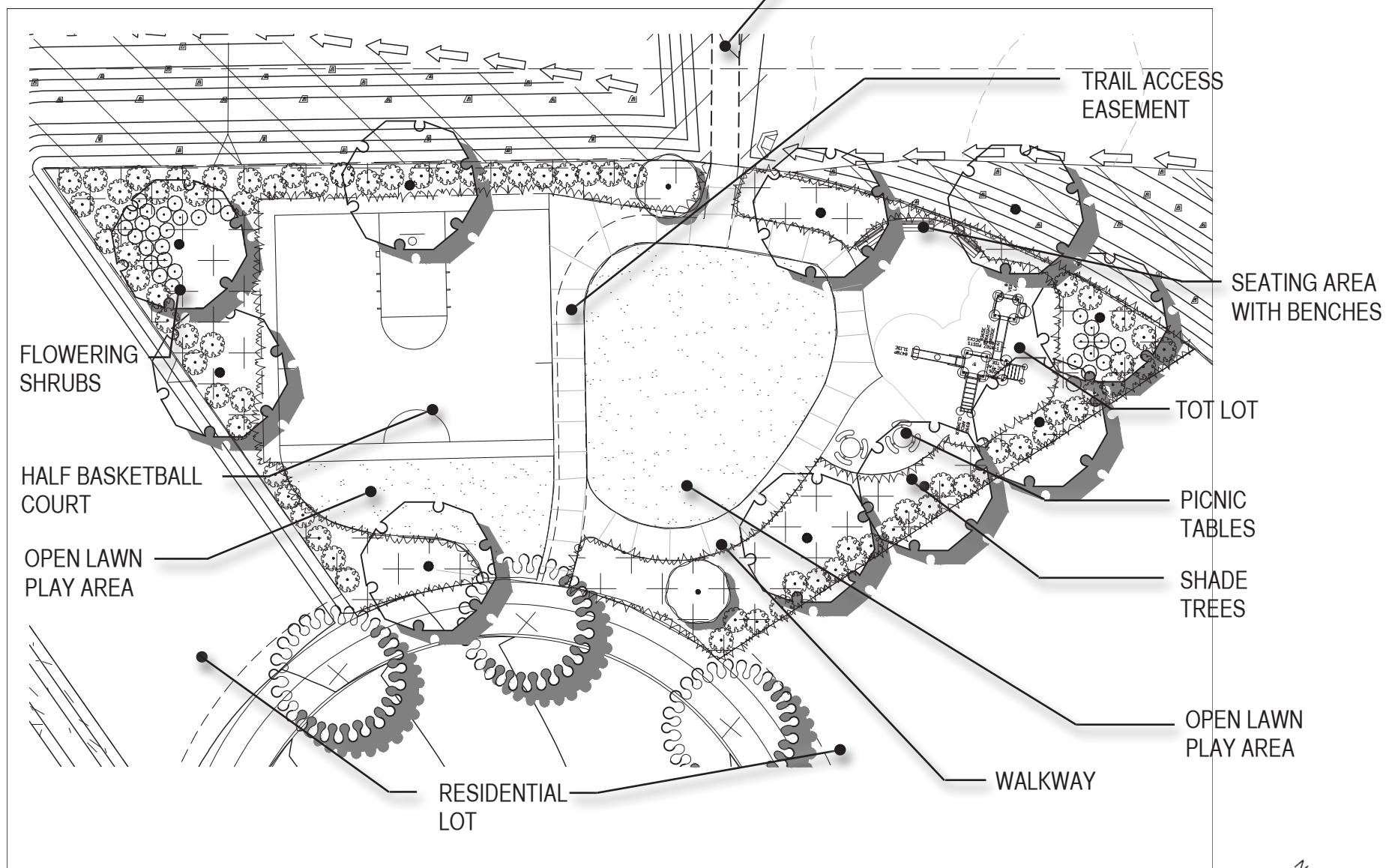
SAN MARCOS HIGHLANDS

NOT TO SCALE

PROJECT DEVELOPMENT STANDARDS

F. NEIGHBORHOOD PARK

San Marcos Highlands will include a total of three neighborhood parks. Two Parks will be private and the remaining park will be dedicated as a public park space. A 21.68-acre open space riparian corridor located to the east of Las Posas Road will function as an interactive and informational open space preserve. Due to its sensitive nature, public access will be limited to an interactive educational trail circling the riparian corridor. The riparian open space trail will feature restored native vegetation with markers spaced along a trail identifying native plants and animals. The markers will provide the public with information about specific species located within the corridor and create a unique educational experience, highlighting the beauty of San Marcos' rare and special habitat. A natural buffer zone will be provided along the perimeter of the corridor, ringed by the trail which will create a unique integration of San Marcos Highlands to the natural environment.



Neighborhood Park 'A' (.28 AC.)

Exhibit III-8

SAN MARCOS HIGHLANDS

NOT TO SCALE





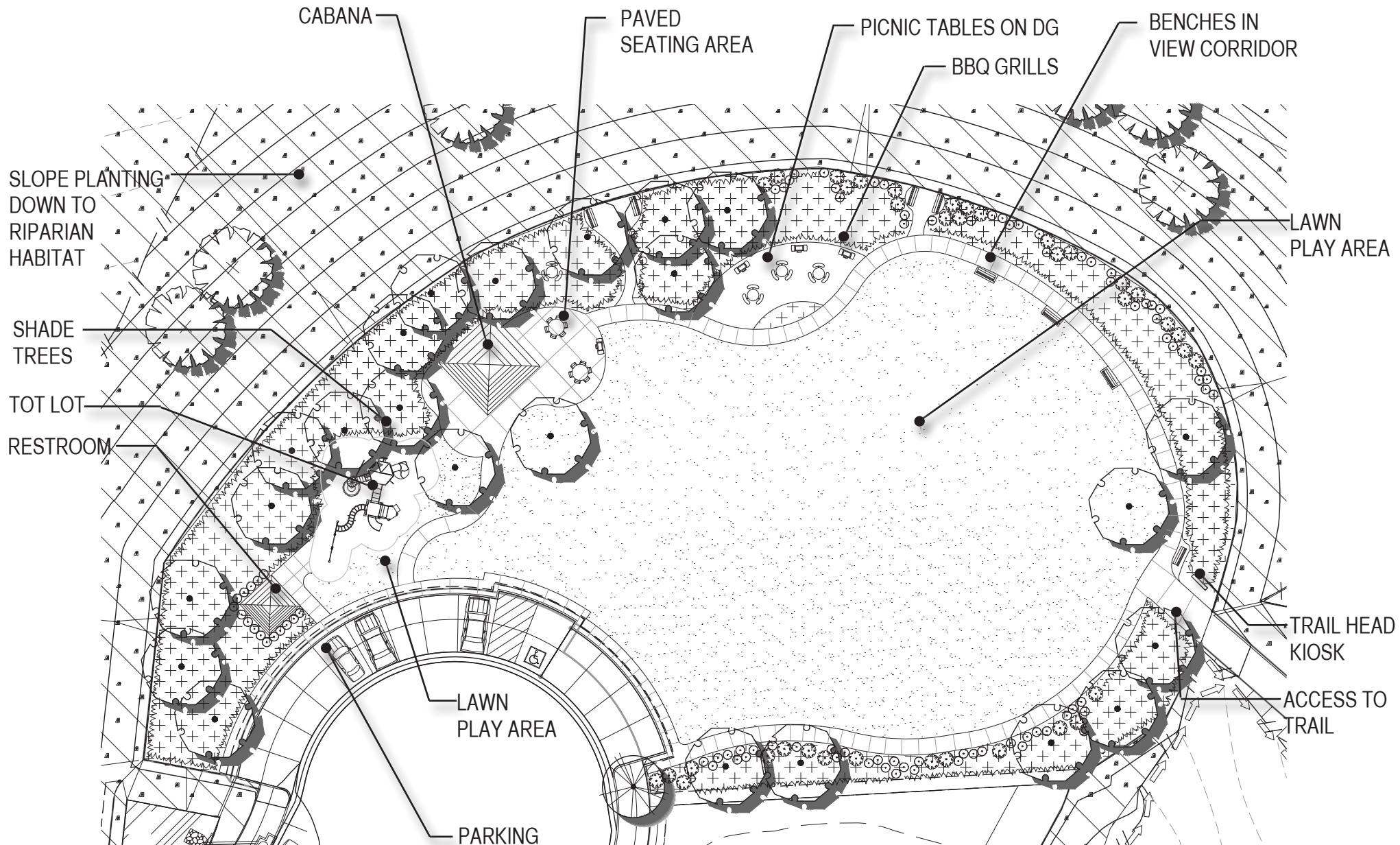
Neighborhood Park 'B' (.09 AC.)

SAN MARCOS HIGHLANDS

Exhibit III-9

NOT TO SCALE





Neighborhood Park 'C' (1.16 AC.)

SAN MARCOS HIGHLANDS

Exhibit III-10

NOT TO SCALE



PROJECT DEVELOPMENT STANDARDS

Park "A" located at the north-west end of Street "A" is planned as a private community park. This park totals 0.28-acres, and will provide active as well as additional passive recreational open space, which could serve as a rest or staging area for Trail # 37 along the aqueduct, immediately west of the view park. Improvements will include landscaping, seating, trash receptacles, a tot lot, half-court basketball, and the trail link.

Park "B" is a small private park totaling 0.09-acres and is located at the end of Street "D." This small park will include a tot lot, benches, and passive open space.

Park "C" consists of 1.16-acres located along the easterly side of the riparian corridor along the north side of Street "E." The 1.16-acre site is designed for public recreation. There will be an access easement granted to the City of San Marcos to allow the public to access Park "C" from Street "A" via Las Posas Road. Park "C" will include the following facilities:

- A tot lot with City-recommended play equipment, seating and fencing.
- A Cabana with a paved seating area, picnic tables and barbecue grills.
- An open lawn and play area.
- Benches placed to take advantage of views to the riparian corridor.
- A restroom facility.
- A connecting path to the City trail with a Trail Head Monument.
- A parking lot to provide 13 standard parking spaces and one handicap accessible stall.
- A conceptual site plan for the park is illustrated by Exhibit III-10.

G. ARCHITECTURE

Establishment of an overall architectural design theme is critical to the development of a pleasant, orderly and visually appealing neighborhood. The major goal of the standards listed in this section is to set forth in description and sketch form, guidelines that will ensure development of consistency and continuity in neighborhood design. The description of architectural style and elements is not intended to restrict but rather to assist in implementing a strong consistent design direction and level of quality. Suggested architectural treatments are shown on Exhibits III-22 through III-27.

PROJECT DEVELOPMENT STANDARDS

Due to the unique characters of the planning areas, specific architectural guidelines are provided for Planning Areas 1 and 2. Units located within the Ridgeline Ordinance Zone (ROZ) will comply with architectural and design guidelines provided in the ROZ. Refer to Exhibit III-34 to view residential units located within the ROZ.

1. ARCHITECTURAL GUIDELINES

a) *GENERAL DESIGN CONCEPTS*

West of Las Posas Road: This area contains gently rolling topography and allows terracing of home-sites to create view opportunities at several locations. The existing riparian corridor adds a unique visual amenity to this neighborhood.

East of Las Posas Road: This neighborhood differs considerably from the Planning Area 1 west of Las Posas in terms of topographical lay-out, visual sensitivity, home-sites located in draws and hollows between the hills, and the larger lots with prime views. Although some lots in this neighborhood are suitable for custom designed homes which take maximum advantage of available view opportunities, establishment of an overall design vocabulary will help create a common thread that will lend a single neighborhood appeal to the area. Spanish, Italianate, Craftsman, and Tuscan styles are also envisioned for this area; however, the larger homes will require single story elements, and generous setbacks along with a blend of second story projections. Long unbroken faces shall be avoided. Long horizontal planes shall be offset and broken up.

The architectural themes for the Planning Areas will be Italianate, Spanish, Craftsman, and Tuscan. The Spanish theme is an eclectic style derived from Mediterranean influences which include arches, plain thick walls with deep recessed openings, tile roofs, large simple massing, gables, detail at openings, decorative vent holes or tile vents, decorative iron work, and balconies. The Italianate style is based on simple hip roof forms, asymmetrical stucco massing, wide overhangs supported by brackets or corbels, arches, simple shutters, and quoin-like elements expressed through evenly-spaced channel screeds. The Craftsman style is characterized by low-pitched gable roofs, exposed rafter tails with (false) beams or braces under gables, asymmetrical massing, materials such as stone, shingles,

PROJECT DEVELOPMENT STANDARDS

and wood siding, and expressive structural elements such as hand railings, rafters, brackets, braces and columns. Tuscan elevations offer a historically-inspired style as an option within the development. Typical Tuscan design features include terracotta tile roofs, stone accents, and narrow, tall windows with shutters. Conceptual elevations for the four desired styles and the architectural details that define them are illustrated in Exhibits III-12 through III-15. Although individual character and interpretation are strongly encouraged, standards and guidelines should be followed to achieve the overall design theme. Additional design concepts to be incorporated should include:

- A minimum of four architectural elevations and four interchangeable floor plans will be included in the Specific Plan Area.
- When possible, single story plans or two-story plans with single story elements should be sited on the street side of corner lots.
- Front yard setbacks shall be varied to prevent a monotonous housing pattern (Exhibits III-30 through III-33).
- Floor plans will be reversed, where possible, to provide additional variation in the streetscape.
- Box-like buildings without horizontal and vertical wall articulation should be avoided. Masses should be derived from proportionally varied rectangular or spherical volumes.
- The orientation and visibility of the neighborhood require that side and rear elevations of all units clearly visible from Las Posas Road and neighborhood streets receive as indicated in Exhibit III-16, *Enhanced Architectural Elevations*, and Exhibit III-17, *Typical Enhanced Architectural Enhancements – Side and Rear Elevations*. All front elevations will be architecturally enhanced.
- The siting and design of structures and landscaping shall ensure that they blend into the terrain and do not dominate the landform as seen from lower elevations.
- Residential structures should draw their character from surrounding natural features. Forms should complement the

PROJECT DEVELOPMENT STANDARDS

natural environment through building materials, textures and colors.

- Where slope separation occurs between lots, higher portions of buildings should be placed adjacent to slopes to preserve views from lots above.
- Both front yard and side yard setbacks shall be varied to prevent a monotonous housing pattern.
- Gabled, hipped or shed roof configurations at a moderate pitch are suggested. Roofs will employ overhangs of at least 12 inches minimum to create strong shadow lines and contrast. Clipped roof-lines shall be prohibited.
- Emphasize horizontal architectural elements.

b) ROOF TREATMENT

Roof materials may be comprised of the standard barrel "S" tiles, "U" tiles or flat tiles. A symmetrical application of roof tiles is preferred to a random application. Roof tile color may vary, however, blue or orange tiles will not be allowed. Roof tile colors will be an earth tone. Roof pitch for Mediterranean architecture is typically low pitch. A 4:12-6:12 roof pitch is suggested for all main roof surfaces. Common architectural elements shall include a predominance of horizontally oriented building forms and extensive use of moderately pitched (4:12 to 6:12) hip roofs that employ overhangs of at least 12 inches. Roof types shall be restricted to low pitched gable roofs with the occasional use of a hip roof or shed roof as an accent at the end of a building.

c) COLOR

Color is intended to act as a primary theme-conveying element. In general, wall colors should be predominantly soft earth tones, or the occasional use of light pastels while avoiding the strong pink and salmon hues and ochre. Pure white and bright colors shall be avoided. Accent colors will be utilized as a method of design to allow individual expression and identity, while being applied sparingly. Color should reflect the context of the architectural style and should be varied within the planning areas to promote individuality and identity.

PROJECT DEVELOPMENT STANDARDS

d) WALL SURFACES

Stucco will be the primary wall surface material utilized. Finish should be smooth, sand or light lace. Accent materials may include wood, brick, tile, river rock and appropriate stone. Any wood siding shall be painted or stained.

e) ARCHITECTURAL DETAILING

Mediterranean doors are typically made of wood, deeply set into walls and have a "heavy" appearance. The doors are usually painted or stained to contrast with the building color. The incorporation of window or door surrounds and similar architectural statements within the building form is encouraged. These details should be integrated to break up large wall masses and offset floor setbacks. Exposed gutters used as an architectural feature shall be colored to match fascia or wall material. Exposed downspouts will be colored to match the surface to which they are attached unless copper is used.

Generous entry coverings, strong shade and shadow patterns created by recessed doors and windows, second story projections which provide opportunities for balconies and verandas, and a basic vocabulary of windows and doors which employ arched and half circular shapes in combination with typical square or rectangular forms serve to further animate the neighborhood street scene. Courtyards, overhead trellis, and entry walls and gates may also be used to add to the variety of architectural design elements. Use of stone, tile or brick may be employed as accents at chimneys, gable ends or entry walls.

f) GARAGES

In order to de-emphasize the role of the garage in front elevations, setbacks, side-entries, detached garages and other "neo-traditional" treatments are encouraged. Garages should be constructed of materials compatible with the architectural style of the adjacent primary structure. A variety of possible garage orientations are shown for each lot configuration (lot size) in Exhibits III-27, III-30, and III-32.

g) MISCELLANEOUS

All mechanical equipment and metering should be screened from the street. TV antennas and satellite dishes are not

PROJECT DEVELOPMENT STANDARDS

allowed, if visible from the street in front of the dwelling unit. Canvas awnings of solid accent colors are permitted in moderation.

h) Solar and Energy Efficient Home Design – To reduce home emissions and energy usage solar energy systems will be integrated into the home design for each unit within the San Marcos Highlands Specific Plan Area. Solar panels are to be integrated into the roof design, flush with the roof slopes. Frames must be colored to compliment the roof. Solar support equipment shall be enclosed and screened from view (Exhibit III-28). Appropriate electrical conduit will be added to each home to allow for an optional electrical vehicle charging station.

i) ENHANCED ELEVATIONS

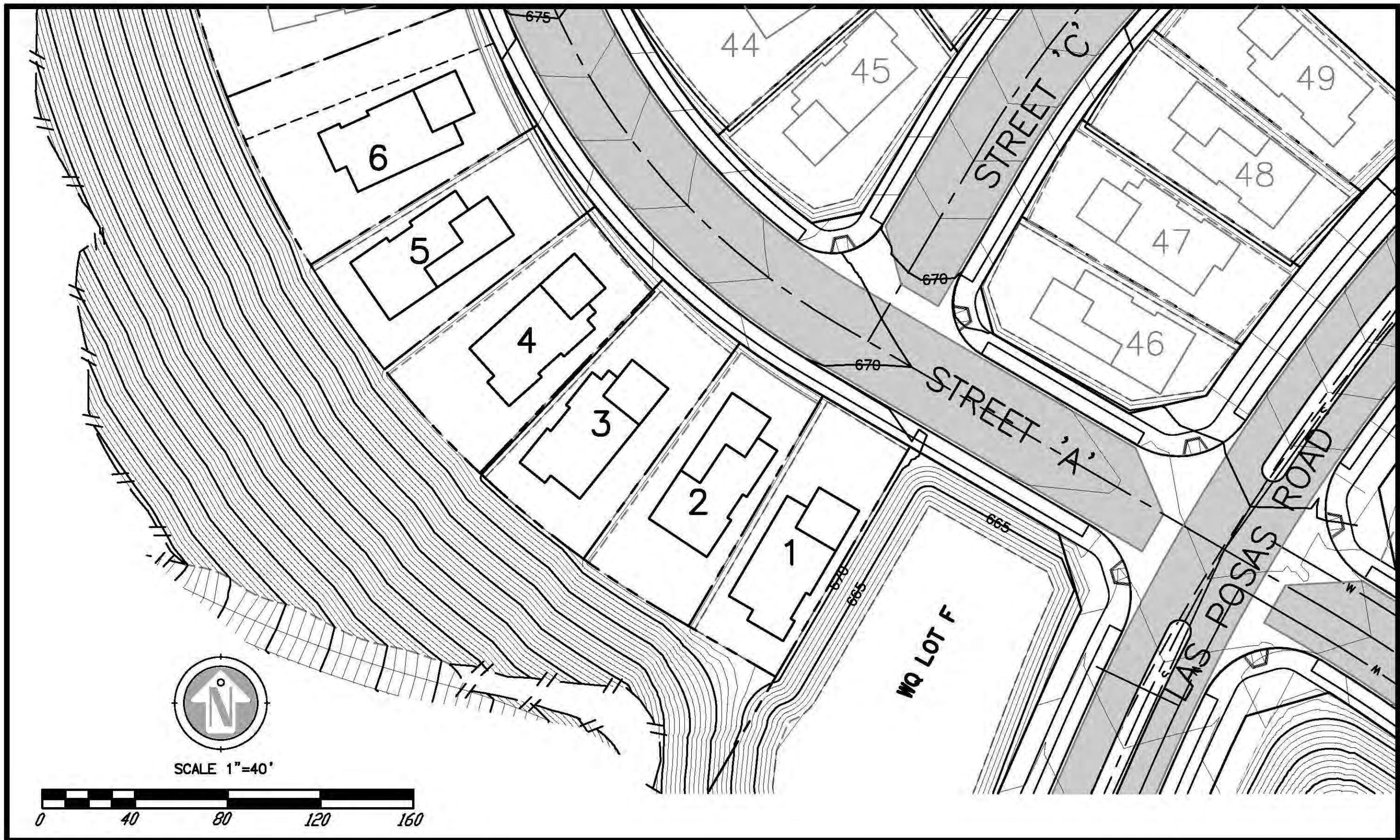
Homes with rear or side views visible from internal streets and Las Posas Road should feature enhancements to create a more visually stimulating product. Typical enhancements for these units should include the following features:

Side Enhancements: Gable form chimney's with decorative cap details, multiple windows with shutters or trim, gable vent detailing, trim details for added wall interest, entry door casings, intersection of gable roofs for articulation, arched patio (Tuscan style), and decorative stone or brick entries.

Rear Enhancements: Intersection of hipped roofs for articulation, hip style roof mass to minimize wall scale, multiple windows with trim or shutters, varying wall planes for building relief, raised tower massing elements for building relief, and chimneys with decorative cap details.

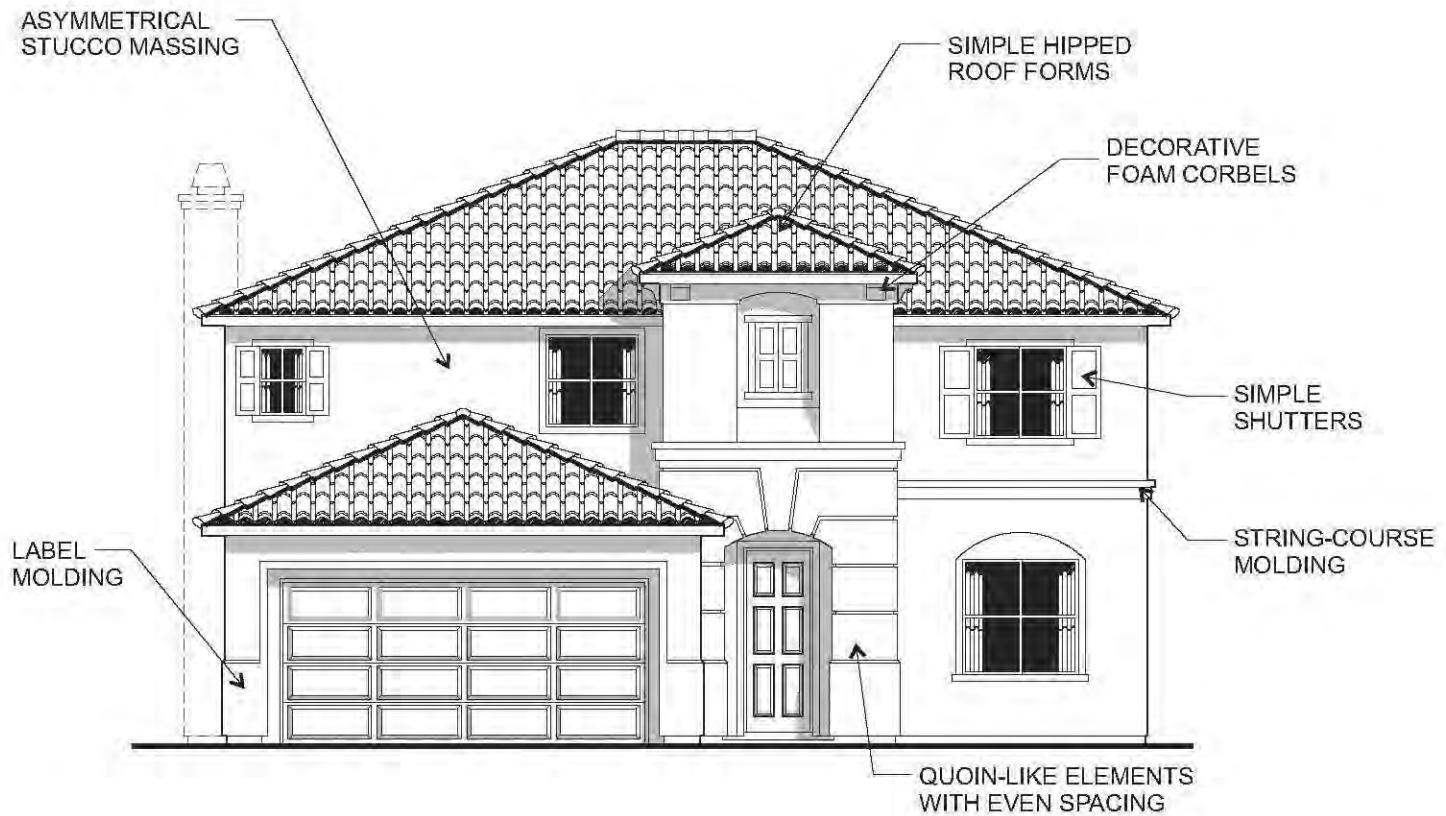
j) BUILDING PLOTTING

Buildings will be staggered to provide variation of the streetscapes. Staggering of buildings will be accomplished through the use of varying setbacks (Exhibit III-11). Locations of buildings will be reviewed and approved by City staff through a Site Development Plan.



Staggered Building Layout

Exhibit III-11

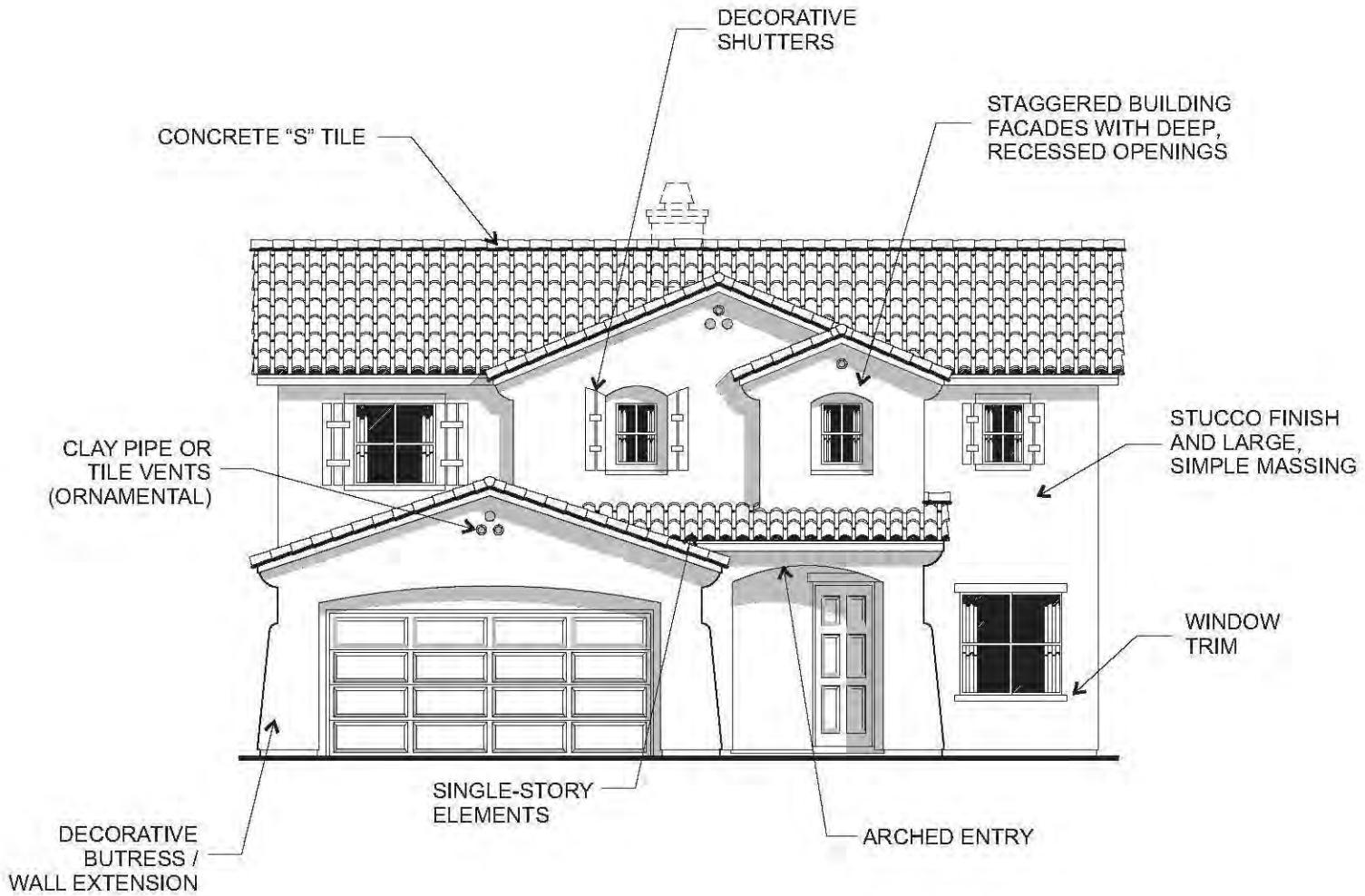


Conceptual Front Elevation
Italianate Style

Exhibit III-12

SAN MARCOS HIGHLANDS

NOT TO SCALE

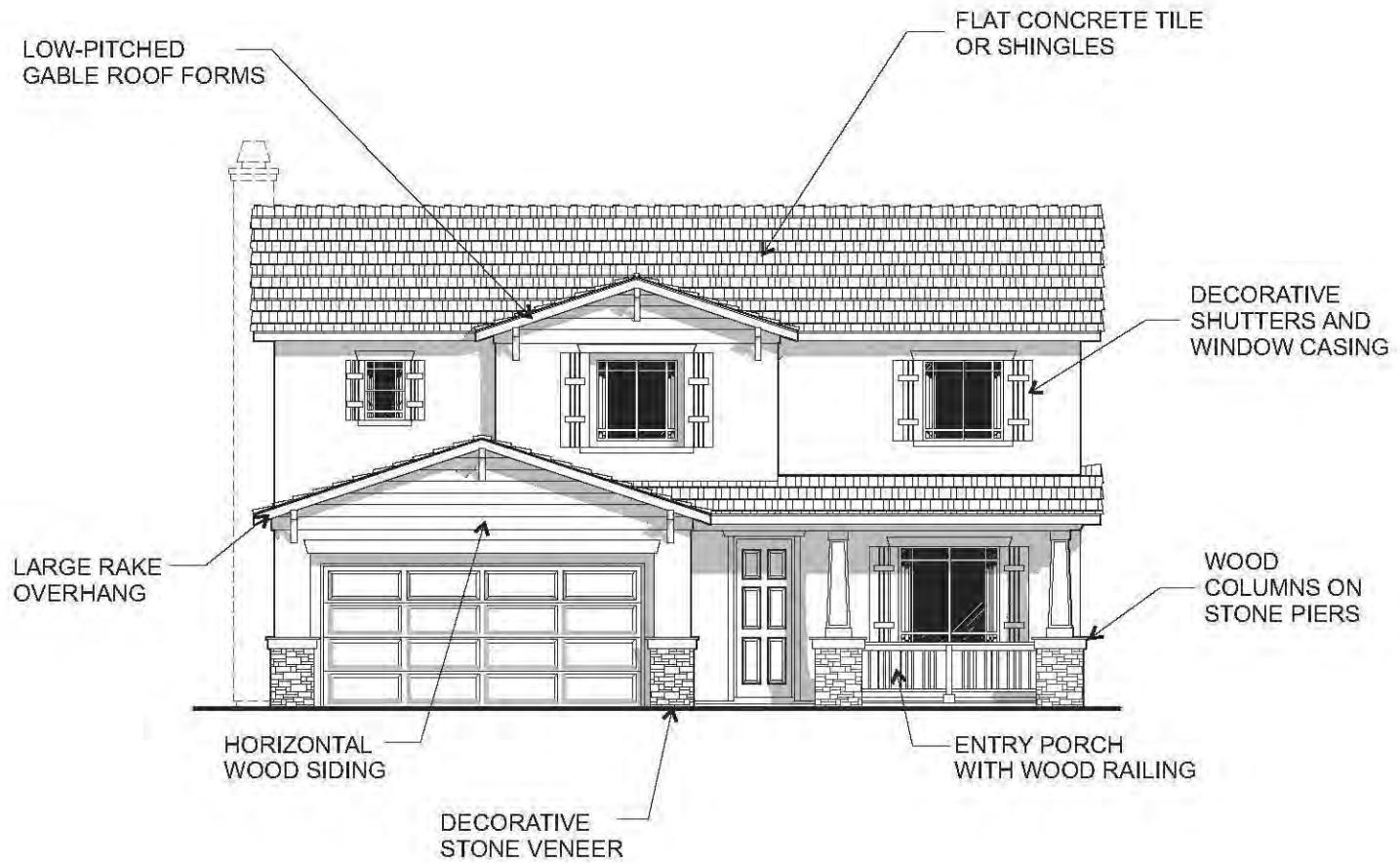


Conceptual Front Elevation
Spanish Style

Exhibit III-13

SAN MARCOS HIGHLANDS

NOT TO SCALE

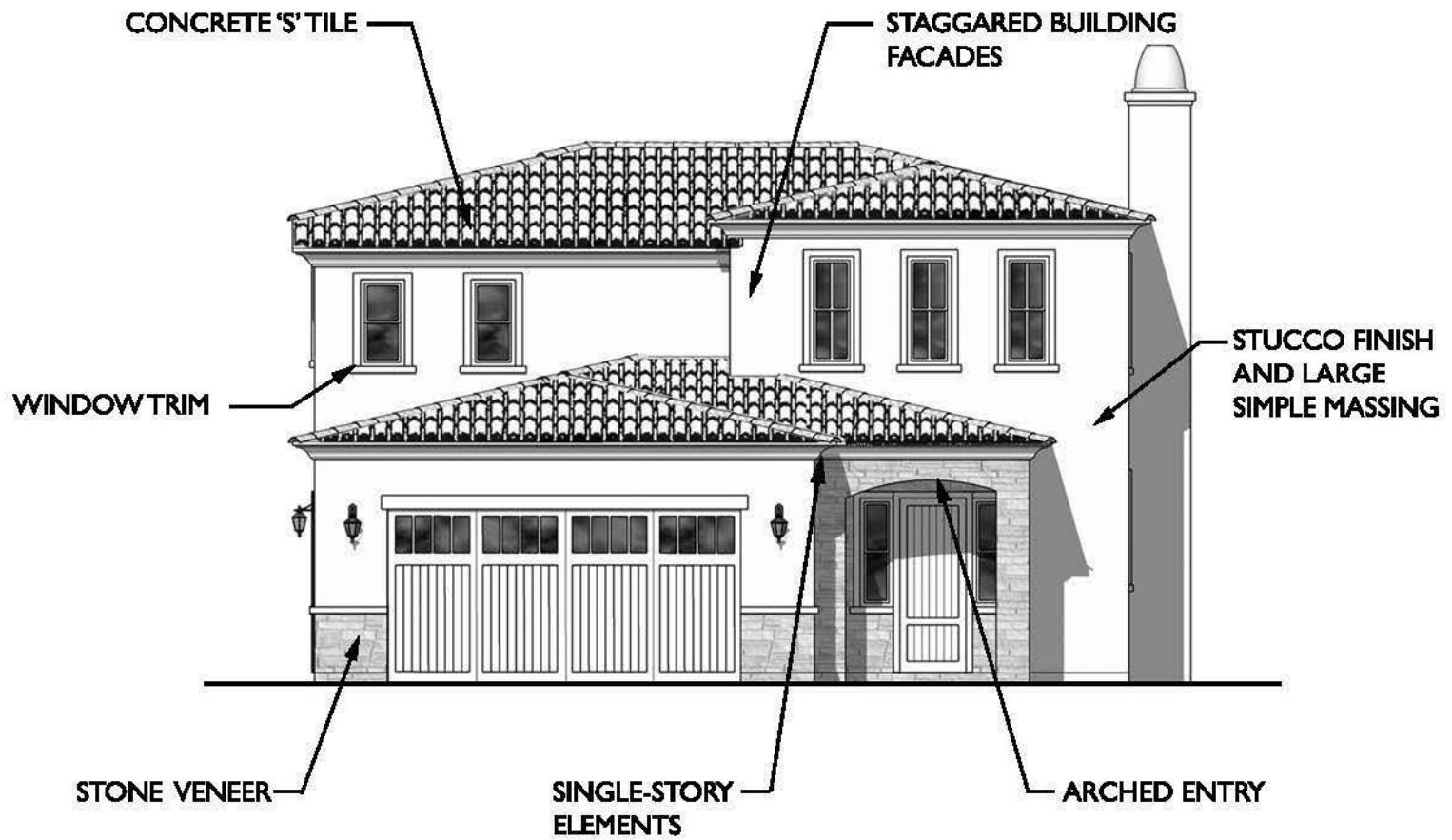


Conceptual Front Elevation
Craftsman Style

Exhibit III- 14

SAN MARCOS HIGHLANDS

NOT TO SCALE



Conceptual Front Elevation
Tuscan Style

Exhibit III-15

NOT TO SCALE

SAN MARCOS HIGHLANDS

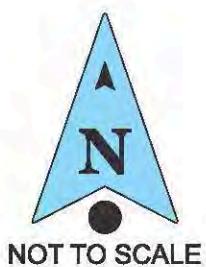
LEGEND

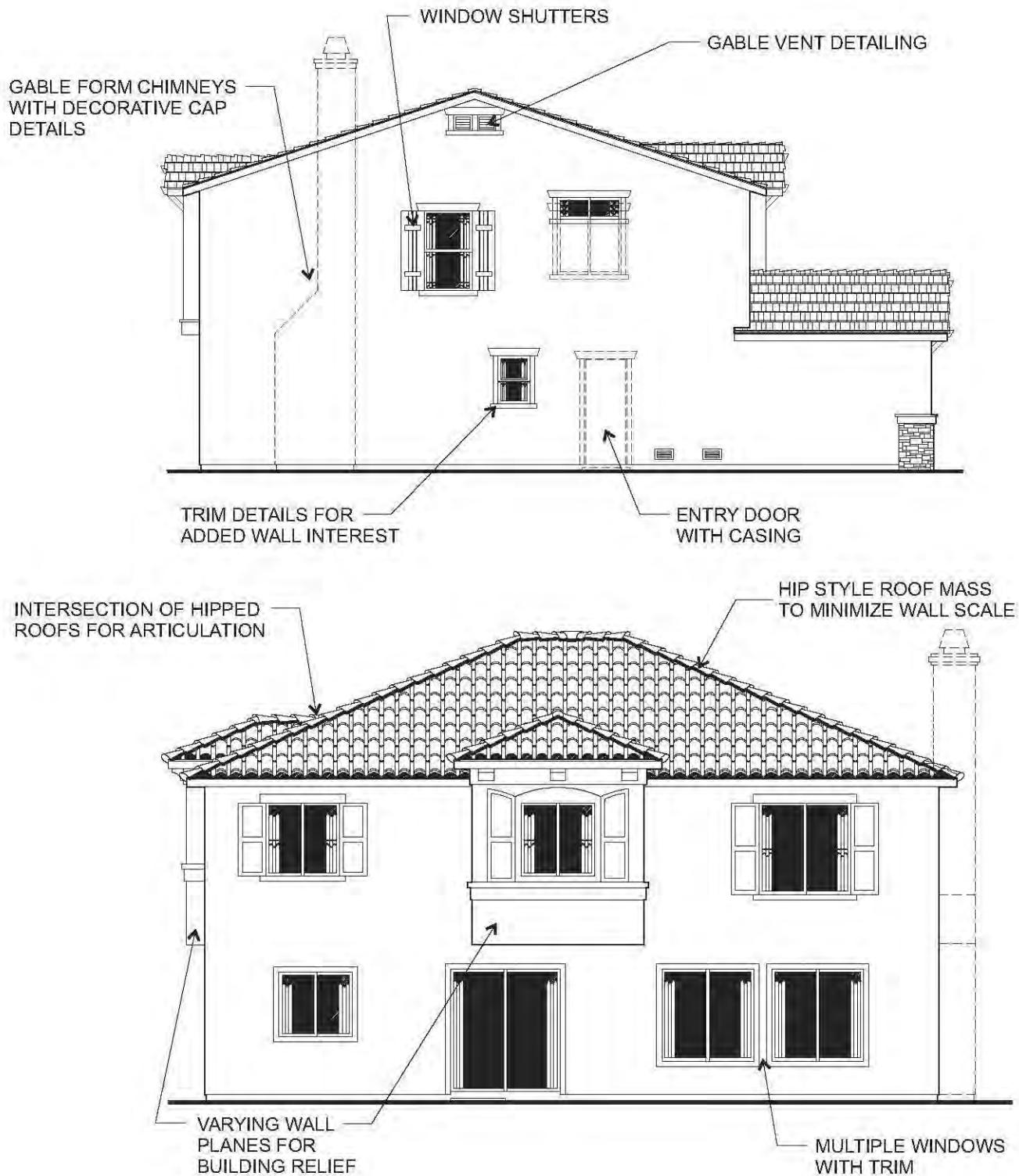
- Rear Building Enhancement Requirement
- Rear & One Side Building Enhancement Required
- Side Building Enhancement Required



Enhanced Architectural Elevations *Exhibit III-16*

SAN MARCOS HIGHLANDS



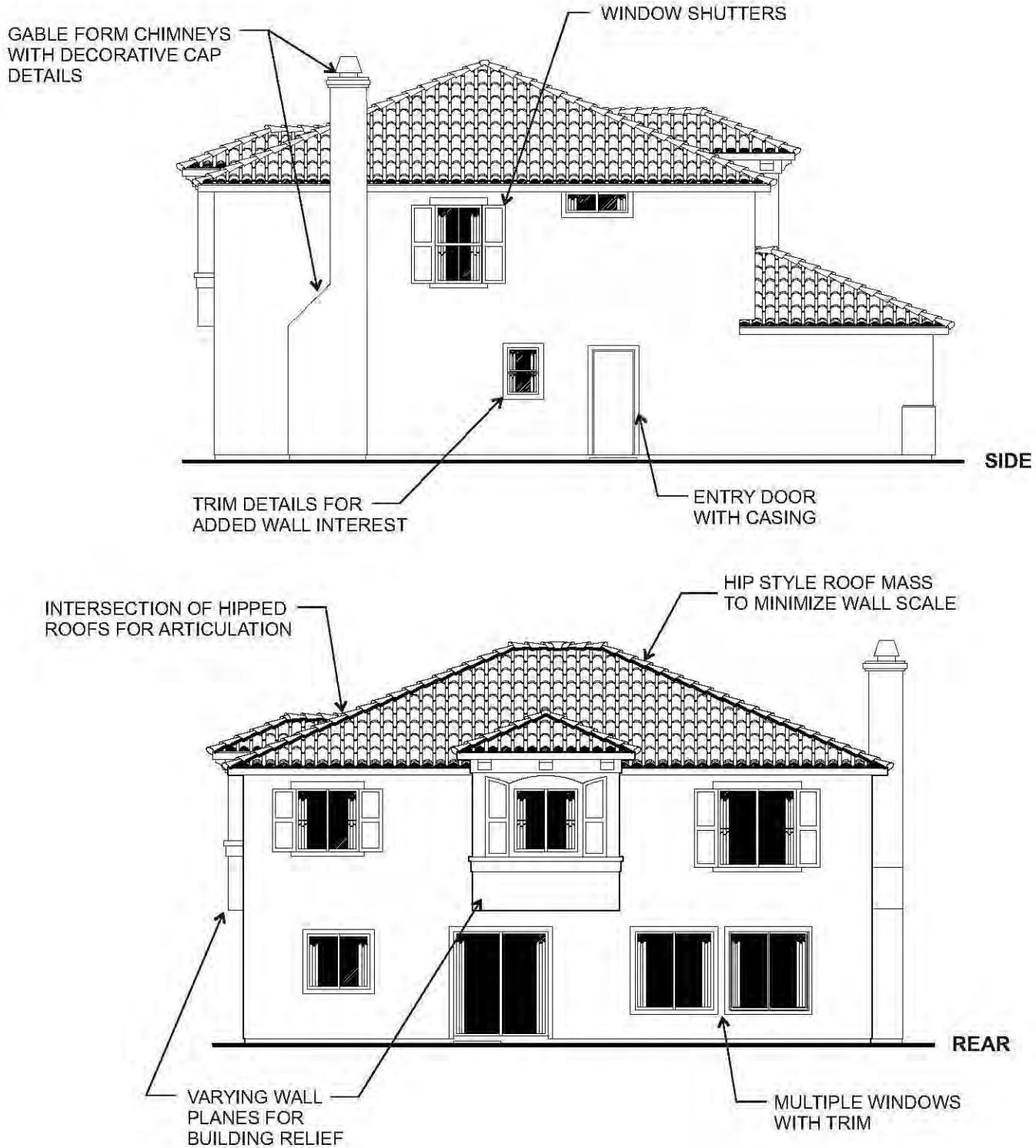


Typical Architectural Enhancements
Side and Rear Elevations

Exhibit III-17

SAN MARCOS HIGHLANDS

NOT TO SCALE

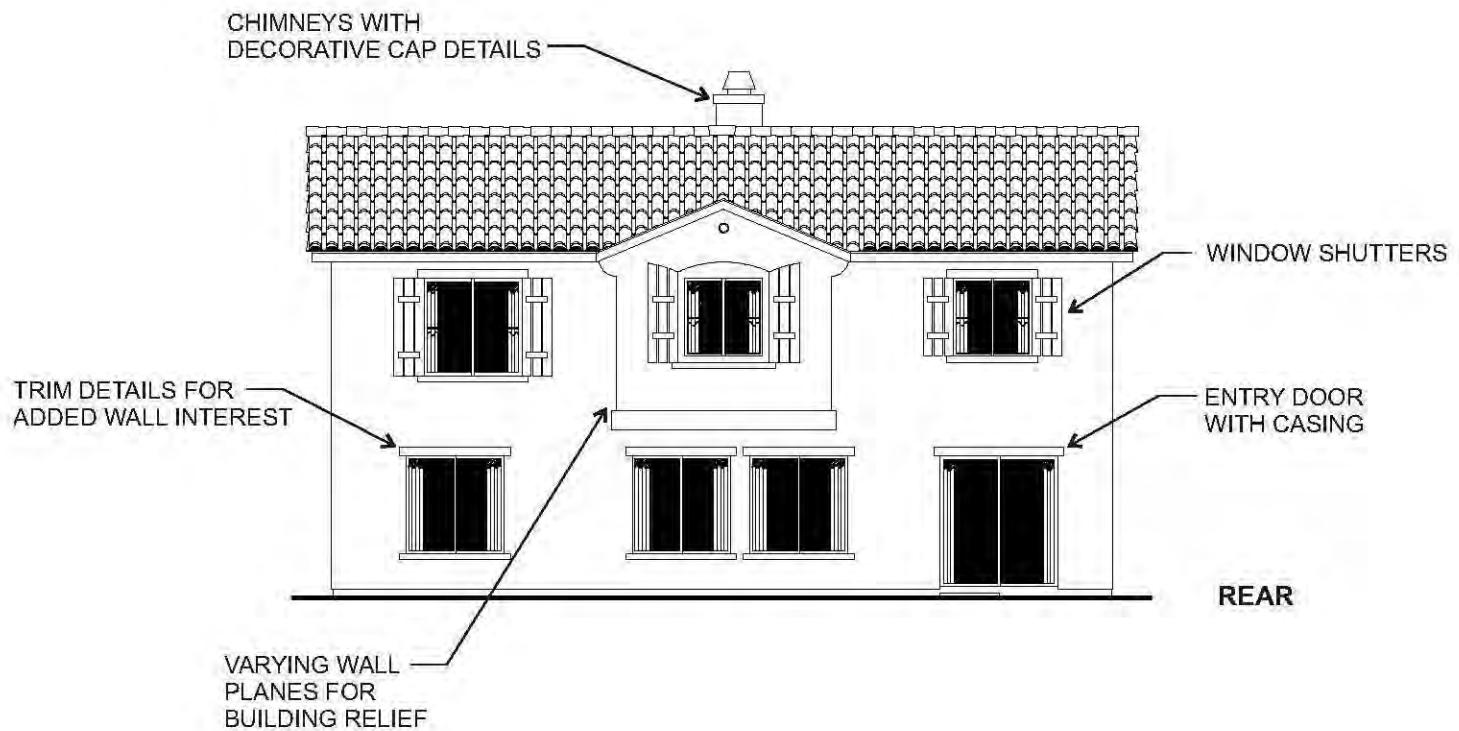
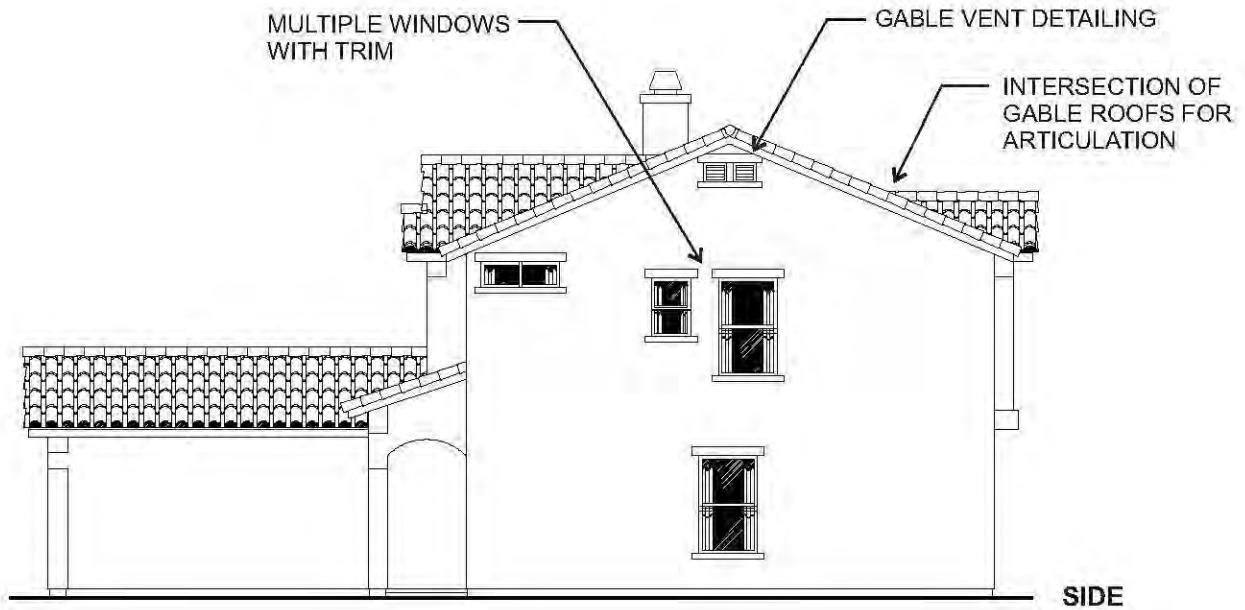


Typical Architectural Enhancements - Italianate Style
Side and Rear Elevations

Exhibit III-18

NOT TO SCALE

SAN MARCOS HIGHLANDS

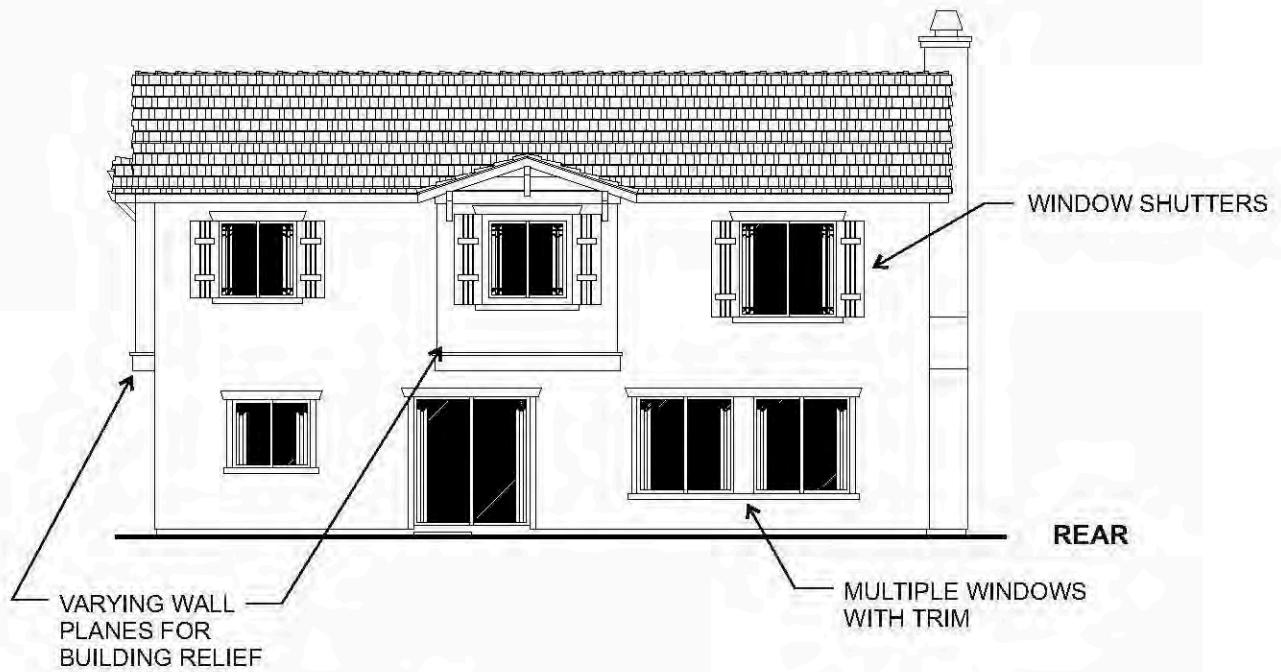
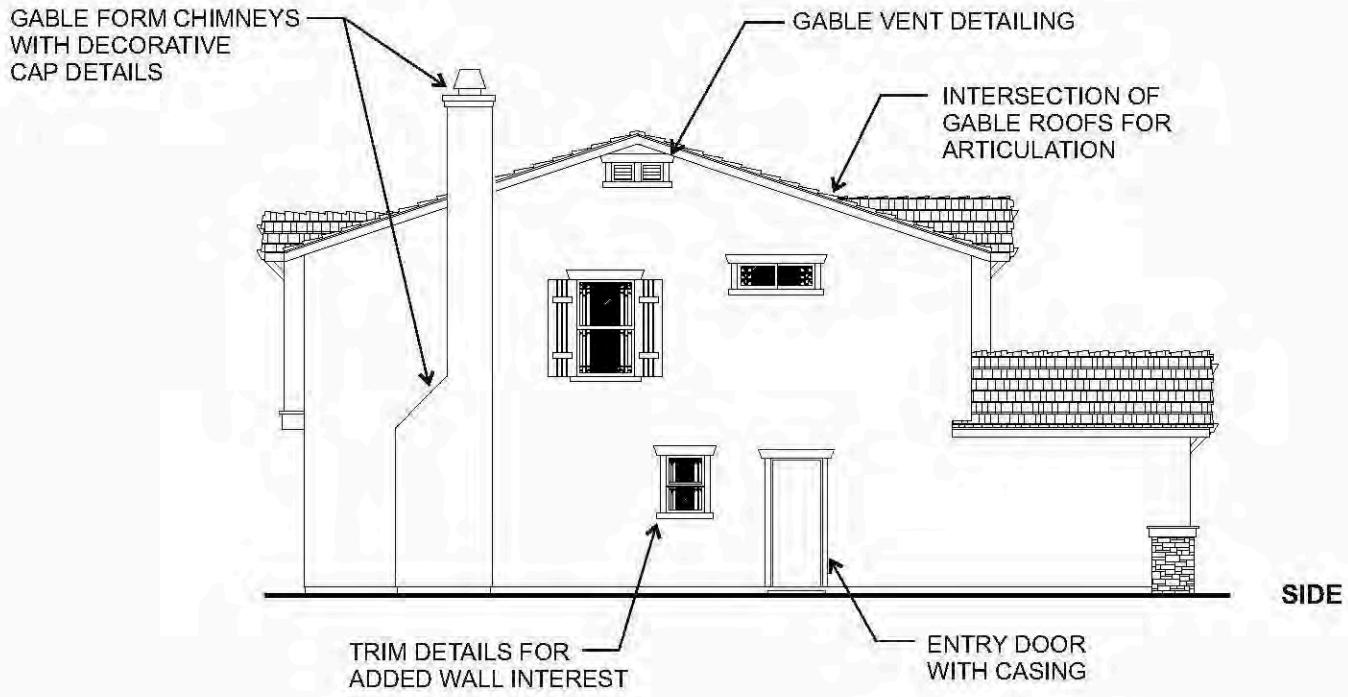


Typical Architectural Enhancements - Spanish Style
Side and Rear Elevations

Exhibit III-19

SAN MARCOS HIGHLANDS

NOT TO SCALE

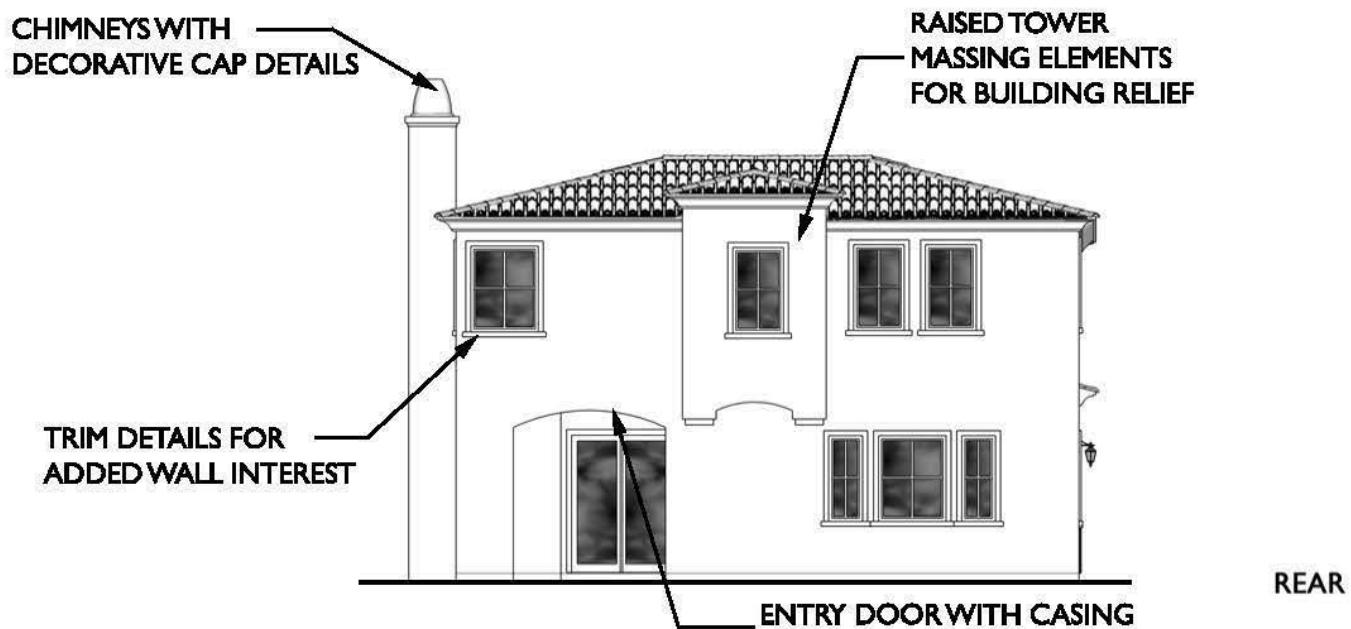
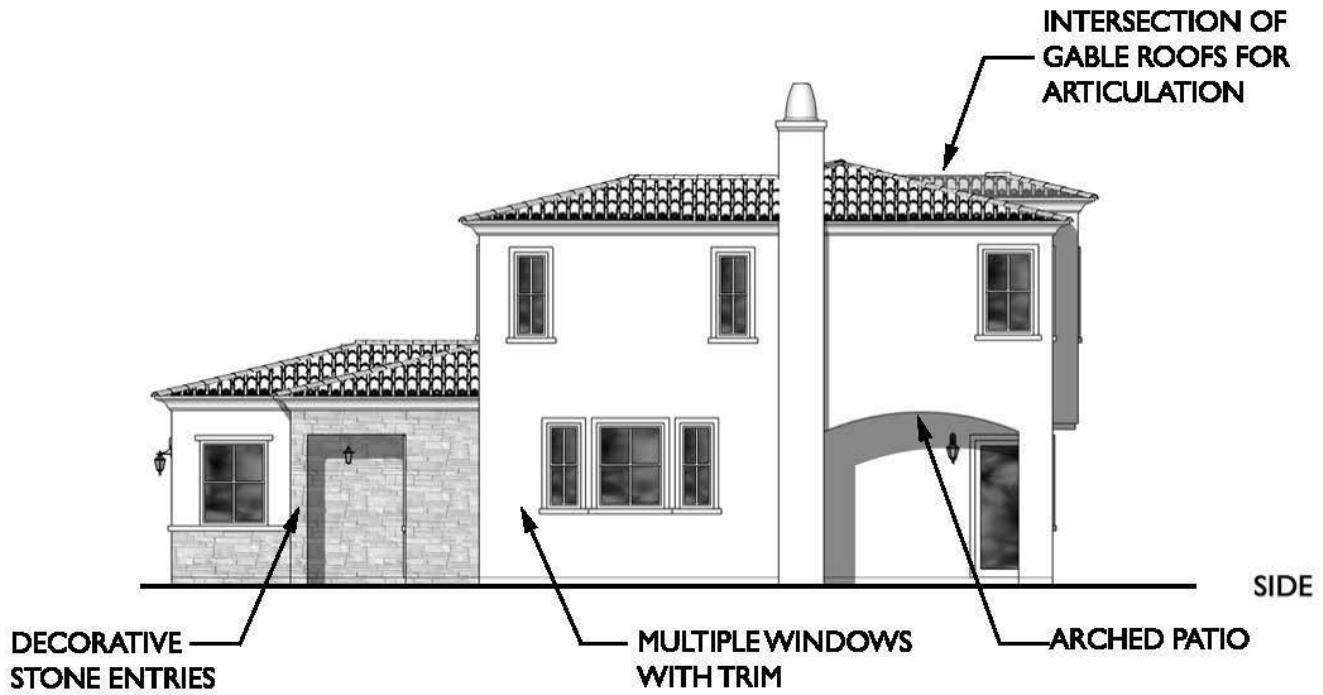


Typical Architectural Enhancements - Craftsman Style
Side and Rear Elevations

Exhibit III-20

SAN MARCOS HIGHLANDS

NOT TO SCALE



Typical Architectural Enhancements - Tuscan Style

Side and Rear Elevations

Exhibit III-21

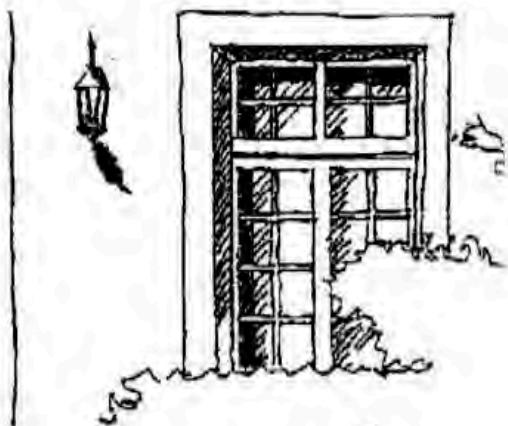
NOT TO SCALE

SAN MARCOS HIGHLANDS



Appropriate:

- Accent trim of tile (encouraged)
- Painted foam window trim (encouraged)
- Rectangular and arched openings (permitted)
- Decorative wood shutters (encouraged) (permitted)
- Window grids (permitted)

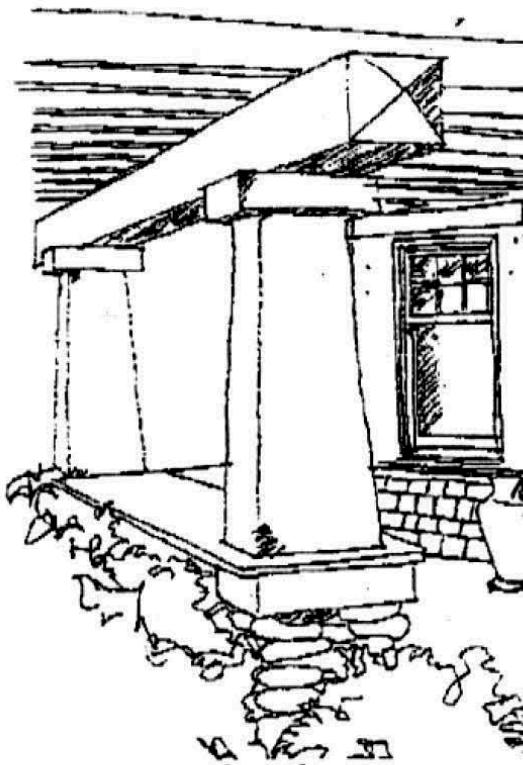


Inappropriate:

- Silver or gold window or door frames (prohibited)
- Reflective glass or metal awnings (prohibited)

Discretionary:

- Use of wood lattice (limited)



Appropriate:

Square or cylindrical plaster or wood columns (encouraged)

Free-standing plaster archways at entrance gates (encouraged)

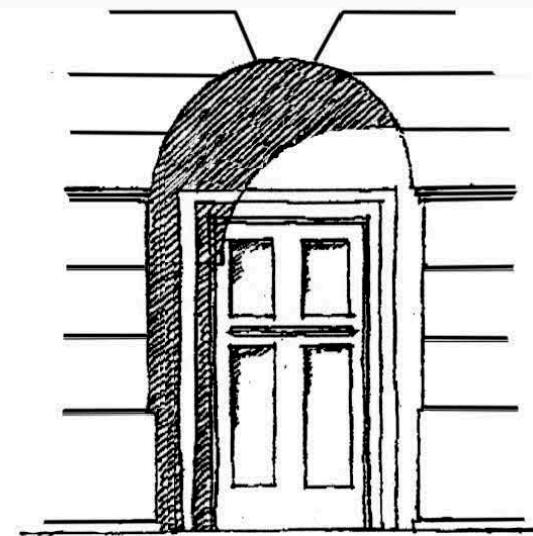
Inappropriate:

Exposed pipe columns (prohibited)

Applied rustic veneers on columns (prohibited)

Thin posts, such as 4x4 wood or metal pipe column (prohibited)

Rough sawn wood (discouraged)



Architectural Treatments
Entry Archways & Columns

Exhibit III-23

SAN MARCOS HIGHLANDS



Appropriate:

Gable and hip roof forms

Clay or concrete tile of approved color an
material board

Combining one and two story elements
(encouraged)

Creating jogs in ridgeline (encouraged)

Varying plate heights and ridge heights
(encouraged)

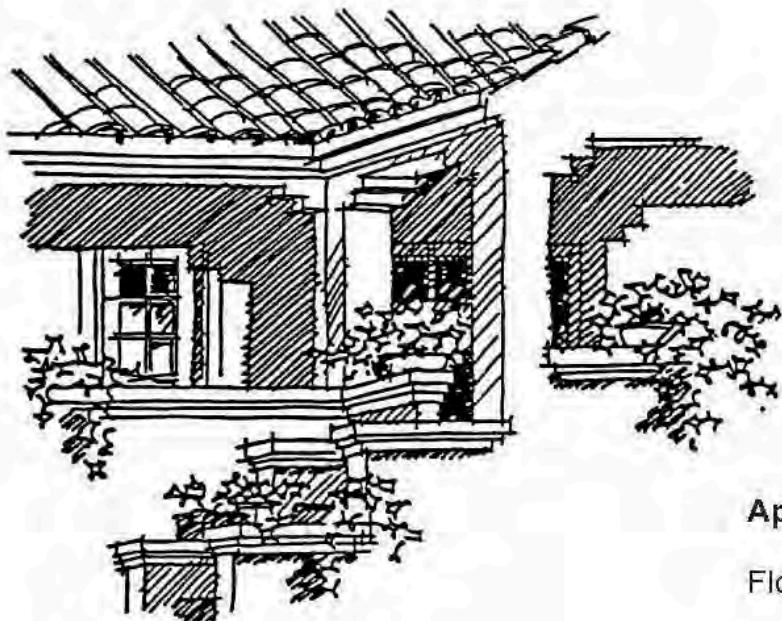
Inappropriate:

Gambrel, mansard, and “period” style roofs
(prohibited)

Architectural Treatments
Roof Pitches & Materials

Exhibit III-24

SAN MARCOS HIGHLANDS



Appropriate:

Float finish stucco

Simple, clean, bold projections
(encouraged)

Balconies which articulate wall surfaces
(encouraged)

Ceramic tile accent trim (encouraged)

Wood railing (permitted)

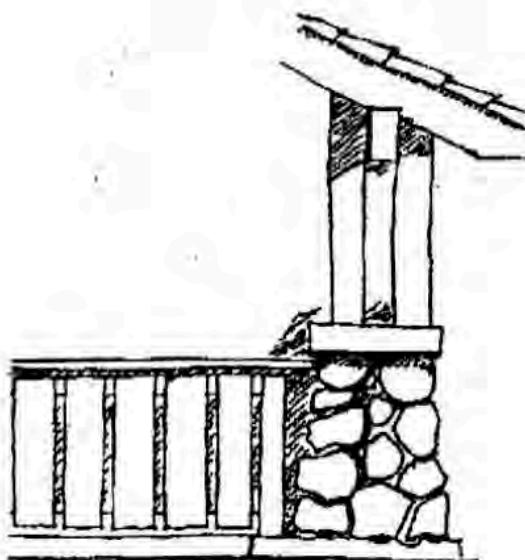
Painted wood trim (permitted)

Brick or stone material

Inappropriate:

Transparent walls, such as wrought iron or
pipe railing and other flashy materials that
do not fit well with proposed finishes

Rough sawn wood (discouraged)



Architectural Treatments
Balconies & Terraces

Exhibit III-25

SAN MARCOS HIGHLANDS



Appropriate:

Simple, smooth plaster forms (encouraged)

Boldly projected from wall surfaces
(encouraged)

Design feature adding articulation to walls
(permitted)

Brick and stone materials encouraged

Inappropriate:

Exposed flues (prohibited)

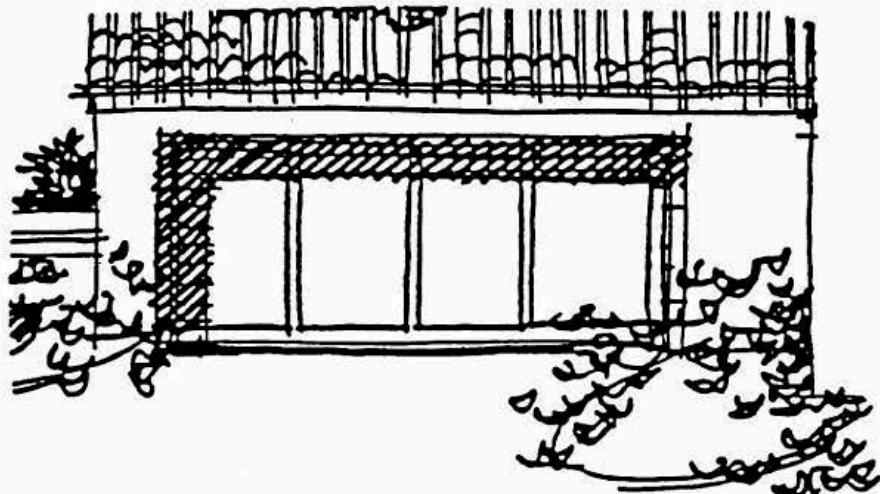
Rustic material veneers (prohibited)

Extravagant metal fireplace caps
(prohibited)

Architectural Treatments
Chimneys

Exhibit III-26

SAN MARCOS HIGHLANDS



Appropriate:

Windows may be allowed

Recess from adjacent walls (**min 8 inch**)

Staggered setbacks to adjacent doors to
create variety in street scene

Wood accent trim to break large expanse of
facade

Wood-textured, sectional aluminum doors

Variation of garage door styles

Inappropriate:

Bold trim and patterns (prohibited)

Wood doors (discouraged)



Solar Energy Systems Typical Layout

Exhibit III-28

SAN MARCOS HIGHLANDS

PROJECT DEVELOPMENT STANDARDS

2. SIGNAGE GUIDELINES

a) ***PURPOSE AND IMPLEMENTATION***

Signage and graphics within San Marcos Highlands should be of a consistent style and format. A detailed sign program must be provided to and approved by the City of San Marcos prior to issuance of any sign permit. Signage within the community will be used for a variety of purposes, including but not necessarily limited to community entry signs, street signs, directional signs, and trail signs. Conceptual signage examples are provided in Exhibit III-29. Temporary construction and future project identification signs will be required to comply with the City Sign Ordinance.

b) ***GENERAL GUIDELINES***

Signage within San Marcos Highlands will be residentially oriented and will be provided in two forms: ground-mounted signs and free-standing monument signs. No roof signs will be allowed.

The following general guidelines apply to all signage:

- All signs shall conform with or exceed the current selection of the City of San Marcos zoning ordinance standards, which regulate signage design and construction.
- Materials and colors of signs should be consistent with the architectural materials and color schemes used within residential neighborhoods. Predominantly plastic and metal signs shall be prohibited.
- Information should be located on a single sign rather than using multiple signs.
- Signage design vocabularies should consider lettering typeface, sign, form, color and materials. Sign materials, such as natural stone, brass and wrought iron, should be consistent with the community theme.
- The height of all ground-mounted signage shall be measured from the adjacent finish grade.
- In general, signs should be simple in form and shape to minimize visual impacts.

PROJECT DEVELOPMENT STANDARDS

- Neon, backlit, and billboard sign types are prohibited in residential areas. Signs such as directional, trail, biking or parking should use graphic symbols in lieu of, or in addition to, verbiage wherever possible.

The following more specific guidelines address each of the two sign types listed above.

c) GROUND MOUNTED SIGNS

Ground-mounted signs are defined as any sign supported entirely by uprights, braces or poles in or upon the ground. Ground-mounted signs could include, but not be limited to, directional signs, parking signs, street signs, trail signs, bike lane signs or informational signs. Designs for ground-mounted signs should consider the following recommended guidelines:

- Non-illuminated.
- Single rather than multiple sign supports should be used, especially where major identification signs are utilized.
- Colors for sign supports should be consistent with adjacent architectural building finishes and treatments.
- Ground-mounted signs should be appropriately sized to be easily read without becoming over-dominant when perceived at the pedestrian scale.
- Ground-mounted signs should not exceed four feet in height, including sign face when measured from adjacent finish grade. However, where vehicular safety requires, maximum height may be exceeded to comply with governing codes and ordinances (For example, stop signs).
- With the exception of monument signs, which may be double-faced, ground-mounted signs should be single-faced and not exceed a total sign face area of four square feet on any one sign face, except where certain government codes and ordinances require larger sign areas.
- In general, combinations of natural stone, stucco, brass and wrought iron are the preferred materials for ground-mounted

PROJECT DEVELOPMENT STANDARDS

signs. Letters and logos for ground signs should be individually recessed by carving into a sign face or individual mounting letters and logos onto the sign face. Directly painting letters or logos onto sign faces should be avoided. Where government codes or ordinances require, metal ground-mounted signs (for example, traffic or street signs) shall be permitted.

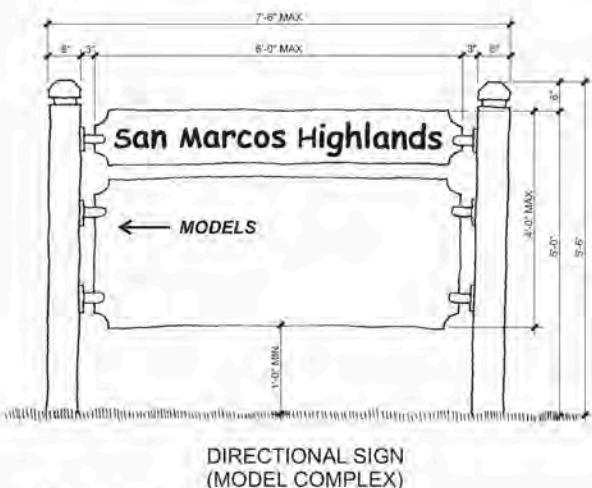
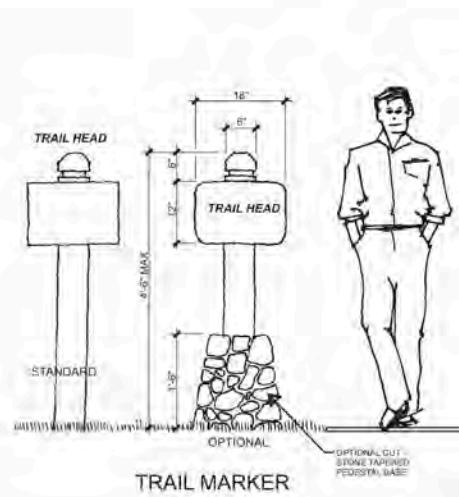
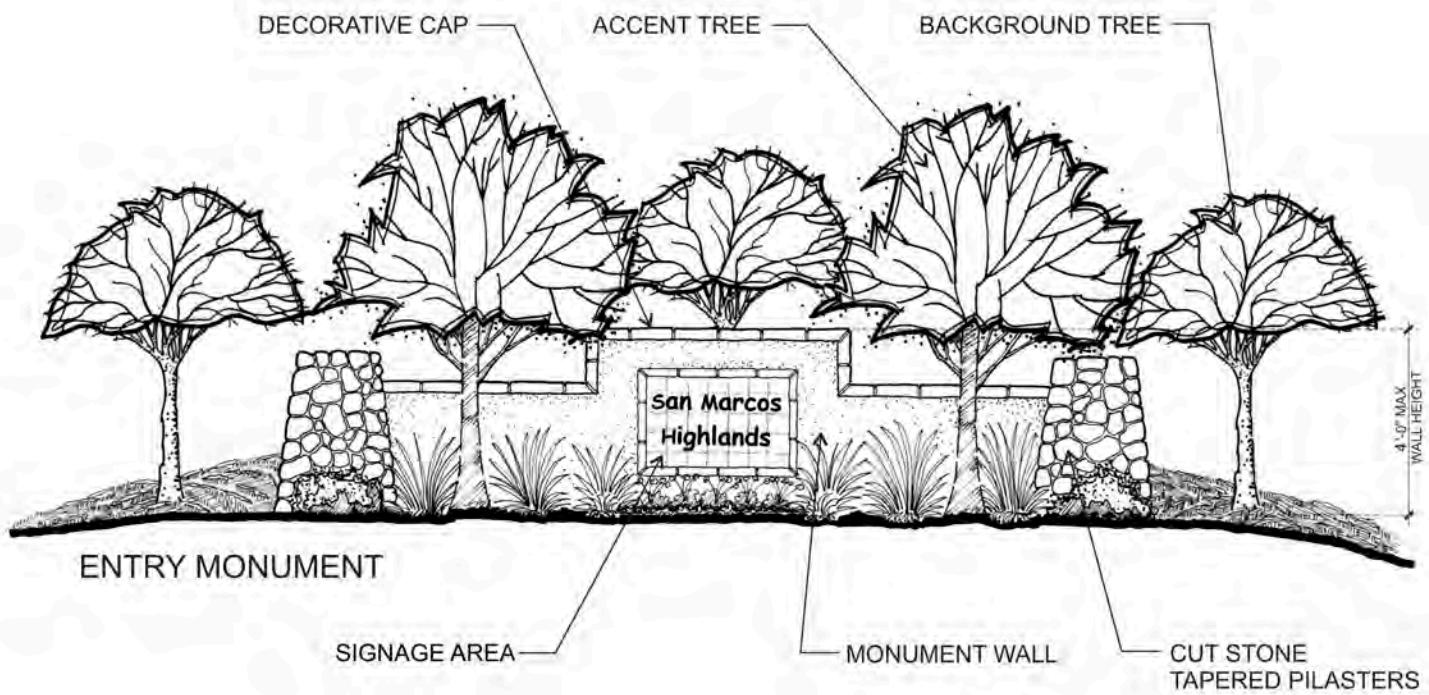
d) FREE-STANDING MONUMENT SIGNS

The installation of free-standing monument signs should be limited to the primary entry locations and Park C. The following guidelines apply to free-standing monument signs.

- Monument signs should have a maximum height of four feet. Sign area shall not exceed two surfaces of 30 square feet for each community entry sign and Park C sign.
- In general, combinations of natural stone, brass, and wrought iron are the preferred materials for free-standing monument signs.
- Monument sign faces should consist of individually attached metal, sandblasted or tile letters and logos, which are directly applied to decorative walls. The direct painting of letters and logos on decorative theme walls is prohibited. Letters, logos or illustrations on neighborhood entry signs shall not exceed three feet in height.
- Monument sign design should include landscaping features, which are compatible with the landscape theme. Boulders, flowering shrub materials, specimen theme trees and decorative earth mounding should be used in conjunction with monument signs.
- Monument signs shall not be internally illuminated. Monument signs shall be illuminated using externally mounted low-intensity accent lighting, which is obscured by landscape planting.
- Limited to three entry monument signs and one Park C monument sign.

PROJECT DEVELOPMENT STANDARDS

- Major Temporary Signs/On-site Subdivision Sign - Major temporary signs which advertise the sale of residential units within the Specific Plan area shall have a maximum height of 12 feet and a maximum sign area of 64 square feet for 2 sides or 32 square feet for one side. A maximum of 2 signs are permitted. Directional signs to each model home complex shall be allowed. Major temporary signs shall be removed within 10 days from the date of the first sale of residence or within 24 months from sign installation, whichever comes first. Extension of 12 months may be approved by the Planning Division Manager.
- Minor Temporary Signs/Real Estate Signs - One sign, with a maximum sign face area of 4 square feet, shall be permitted on each residential lot to advertise leasing, rental or sale of the lot or home.



GROUND MOUNTED SIGNS

Conceptual Signage Examples

Exhibit III-29

SAN MARCOS HIGHLANDS

NOT TO SCALE

PROJECT DEVELOPMENT STANDARDS

H. LAND USE REGULATION

1. PLANNING AREAS 1 and 2

a) **DESCRIPTION**

Planning Area 1 consists of 20.27 acres and is located to the west of Las Posas Road. The neighborhood consists entirely of detached single-family homes. Two entries off of Las Posas Road provide primary access to the area.

Planning Area 2 includes 24.41 acres located along the southerly boundary of the Specific Plan area adjacent to the Santa Fe Hills (Paloma) residential development. The planning area is bordered on the west by Las Posas Road and the riparian corridor and on the south by a local pedestrian / equestrian trail which is shared with Santa Fe Hills. A special entry treatment is allowed for Planning Area 2.

b) **PERMITTED USES**

Development west of Las Posas Road will include a maximum of 109, R-1 5.0 single-family detached residential units on 5,000 SF minimum lots.

A maximum of 80 R-1 5.0 and R-1 5.5 single-family detached residential units on 5,000 and 5,500 SF minimum lots are allowed in Planning Area 2.

c) **DEVELOPMENT STANDARDS**

All development in the Planning Areas shall conform to the standards of this Specific Plan. Should there be a conflict between this plan and any existing City ordinance the provision in this plan shall prevail.

The residential development standards for both Residential Planning Areas are summarized in Table III-2.

PROJECT DEVELOPMENT STANDARDS

Table III-2 Residential Development Standards

Land Use	Min. Lot		Min. Floor Area	Max. Height ²	Max. Lot Coverage	Setbacks				
	Area	Width ¹				Front ³		Side ⁵		Rear
						Residential	Garage ⁴	Interior	streetside	
R-1 5.0	5,000 sf	40.0'	1,200 sf	35'	50%	15'	20'	5'	10'	15'
R-1 5.5	5,500 sf	55.0'	1,200 sf	35'	50%	15'	20'	5'	10'	15'
Lot Width Breakdown										
Minimum Lot Width's			Total Lots	Notes						
40'			1	Only applies to the flag lot (Lot 91)						
41'-45'			40							
45.1'-50'			57							
50.1'+			91							

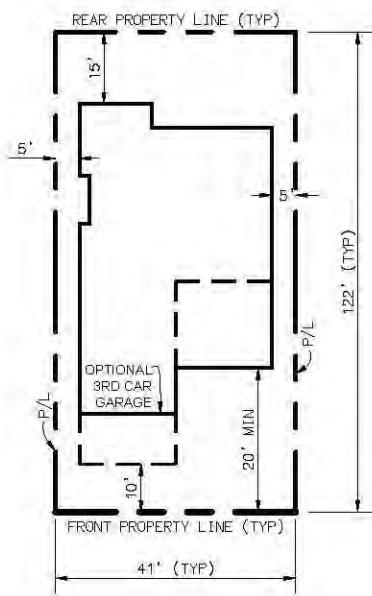
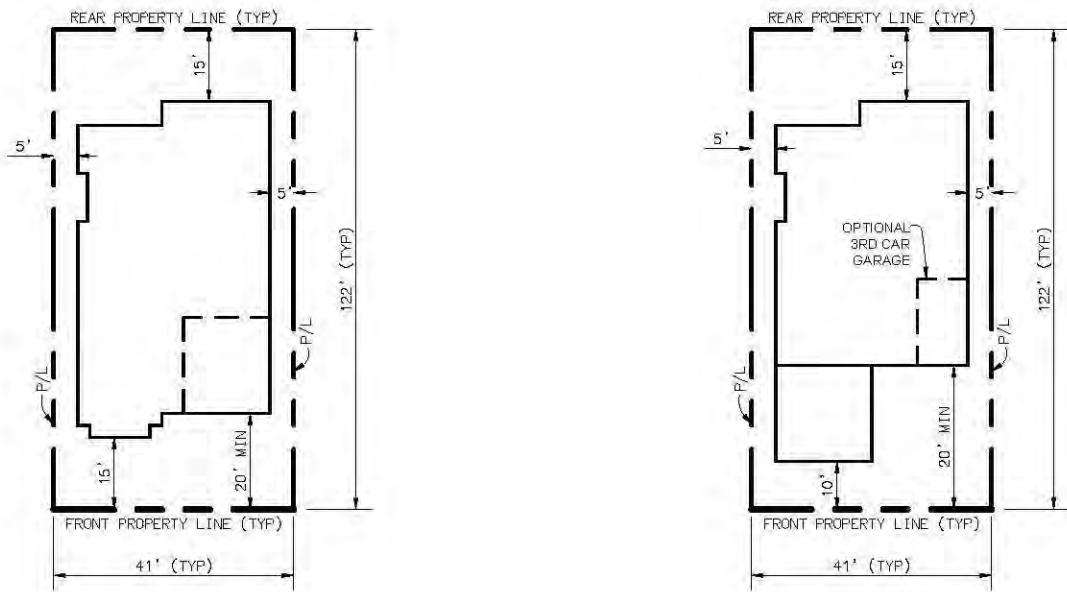
¹Minimum lot width shall mean the horizontal distance between the side lot lines measured at right angles to the line comprising the depth of the lot at a point measured 20' from the front PL. Flag lot widths shall be determined by measuring at right angles from the termination of the driveway easement. Minimum lot width on knuckles & cul-de-sac: 33' at the PL.

²Maximum height of 28' for lots located within the ROZ.

³Front setbacks measured from front property line. Front setbacks shall be staggered to ensure variation of the street scene along individual streets or blocks (Exhibit III-11).

⁴Garage setback may be reduced to 10' for swing in or side entry conditions.

⁵Minimum of 3-foot side setback to any slope or retaining wall.



TYPICAL LOT CONFIGURATION (41' FRONTRAGE WIDTH)
15' FRONT SETBACK
5,000 S.F. LOTS

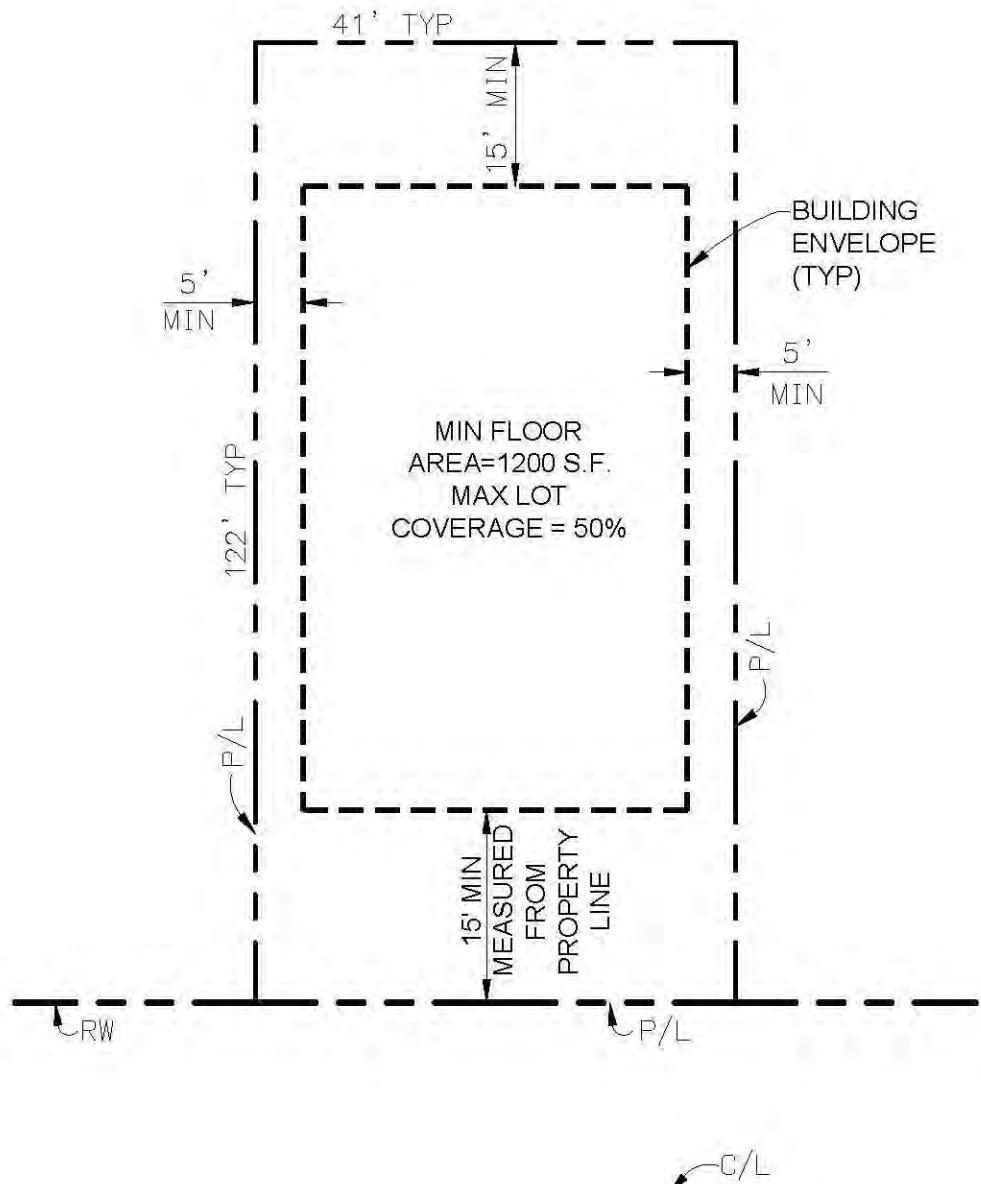
Exhibit III- 30

SAN MARCOS HIGHLANDS

NOT TO SCALE

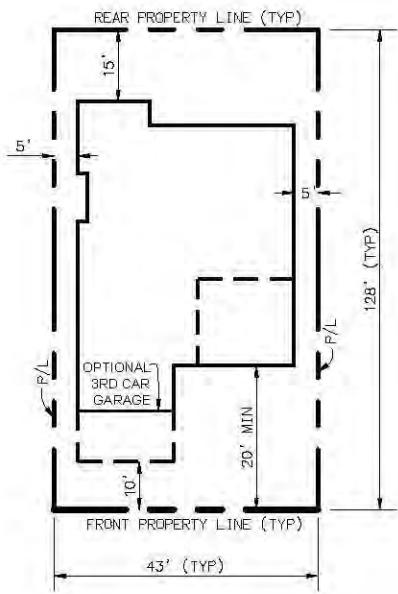
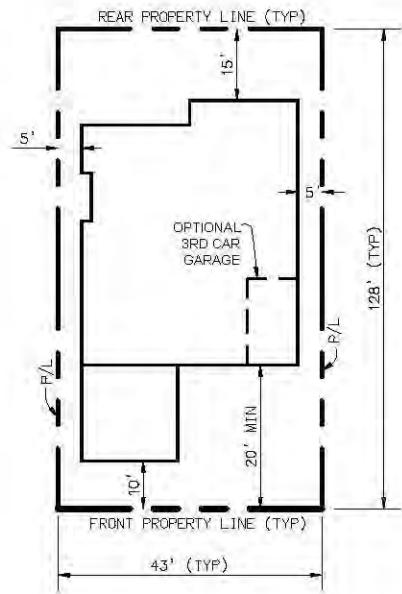
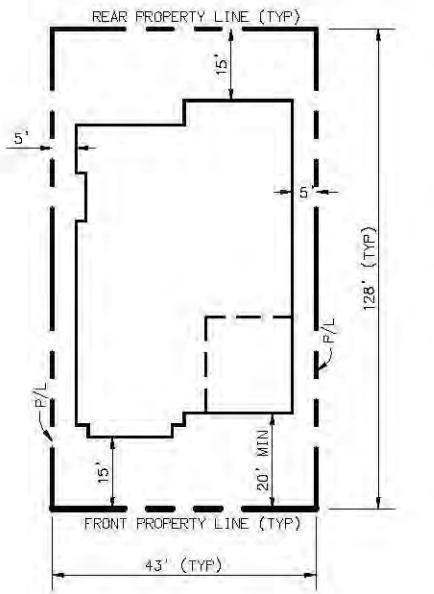
SAN MARCOS HIGHLANDS

TYPICAL BUILDING SETBACKS



* GARAGE SETBACKS IS 20'
OR MAY BE REDUCED BY
10' FOR SWING IN OR SIDE
ENTRY CONDITION

(50' MIN FRONTAGE WIDTH)
SCALE: 1"=20'



TYPICAL LOT CONFIGURATION (43' FRONTRAGE WIDTH)
15' FRONT SETBACK
5,500 S.F. LOTS

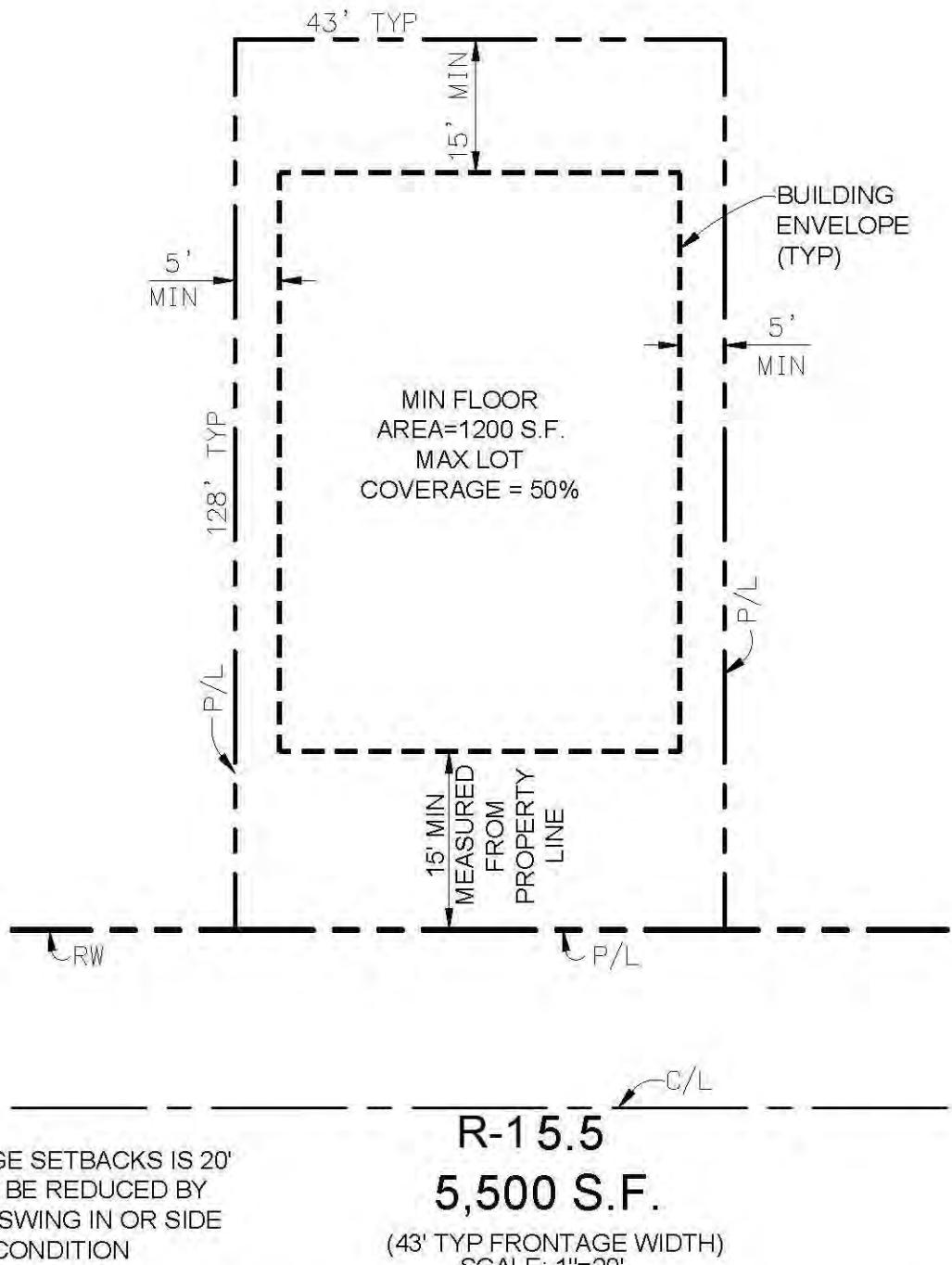
Exhibit III-32

SAN MARCOS HIGHLANDS

NOT TO SCALE

SAN MARCOS HIGHLANDS

TYPICAL BUILDING SETBACKS



PROJECT DEVELOPMENT STANDARDS

d) LOCATION OF ACCESSORY STRUCTURES

Detached accessory buildings and structures within the Specific Plan area shall be located in conformance with the following criteria:

- 1) Accessory structures must be detached from the main structure, limited to rear or side yards only with a minimum of 5' to any property line and a street side setback of 10' to the property line and a minimum 5' separation from the primary residence or any other structure.
- 2) All accessory structures shall blend with the existing residence on the lot and neighborhood residences by incorporating the same or similar architectural features, building materials, and color as the primary dwelling unit on the property. These features shall include roofing material, roof design, fascia, exterior building finish, color, exterior doors and windows (including ratios of window dimensions [i.e., width to height] and window area to wall area), garage door and architectural enhancements.

The exterior design of all accessory structures shall be in harmony with and maintain the scale of the neighborhood. The design of the accessory structure shall relate to the design of the primary residence and shall not visually dominate it or the surrounding properties.

- 3) Accessory structures shall be limited to uses that are accessory to the main use, including cabanas, garage or carport, gazebo, greenhouse, pergola (patio cover), or workshop. An accessory structure shall not be used for dwelling purposes. Bathtub(s), fireplace(s), and/or kitchen (full or partial) facilities are prohibited. Air conditioning, heating, shower, toilette, washtub, and/or washer and dryer facilities are allowed within accessory structures. A deed restriction shall be required and shall state accessory structures shall not be used for sleeping quarters or converted to residential use.
- 4) For lots 7500 sf or greater, the maximum allowable gross area for all completely enclosed accessory structures in conjunction with an existing single-family residence shall be equal to 40% of the living area of the primary residence, or 800 sf of gross floor area, whichever is less. For lots less than 7500 sf, the maximum size for an accessory structure is 400 sf. The total gross floor area shall include all accessory structures, including those that do not require a building permit, with the exception of those that are open on at least 3 sides, exclusive of any supporting columns.

PROJECT DEVELOPMENT STANDARDS

5) Accessory structures are limited to one story maximum, 15' at its peak of roof.

6) Secondary dwelling units are prohibited.

7) Accessory structures must comply with fuel management zone requirements in accordance with the FPP.

e) ROOFED, OPEN SIDED PATIOS AND PORCHES

Roofed, but otherwise unenclosed porches and patios which are attached to and a part of the main structure may project or extend into the required front or rear yards, provided:

1) A patio cover may encroach into the rear yard setback a maximum of 5 feet.

2) Any encroachment shall be limited to fifty percent (50%) of the setback area(s).

3) A porch may encroach into the front yard setback a maximum of 3 feet.

f) POOLS AND SPAS

1) Pools and spas are prohibited in the front yard.

2) Minimum setback from any side or rear property line shall be 5 feet to any portion or feature of the pool or spa.

3) Minimum setback from any side or rear property line shall be 4 feet to any equipment, which shall be screened from view.

4) Height of all features and equipment of the pool or spa shall be limited to 3' or less above adjacent grade of the lot.

g) BALCONIES

Balconies and 2nd story decks shall comply with the setbacks of the main residence.

h) OFF-STREET PARKING

Dwelling units 3,000 sf or smaller shall have a minimum 2-car garage with an area of 20' x 20' (400 sf) minimum. Dwelling units greater than 3,001 sf shall require a minimum 20' depth and shall be no less than 640 sf. The 20' depth and 640 sf area minimum can be achieved through either a 3 car garage or a 2 car garage with a separate single-car garage, or a 3 car garage in tandem layout. All garage doors shall be supplied with automatic garage door openers.

PROJECT DEVELOPMENT STANDARDS

i) LANDSCAPING

All streetscapes and common space landscaping shall be in conformance with Section D, Landscape Architecture of this Specific Plan.

2. RIDGELINE OVERLAY ZONE ORDINANCE DEVELOPMENT STANDARDS

a) DESCRIPTION

A portion of Planning Area 2 of San Marcos Highlands falls within the City of San Marcos' Ridgeline Overlay Zone Ordinance (ROZ) area (Exhibit III-34). Approximately 9.8 acres of the 120 total acres of the Planning Area within the ROZ are proposed to be graded. Lots within the designated ROZ will conform to the following development regulations in addition to those required in Section H.1. Development standards for homes located in the ROZ within the San Marcos Highlands Specific Plan Area are presented below.

b) DEVELOPMENT STANDARDS WITHIN THE RIDGELINE ORDINANCE ZONE

1. Lot Size/Configuration

Lot sizes within the ROZ shall be designed to avoid primary and secondary ridgelines. The San Marcos Highlands development is a clustered development. Clustering minimizes the impact area of development and preserves open space. Portions of 37 of the proposed 189 residential lots fall within the ROZ (Exhibit III-34). All 37 lots within the ROZ are clustered and graded in such a way as to fit the existing topography.

2. Circulation

Internal streets within the ROZ have been designed to fit the natural topography of the site. Internal streets have been designed with a typical street width of 40' with 10' wide shoulders and sidewalks on both sides of the street.

3. Grading/landform Modification

Grading within the ROZ has been minimized as much as possible to limit large cuts and fills in excess of 20'. Slopes within the ROZ have a maximum height of 35'. San Marcos Highlands has limited grading within the

PROJECT DEVELOPMENT STANDARDS

ROZ to approximately 8% of the total area. Site design has varied the slopes and incorporated landscaping to vary the look and as much as possible to mimic the landform. Brow ditches shall be used along the tops of slopes to move water away from slopes. Lots within the ROZ have been designed to follow the contour of the land as much as possible.

4. Building Placement/Heights

Buildings within the portion of the ROZ are located 780' from the closest primary ridgeline and 97' below the 100' vertical setback limit to the primary ridgeline. The closest secondary ridgeline is 1700' from the nearest lot with a vertical setback of 197' from the secondary ridgeline 50' vertical setback limit. This uses the natural ridgeline as a backdrop while using natural topography for the placement of building pads. Pad locations within the ROZ are placed in the least visually impacting locations. Buildings within the ROZ will be allowed up two stories and will not exceed 28 feet in height.

5. Architecture

Structures within the ROZ shall be designed to avoid excessively massive landforms. Steps between lots, setbacks, and landscaping shall be used to break up the vertical elevations. Visible wall surfaces shall be minimized in scale through the use of design features such as single story elements, setbacks, low roof pitches, and landscaping. Roof pitches should generally be designed to follow the angle of the site slope, but variation may be provided to avoid monotonous appearance. Flat roofs are prohibited. Structures with visible underpinnings that extend more than 6' above grade shall be avoided. Structural underpinnings for decks, additions, or foundation structures that exceed 6' in height shall be integrated into the design aesthetics of the building.

6. Color and Material

Exterior color and finishes shall complement the existing colors of vegetation and hillsides. Walls and structures within the ROZ shall be textured and colored to blend with the surrounding open space. Structures will include

PROJECT DEVELOPMENT STANDARDS

stone and/or brick materials. All retaining walls within the ROZ shall blend with the natural environment. Earth-tone roofing materials and low-reflective glass will be utilized.

7. Walls and Fences

Walls and fences within the ROZ shall complement the existing colors of the hillsides and natural vegetation, and should avoid elongated retaining walls. Suitable materials such as wrought-iron or tubular steel, , or earth-tone wood/vinyl fencing may be used as identified in the fencing plan in Exhibit III-4. No fiberglass sheeting, galvanized chain-link fence with inserts/slats, bamboo sheeting, or other similar temporary material shall be permitted.

8. Fire/Fuel Modification

Building setbacks within the ROZ will be 20' or more from downslopes where adjacent to the Fuel Modification Zone (FPP). A minimum 150-foot buffer, or as approved by the Fire Marshal and documented in the FPP shall be provided from all structures. All roof assemblies shall be constructed with fire-resistant materials. Fire and drought resistant planting shall be used.

9. Landscaping

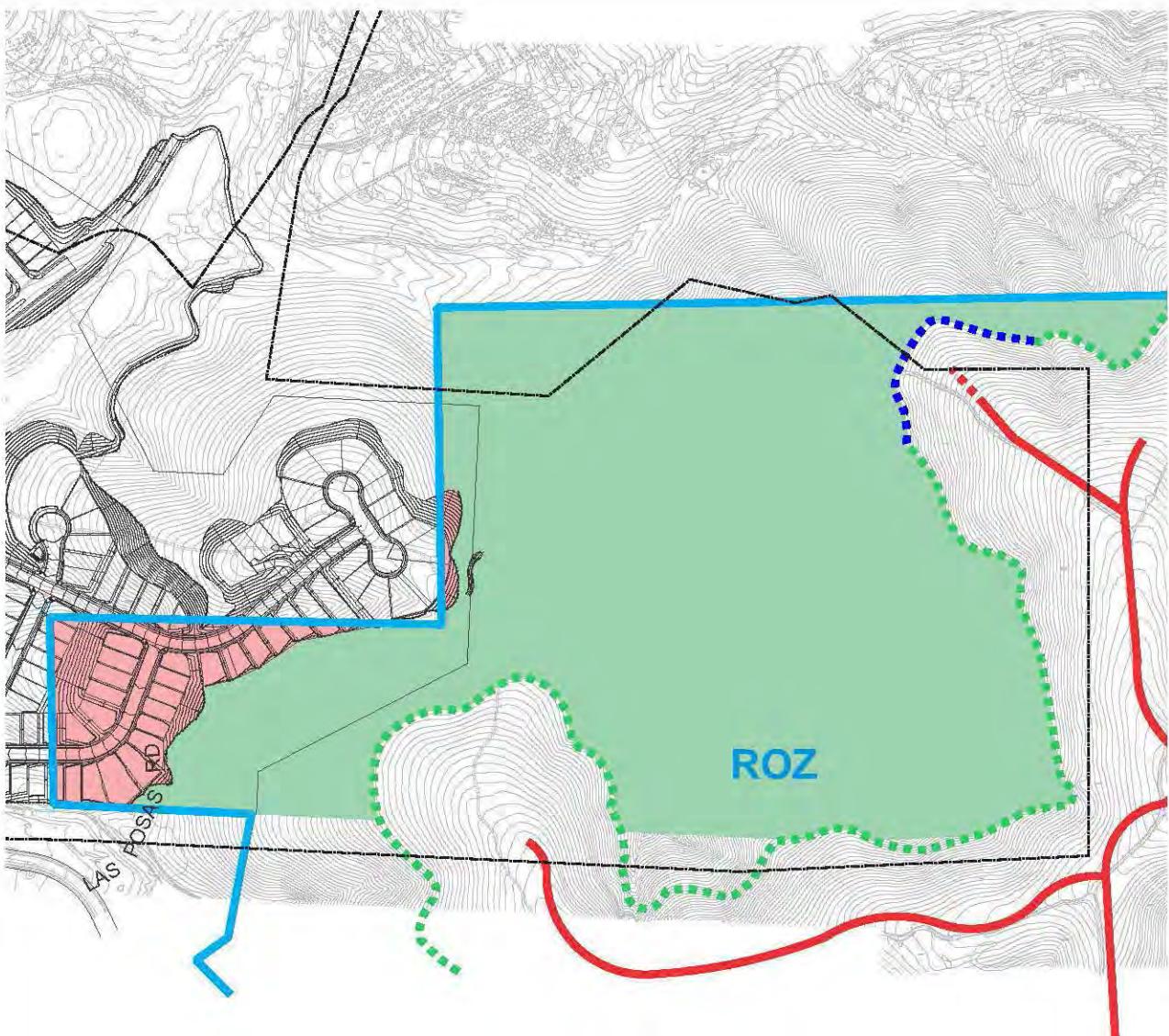
Retaining walls within the ROZ shall be constructed with earth-toned natural appearing block material to blend with the natural surroundings. Graded manufactured slopes shall be irrigated. Plantings will utilize native species and shall plant trees in a pattern and location so as to preserve natural views as well as screen structures and preserve natural skylines.

10. Exterior Lighting

The lighting and illumination standards for San Marcos Highlands will be complementary to the architecture and the land uses throughout the project area. All lighting shall be shielded to minimize light scatter and therefore maintain a dark sky. LED lighting shall be used for all roadways. The light standard shall be consistent with the City of San Marcos Street Light Standards. Lighting in

PROJECT DEVELOPMENT STANDARDS

parking areas shall be LED and shall be designed to provide illumination levels as required by the City of San Marcos. There shall be no trail lighting in the preserved areas and all lighting adjacent to preserved open space shall be shielded cut-off fixtures and focused away from preserved areas. Flood lighting is prohibited. Site and building lighting shall incorporate low-intensity exterior lighting. Trails shall be passive and limited use to daylight hours.



RIDGELINE LEGEND

— RIDGELINE OVERLAY ZONE (ROZ) BOUNDARY LINE	 DEVELOPABLE AREA WITHIN THE RIDGELINE OVERLAY ZONE (ROZ) - 82.78 AC
— PRIMARY RIDGELINE	
- - - - - SECONDARY RIDGELINE	
- - - - - 100 FT VERTICAL SETBACK FROM PRIMARY RIDGELINE	
- - - - - 50 FT VERTICAL SETBACK FROM SECONDARY	
	 PROJECT'S DEVELOPED FOOTPRINT WITHIN THE RIDGELINE OVERLAY ZONE (ROZ) - 9.76 AC

Ridgeline Overlay Zone

SAN MARCOS HIGHLANDS

Exhibit III-34



PROJECT DEVELOPMENT STANDARDS

3. OPEN SPACE PLANNING AREA 3

a) ***DESCRIPTION***

Planning Area 3 is approximately 242 acres and is located on both sides of Las Posas Road. Portions of the planning area (Areas 3B, 3C, & 3D) receive access from Las Posas Road. Additional open space areas are accessed through the adjacent residential areas. The planning area is preserved as permanent open space.

b) ***PERMITTED USES***

Only those uses permitted under the Open Space provisions of this Specific Plan shall be allowed in Open Space Planning Area, or as allowed by the HMMP. In accordance with the HMMP, restoration of 2.3 acres of riparian habitat shall be allowed. Management and maintenance of preserved areas shall be allowed. Public access to unimproved designated dirt trails shall be allowed.

c) ***DEVELOPMENT STANDARDS***

All development in Open Space Planning Area shall conform to the standards of this Specific Plan.

IV. REVIEW PROCESS

Chapter IV establishes the development review process for the San Marcos Highlands. The scope of the project will include approval of a General Plan Amendment (GPA-15-002), Pre-Zone (PZ 14-001), Specific Plan Amendment (SP 13-001), Tentative Subdivision Map (13-001), Conditional Use Permit (CUP 13-010) for a rock crusher, Ridgeline Development Permit (ROZ 14-001), and Environmental Impact Report (15-001).

The Specific Plan anticipates that over the life of the project, amendments to the document may be requested. Any amendments shall occur in accordance with the specific amendment process described in this Chapter.

PROJECT PROCESSING

The project processing requirements described within this Plan apply to all development proposed within the Specific Plan Area. The following items will need to be processed with the City of San Marcos to complete the development of the San Marcos Highlands Specific Plan Area. This description addresses only entitlements that the City of San Marcos has authority to grant, such as:

- Tentative Maps
- Final Maps
- Grading Permits
- Building Permits
- Specific Plans
- Conditional Use Permits
- Ridgeline Development Permits
- Improvement Plans
- Site Development Permits
- Director's Permits

Permits from other governmental agencies may be required prior to project implementation and the City assumes no responsibility for identifying or pursuing these permits on behalf of any applicant. As appropriate, State, Federal and other local agency approvals are required prior to any development activity within the Plan Area.

REVIEW PROCESS

A. SPECIFIC PLAN

The San Marcos Highland Specific Plan consists of the Master Land Use Plan and uses, site development standards and special design criteria are provided in Chapter III.

B. TENTATIVE SUBDIVISION MAP

A tentative subdivision map shall be submitted concurrent with this amendment to this Specific Plan. The San Marcos Planning Commission and City Council shall review the tentative subdivision map for approval. In their review of the map, the Planning Commission and City Council shall not approve the map unless it is in accordance with the development standards contained in this Specific Plan.

C. SITE DEVELOPMENT PLAN

The primary purpose of the Site Development Plan is to allow for the City to review any development proposal and make a determination that development within any of the Planning Area's conform with the goals and standards of this Specific Plan and conformance with the all appropriate City policies and ordinances. Prior to issuance of grading permits for any Planning Area, the developer must process a Site Development Plan with the City which is administratively approved in accordance with Chapter 20.515 of the City of San Marcos Municipal Code - Zoning Ordinance.

D. SPECIFIC PLAN AMENDMENTS

Any amendments to this Specific Plan shall take place in accordance with the process described in this section. Two forms of amendment requests may be considered. Administrative amendments allow for minor changes to the Specific Plan and may be approved by the Planning Division Manager. All other proposed changes are considered formal amendments and are required to be reviewed for approval by the Planning Commission and City Council. All amendments must be consistent with the General Plan, and the General Goals of this Specific Plan. In addition, proposed amendments shall address the criteria described below.

1. ADMINISTRATIVE AMENDMENTS

Upon determination by the Planning Division Manager, certain minor amendments to the Specific Plan text or map may not require formal amendments (i.e. approval through a public hearing). The Planning Division Manager has the authority to approve modifications to the Specific Plan as follows:

- a. Expansions or reductions of the geographic area covered by a given land use designation up to 10% in area providing the

REVIEW PROCESS

overall dwelling unit yield or use allocation does not increase.

- b. Realignment or modifications of streets serving the project, lot lines, easement locations and grading adjustments if also approved by the City Engineer.
- c. Minor modifications of design features such as architectural details, paving treatments, fencing, lighting, entry treatments, and landscaping including the pond and riparian areas may also be approved.
- d. Phasing of rough grading or lot construction phasing.

2. FORMAL AMENDMENTS

All Specific Plan change requests, which do not meet the definition of an Administrative Amendment noted in this chapter shall be deemed to require a Formal Amendment approval. All formal amendments shall be reviewed for approval by the Planning Commission and City Council.

3. AMENDMENT CRITERIA

Whether classified as Administrative or Formal Amendments all such changes to the Specific Plan shall reflect the same comprehensive analysis, which has been undertaken in the adoption of the Specific Plan and may require additional environmental review. The amendment applicant shall satisfy the following criteria:

- a. Demonstrate the proposed amendment meets the goals and objectives of the Specific Plan, and the General Plan.
- b. Ensure that any impacts resulting from the amendment are mitigated unless a statement of overriding concerns is adopted.
- c. Update any Specific Plan technical studies and/or provide additional environmental studies deemed necessary by the Planning Division Manager or City Engineer.
- d. Provide a revised Specific Plan text and map as necessary.