
Montiel Corporate Center Specific Plan (MCC-SPA)
SP 15-010

Amendment to Montiel Corporate Center
MCC-SPA
Specific Plan SP 04-47
Amended November 03, 2017

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Montiel Corporate Center Specific Plan ("MCC-SPA")

SP 15-010

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1. INTRODUCTION

1.1 LOCATION

The Montiel Corporate Center Specific Plan (MCC-SPA) comprises of approximately 3.32 Gross acres and is located within the Richland Neighborhood of the City of San Marcos. More specifically, it is located 0.25 miles east of the intersection of Montiel Road and Nordahl Road in the City of San Marcos, in north San Diego County. (Figure 1, Regional Location and Figure 2, Site Location). The site is zoned and General Plan designated as a Specific Plan Area (SPA) and regulated by the Montiel Corporate Center Specific Plan

1.2 MCC-SPA AREA CHARACTER

MCC-SPA is divided into two phase areas as shown in Figure 2 and 3

The project Phase 1 site is 1.51 net (1.66 gross) acres consisting of five legal lots (APNs: 228-370-01-00, 228-370-02-00, 228-370-03-00, 228-370-04-00, and 228-370-38-00) located on the west side of Leora Lane. There were formerly 2 single-family residences on the site, but the homes have been removed and the site is now vacant. The site slopes downward from Montiel to the boundary with Highway 78 right-of-way at less than a 5% average slope.

Phase 2 site is 1.51 net (1.66 gross) acres (APNs: 228-370-06-00, 228-370-07-00, 228-370-08-00, 228-370-09-00 and 228-370-49-00) and located on the east side of Leora Lane. The Phase 2 site currently has five individual lots with a single-family residence on each lot. These homes are considered existing non-conforming uses and structures

Surrounding properties are zoned and designated as follows:

North: Property north across Montiel Road is zoned Single-Family Residential (R-1-10) and General Plan designated "Very Low Density Residential" (2.1 -4.0 du/ac). Currently there are several single-family dwellings on lots between 0.25 acres and 0.5 acres.

East: Property east of Phase 2 located on Kaylyn Way are zoned and designated Specific Plan Area (SPA) for commercial purposes. Currently, there are several single-family dwellings on lots ranging from 13,100 square feet to 14,900 square feet, and are considered existing non-conforming uses and structures

West: Property west of Phase I is zoned and designated Specific Plan Area (SPA). Currently there is a developed medium-to-large shopping center which was approved under the Red Rock Center Specific Plan.

South: To the south is SR78 which is a 6-lane freeway

Site Frontage: The MCC-SPA is located along Montiel Road which is currently a 2-lane road on an existing 66-foot right-of-way.

Private street, Leora Lane provides access to the Phase 1 vacant land and existing homes to the east located on the Phase 2 parcels. This is an existing paved 20-foot wide private road on an existing 30-foot wide private road / utility easement of which 10 feet is on the Phase 1 property and 10 feet is on the Phase 2 properties.

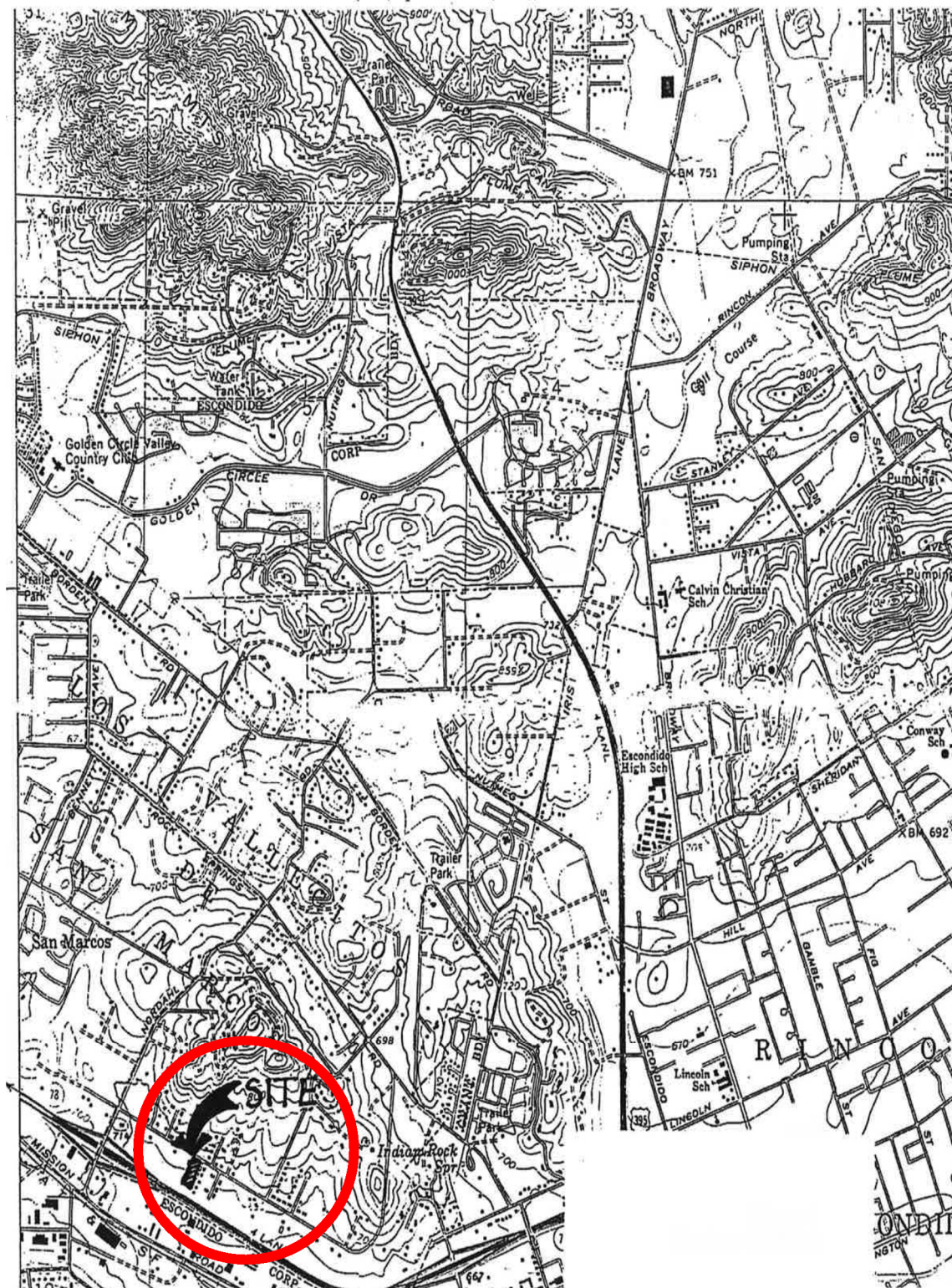


Figure 1 Regional Location

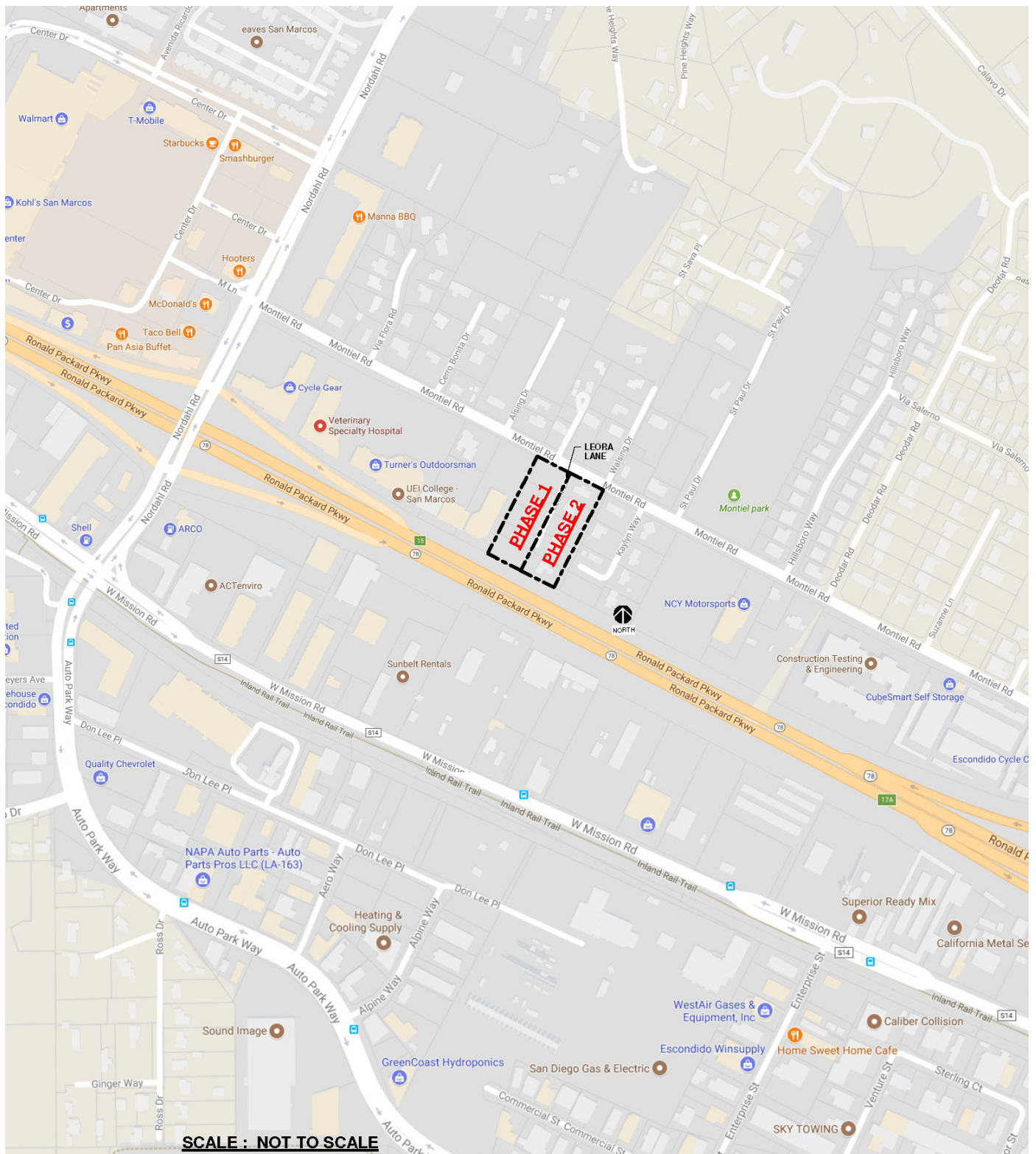


Figure 2 Site Location

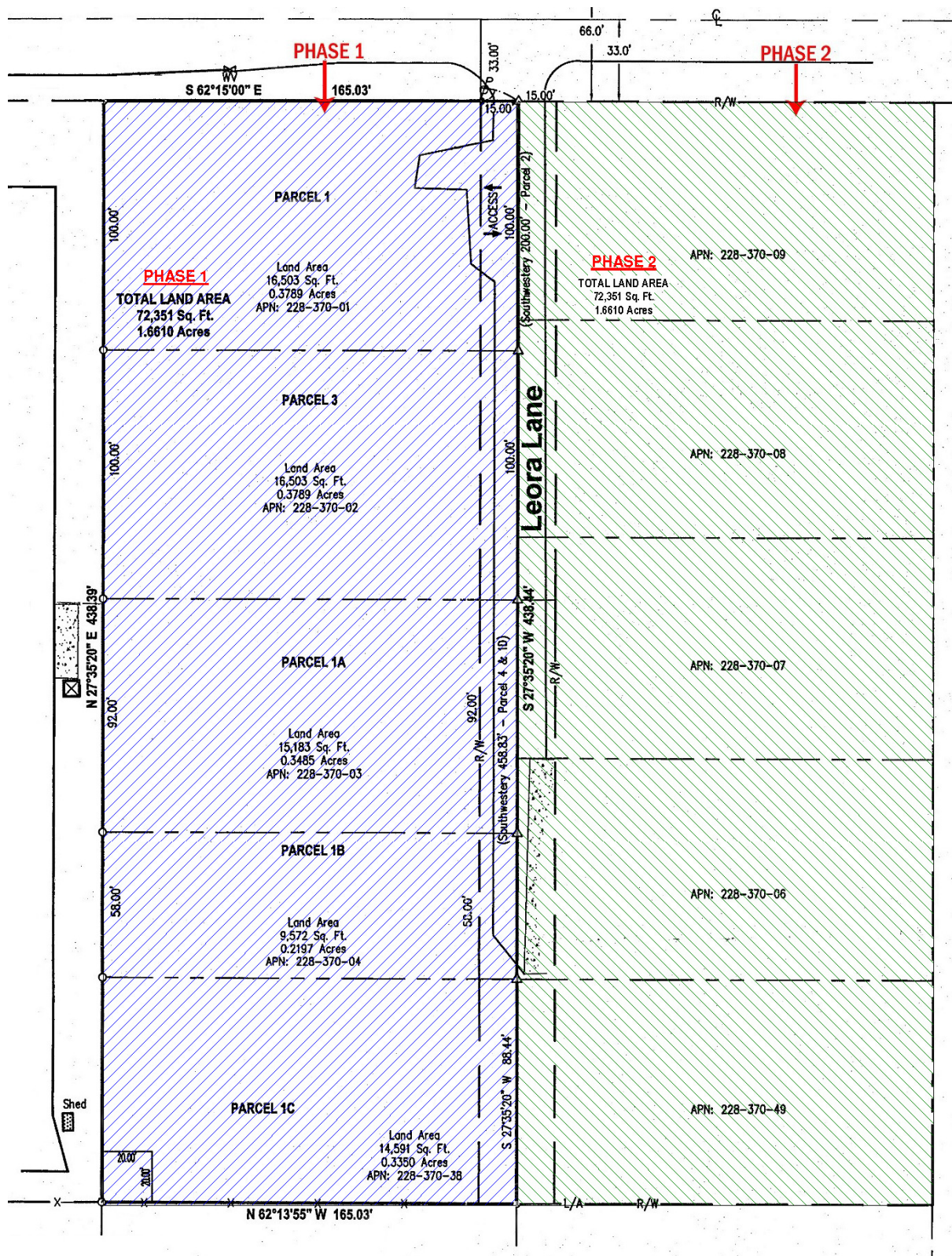


Figure 3 Land Title Survey

1.3 PLANNING BACKGROUND

The existing Montiel Corporate Center Specific Plan (MCC-SPA), approved in 2005 (however, never developed), allows for the development of the Phase 1 site into a 2-story office building of approximately 25,000 square feet. This amendment of the Montiel Corporate Center Specific Plan creates a new land use designation for the Phase 1 site and establishes new development criteria to allow for the development of an up to 71,000 sq.ft. 6-story hotel with surface parking and partial below grade open parking garage.

Phase 2 allows for the development of up to 25,000 square feet of commercial and/or office on the east side of Leora Lane. Development standards for Phase 2 have not be established at this time, and any future development of Phase 2 requires a separate Amendment of the Montiel Corporate Center Specific Plan to establish such criteria for a commercial and/or office building(s).

1.4 DEVELOPMENT APPROVAL AND IMPLEMENTATION PROCESS

Consistent with the City's ordinances and procedures, including the General Plan, this document and related graphics are prepared as an integral part of the Specific Plan Amendment requirements. The primary objectives of this Specific Plan are to:

- A. Provide the basis for the processing and approval of related permits.
- B. Provide design guidelines and standards for site development

1.4.1 Permit Processing:

Implementation of the Specific Plan Amendment will require approval of this Amendment, and a Site Development Permit from the City Council. The site has been annexed into the Vallecitos Water District (VWD) Sewer Improvement Area, and a grading and building permit, as well as a lot line/boundary adjustment will be required to be processed.

1.4.2 Specific Plan Amendment:

Minor amendments to this Specific Plan may be made administratively, by the Planning Division Manager. Such amendments shall be consistent with the intent of the San Marcos General Plan Elements. The Developmental Services Department may require Discretionary and Public Review for major amendments. The Specific Plan Amendments are discussed in detail in Chapter 4, page 30.

2. PHASE 1 DEVELOPMENT PLAN

2.1 LAND USE

This Specific Plan amendment will allow for a six story hotel up to 128 guest rooms and a surface/partial underground parking garage. The proposed hotel project includes a guest-only fitness center, guest café and pool. 141 parking spaces will be provided for the proposed hotel in accordance with the parking requirements of this Specific Plan amendment. The project development proposes a Leadership in Energy Efficient Design ("LEED") Certified rating.

There are currently five (5) legal lots on the property for Phase 1. A lot consolidation of these legal parcels into one lot is proposed as part of the proposed hotel project, which will be accomplished through a boundary adjustment. The lot line/boundary adjustment will be a condition of the Site Development Plan (SDP) review for the proposed hotel and will be completed prior to issuance of a grading permit.

2.2 CIRCULATION

2.2.1 Access

Montiel Road is currently a 2-lane public road on an existing 66-foot right-of-way. Access to the hotel will be provided off of Leora Lane which is a private road.

2.2.2 Street Improvements

Leora Lane will be improved by an additional four feet of right-of-way. Leora Lane will expand from twenty feet to twenty-four feet width (12-feet shall be on the Phase 1 property and 12-feet on the Phase 2 properties), and will comply with City of San Marcos fire access requirements. Leora Lane will continue to provide access to the existing non-conforming single-family residences on the east side of the private road until future development of the Phase 2 area which requires a separate amendment to this Specific Plan.

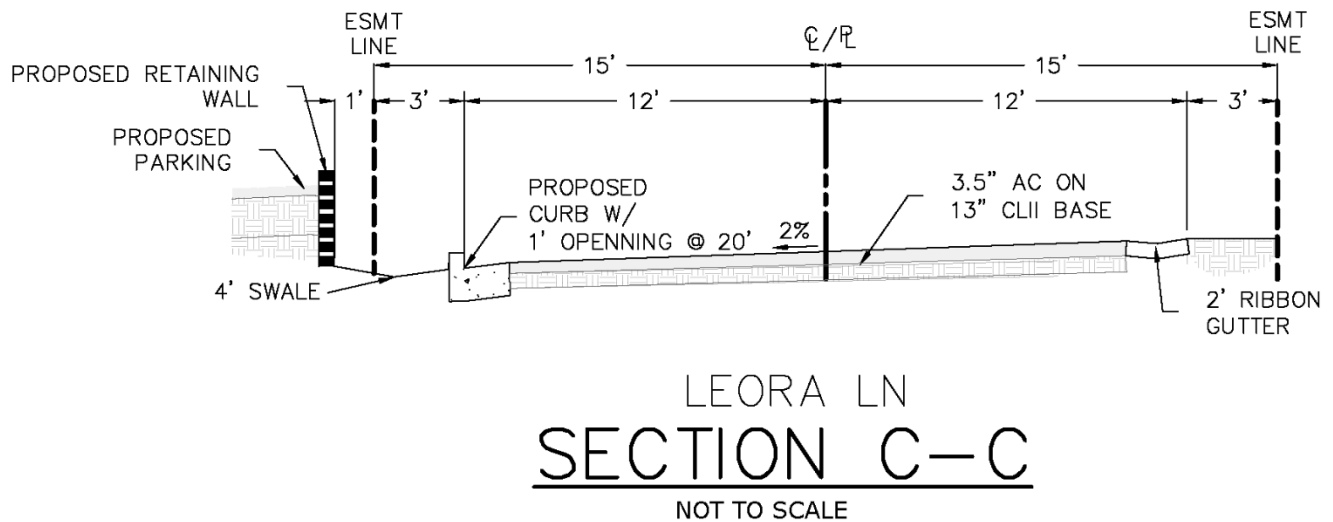


Figure 4 Leora Lane Section

2.2.3 Vehicular Circulation

Vehicles will enter and exit the site via Leora Lane via two access drives that will accommodate guest arrival/exit as well as emergency and delivery vehicles.

2.2.4 Pedestrian Circulation

A public pedestrian sidewalk along Montiel Rd shall be required as part of this Specific Plan Amendment for the proposed hotel project. Configuration/continuation shall match the adjacent property to the west and shall be the project site accessible path of travel to public right-of-way.

2.2.5 Public Transportation

This area is served by the North County Transit District. There is a bus stop at the intersection of Nordahl Road and Center Drive which is 0.4 miles to the west from the project site. An accessible path of travel from the project site interior to the public right-of-way is provided as part of the proposed hotel project.

2.2.6 Parking

Parking is provided according to the San Marcos Municipal Code (SMMC Ch 20.340). One parking space per guest room is required. Also provided is ten parking spaces per 1,000 square feet for restaurants/banquet/meeting/assembly areas (less than 5,000 square feet) that are not open to public patronage.

The estimated parking tabulation for the proposed hotel project is as follows:

Total: 141 parking spaces including 5 H.C. accessible spaces. (89 on-grade spaces (including 5 handicap accessible) and 52 lower-level parking garage spaces). See Figure 5.

PARKING ANALYSIS			
USE	QUANTITY / SF	REQUIRED PARKING STALLS	PROPOSED PARKING STALLS
HOTEL GUEST ROOMS	128	128 (1) PER GUESTROOM	128
CAFE SEATING	1246 SF	12 (10) PER 1000 SF	13
TOTAL		140	141
ADA PARKING SPACES		5	5

PARKING NOTES:

1. PARKING PROPOSED = 89 ON GRADE SPACES (INCLUDING HC ACCESSIBLE SPACES) AND 52 LOWER LEVEL PARKING GARAGE SPACES.
2. FITNESS CENTER IS FOR REGISTERED HOTEL GUEST USE ONLY. PARKING CALCULATION ASSUMES GUEST ALREADY ONSITE AND INCLUDED IN GUEST ROOM CALCULATION.
3. KITCHEN IS A HOTEL STAFF ONLY USE NO GUEST ACCESS.
4. THERE IS NO RESTAURANT ON SITE. A SELF-SERVE HOTEL GUEST PANTRY IS PROPOSED W/OPEN CAFE SEATING.

Figure 5 Parking Analysis

Parking stall size shall comply with the City of San Marcos minimum standards. Parking stalls shall be 9'x18' spaces for a minimum space of 162 square feet. A minimum 24'-0" width shall be required for driveway aisles. A minimum of two loading spaces are required for the proposed hotel project, and shall have a minimum size of 10'x20' and 12'x30' each.

3. PHASE 1 DESIGN GUIDELINES AND DEVELOPMENT STANDARDS

The following guidelines and development standards are provided to insure high standards of development in keeping with the City's Specific Plan goals. Development standards, architecture, landscaping, signage and lighting design criteria will provide continuity throughout the Specific Plan area and will ensure that the project is an asset to the overall community.

3.1 DEVELOPMENT STANDARDS

3.1.1 Land Use

Phase 1: Hotel (up to 128 guest rooms)

3.1.2 Minimum Lot Size

10,000 sq.ft. (net)

Hardscape 30,135.6 sq.ft. 42.0% (Excluding Leora Lane)

Site Summary 1.66 ac Gross (72,309.60 sf)/ 1.51 ac Net (65,775.60 sf)

Site Area:

FAR: Proposed .97 (Gross)
70,454 SF (GFA)
72,309.60 SF (Gross Lot Size)

Maximum Site

Coverage 50% per Base Commercial Zone ; proposed: **18.6%**

Building Coverage: 13,480 sq.ft. **18.6%**

Permeable Pavers: 9,131 sq.ft. **12.6%**

Landscape 13,500 sq.ft. **18.67%** (10% required) (in addition to front setback area)

3.1.3 Building Height

The maximum allowable building height shall be 60 feet (6) stories to the highest point of structure (ridge or parapet). The maximum allowable height of Architectural Features shall be 70 feet. Architectural features shall be limited to 20% of the roof area and may include mechanical screen enclosure, Fire Department roof access, and access stairs enclosures.

The maximum allowable height for the parking structure shall be 2-story.

3.1.4 Exterior Minimum Setbacks

Front Yard (Montiel Rd): 10 feet from front property line

State Route 78 PL: 15 feet from rear property line

Interior PL, Building: 10 feet from western property line and eastern road easement

Interior PL, Parking Structure 0 feet from western property line and eastern road easement

Parking along Montiel Rd: 10 feet from front property line.

The rear yard setback has been established similar to the setbacks in the existing center to the west so the structures along the freeway frontage are set back from the freeway right of way at essentially the same distance. This is proposed so no structure is obscured by another structure

located closer to the freeway. This development standard shall insure equal visibility from the freeway for all sites within this Specific Planning Area. It will also help ensure less freeway noise for the hotel guests.

3.1.5 Internal Setbacks

As allowed in the 2016 California Building Code / San Marcos Municipal Code.
Single structure proposed. No proposed internal setback.

3.2 ARCHITECTURE

3.2.1 Introduction

The architectural style for the hotel is defined as “Modern Style” with clean, simple strong geometric shapes and asymmetry. It will also incorporate design quality that will fit well into the City of San Marcos, producing a project the community will embrace and guests will admire. These characteristics include:

- Building forms proportionate to commercial scale development.
- Low maintenance ‘green’ and durable building materials.
- Integration of landscape element within architectural elements.
-

The hotel is a modern architecture for the active lifestyle. The design of this kind of environment depends on simple architectural forms and elements, but rich in color and simplicity. This design depends on spandrel glass, stucco/plaster, integral paint colors, stained masonry, and painted materials. The landscape and hardscape provide fundamental design elements that bring the architectural components together. See Exhibits 6-9 for conceptual architectural elevations.

Exhibits 6-9 are conceptual project elevations.

FIGURE 6

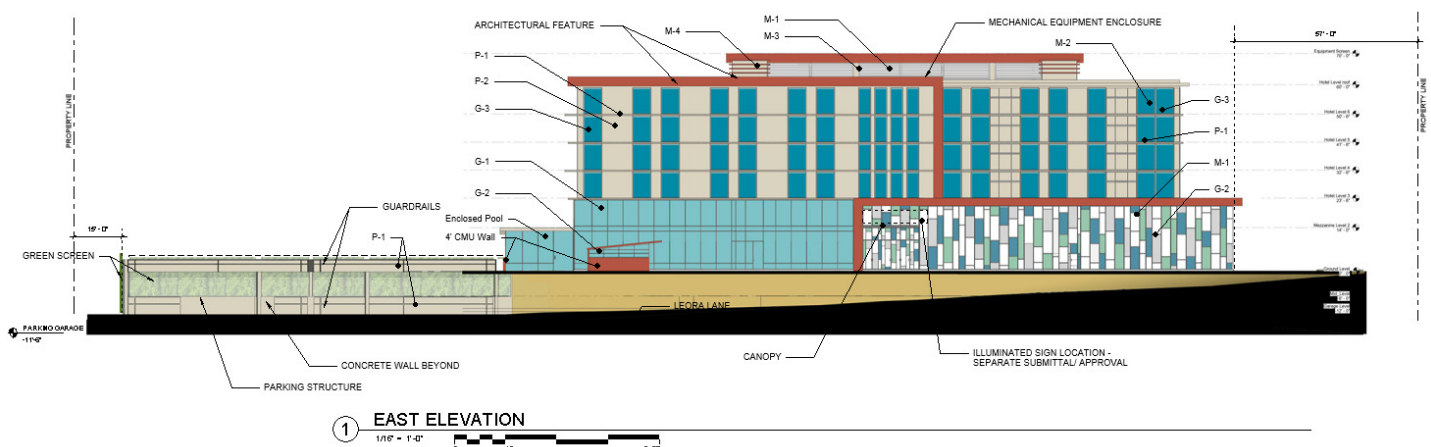


FIGURE 7

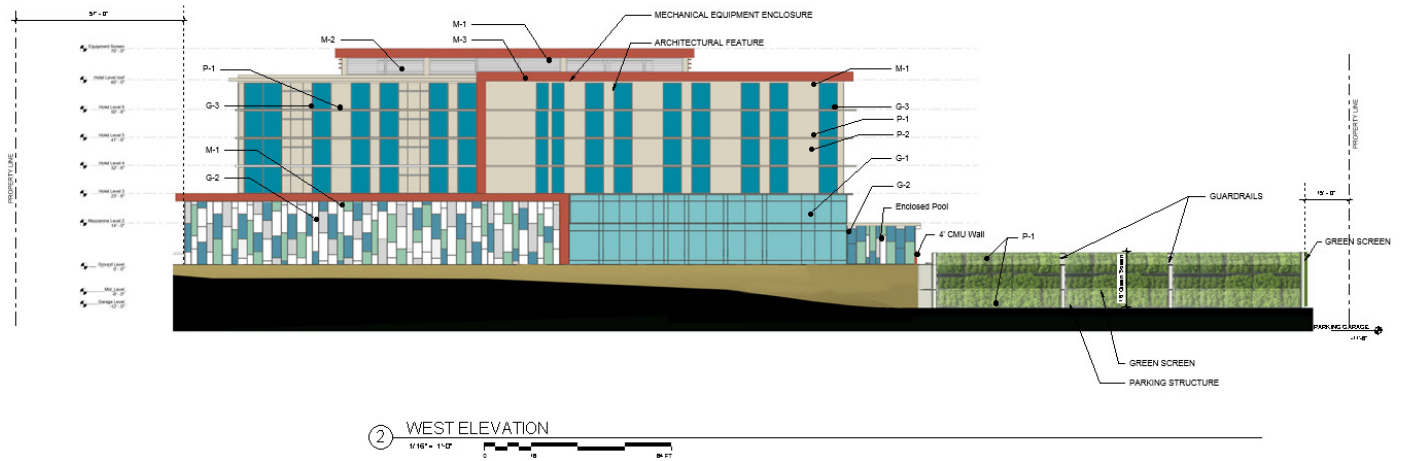


FIGURE 8

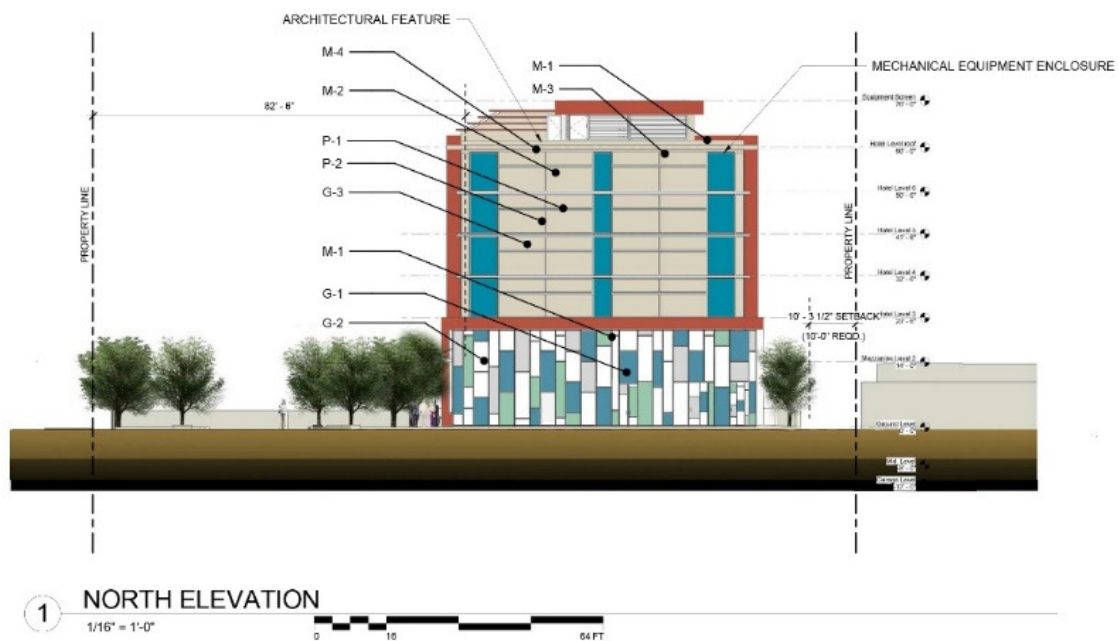
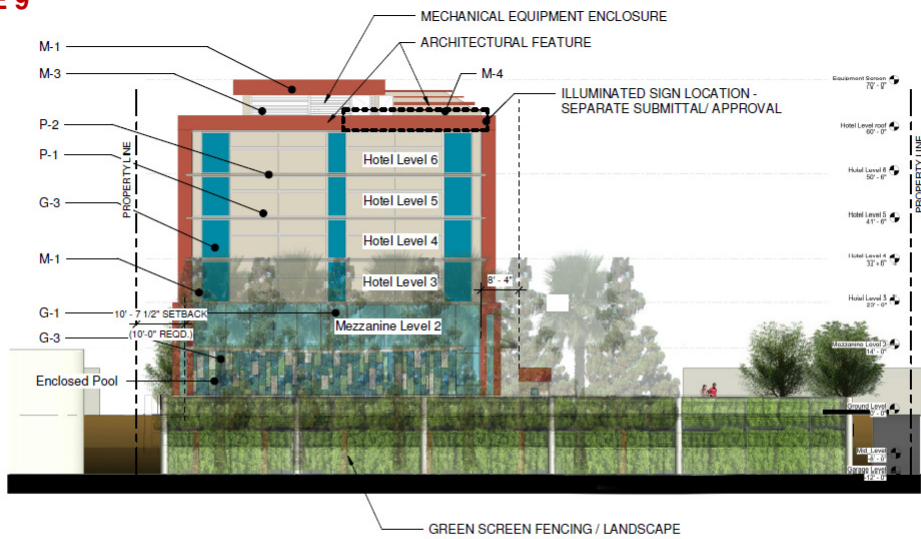


FIGURE 9



2 SOUTH ELEVATION
1/16" = 1'-0"

Exhibit 10 are conceptual project street scene elevations
FIGURE 10A



SOUTH - EAST PERSPECTIVE

FIGURE 10B



NORTH-EAST PERSPECTIVE

FIGURE 10C

CONCEPTUAL ENLARGED POOL ENCLOSURE

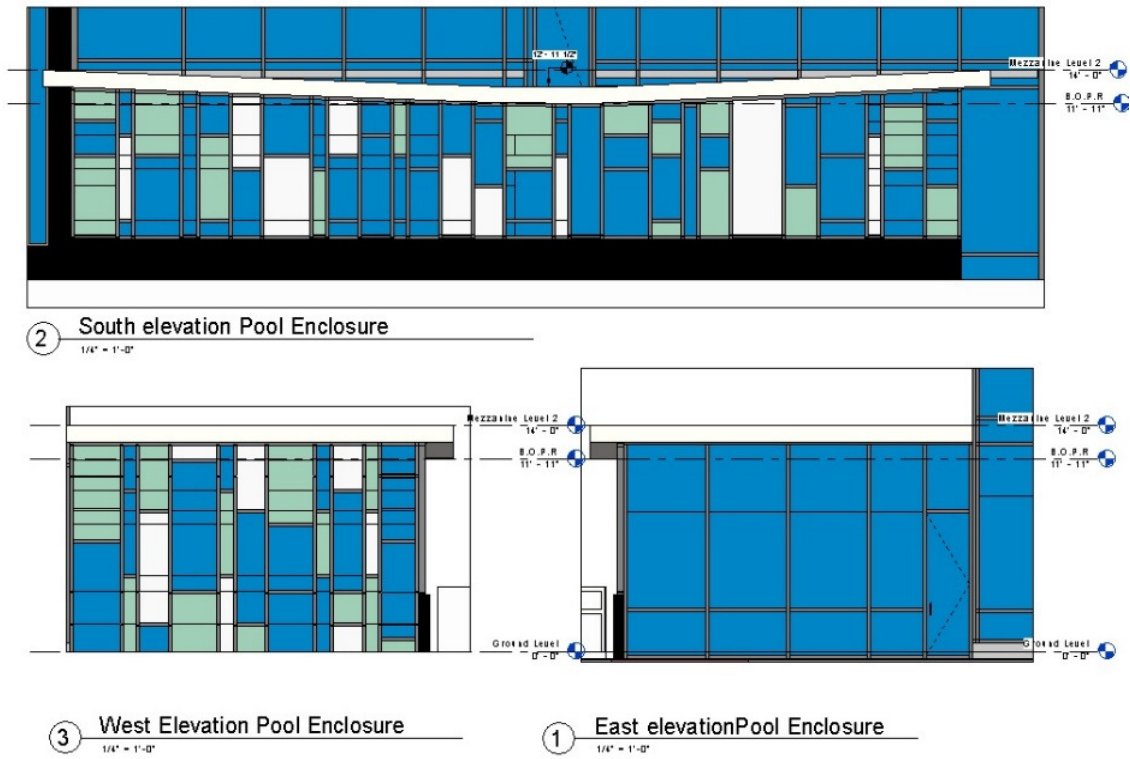


FIGURE 11 Conceptual Project Elevations

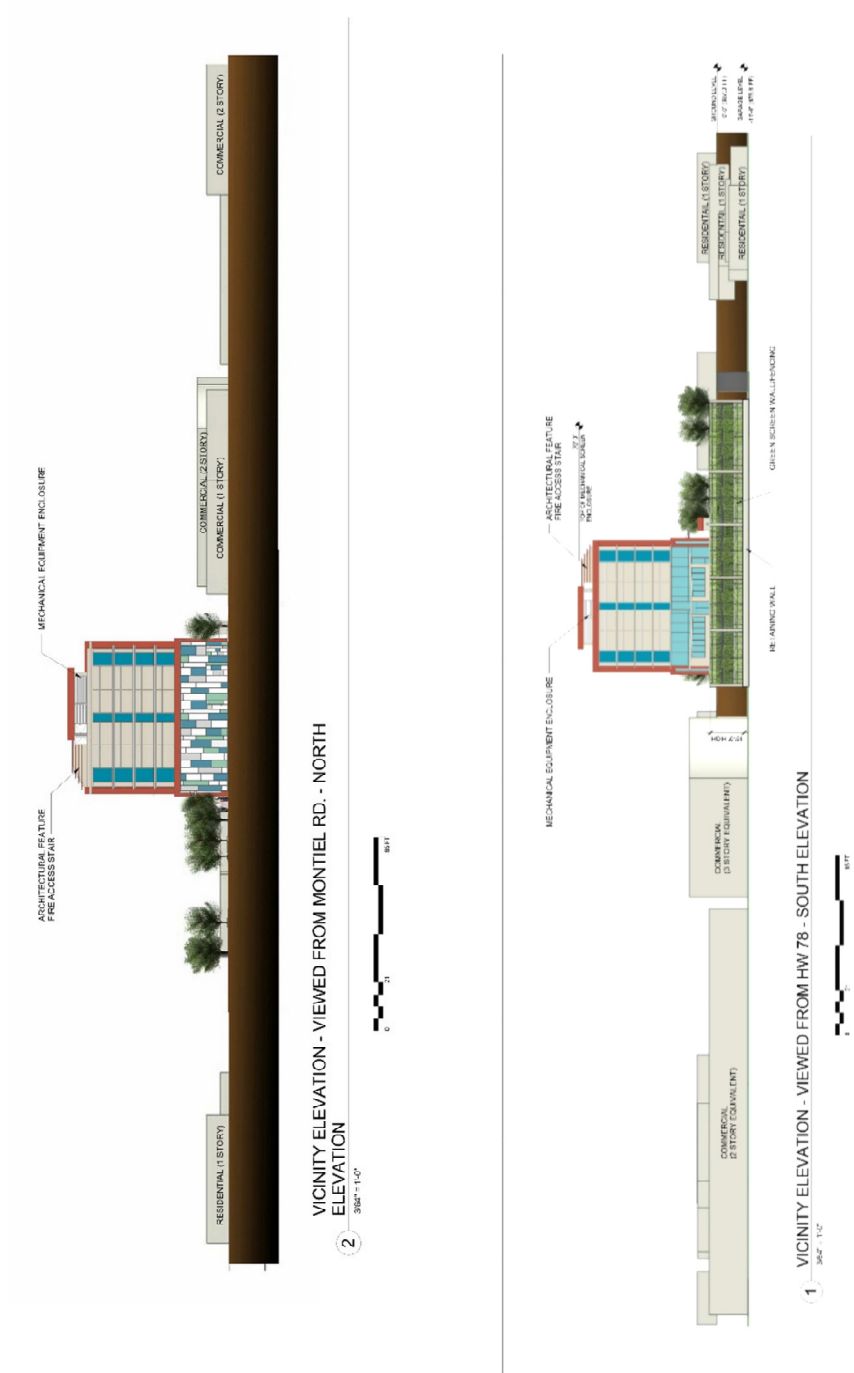


FIGURE 12
CONCEPTUAL BUILDING SITE PLAN – GROUND LEVEL

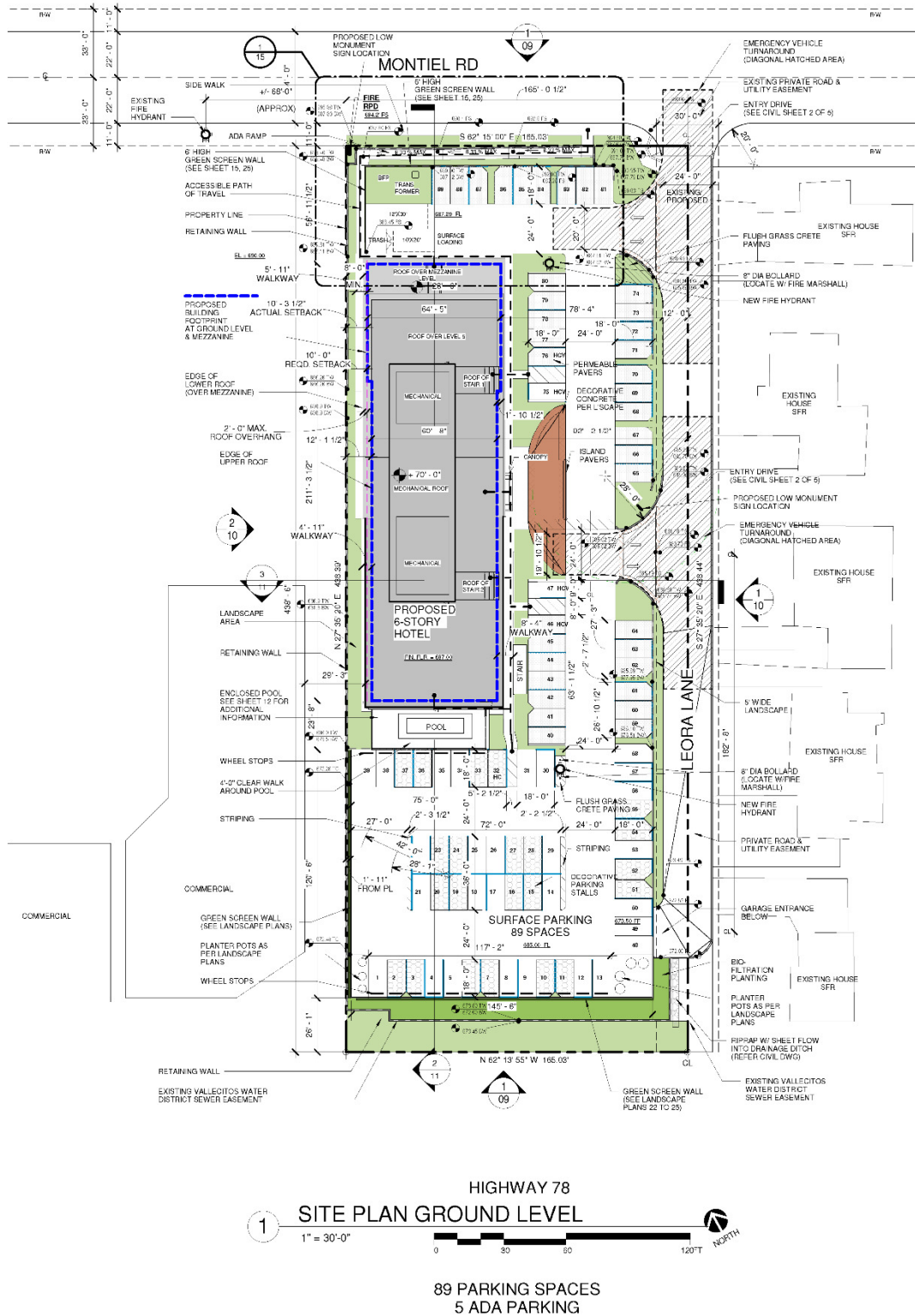
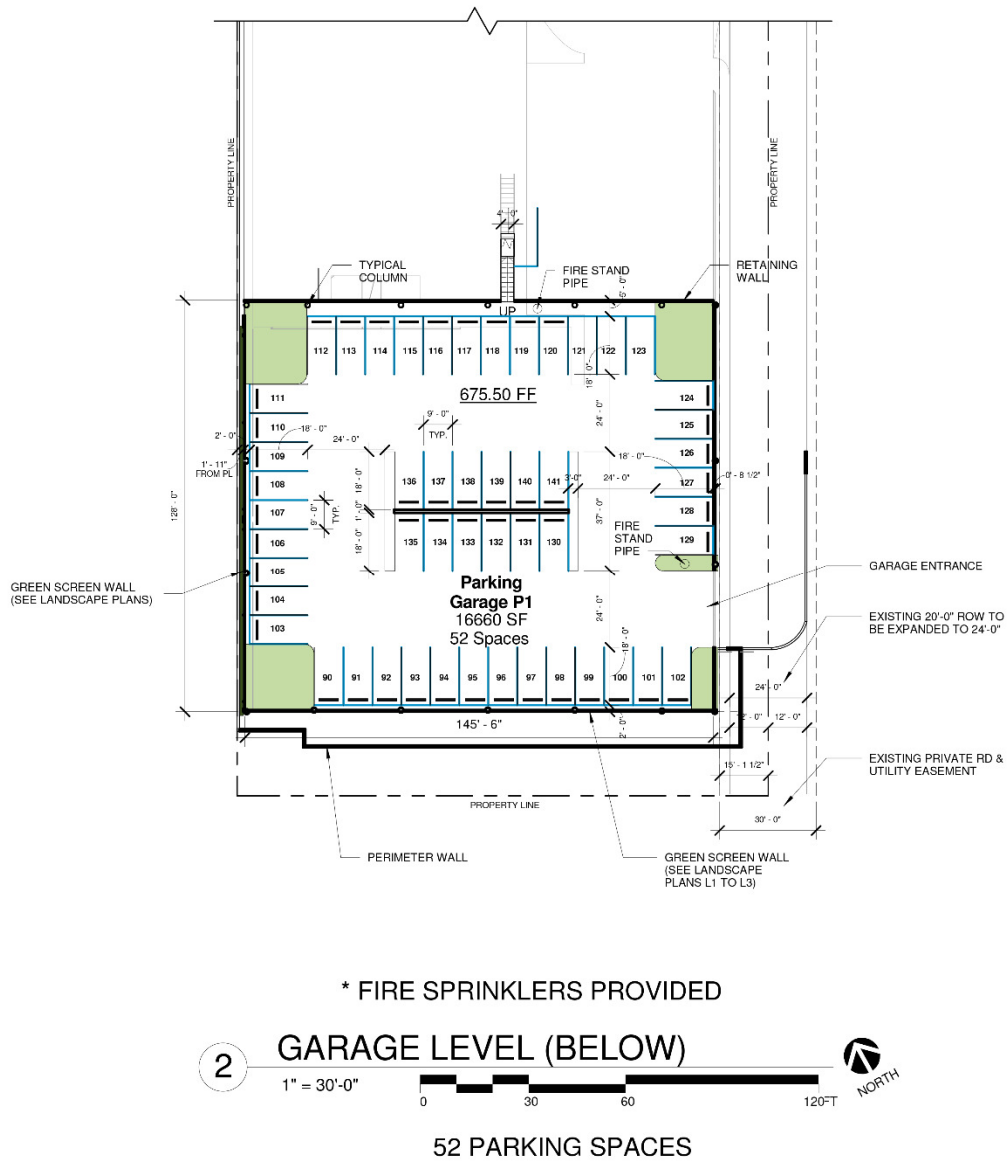


FIGURE 13
CONCEPTUAL BUILDING SITE PLAN – GARAGE LEVEL



3.2.2 Building Form and Mass

A relatively large building form is characteristic of hotel buildings. In order to reduce the perceived height and bulk of the hotel to a more human scale, the overall building mass shall utilize articulated and stepped facades, transparency, and a balanced mix of exterior materials, colors, green building elements and use of landscape. This is achieved through the integration of linear separation of building mass, mix of stucco/glass, subtle colored glass, and green-screen visual barrier.

3.2.3 Roof Forms

The roof is flat. Mechanical equipment shall be screened/enclosed from view by an architectural feature enclosure.

3.2.4 Elevation Treatment

Building facades are rich in color and vibrancy, while maintaining clean simple lines. The design incorporates earth tone smooth textured stucco, copper rich colored metal cladding and subtle multi-colored glass which aids in an articulated massing and façade. A horizontal design band element has been integrated to allow the vertical and horizontal massing to be further segmented as a leading line visual to reduce bulk, scale as well as provide an interesting shading to the façade that will change throughout the day. Bold design elements and color accentuates the building façade and balances the length and the height of the building while highlighting the building entrance with a canopy. Floor to ceiling insulated high-performance windows provide maximum natural light to the indoor spaces throughout the hotel while maintaining a comfortable guest environment.

In addition to the varied design of the building exterior elements, a careful palette of landscaping is provided along all facades that aid in maintaining human scale and interest. This includes a living wall green-screen which will provide a visual barrier to the partial subterranean parking garage while allowing it to maintaining it's open-air energy efficiency.

3.2.5 Focal Elements

Spandrel glass and strong horizontal accents are used as a focal element. Though focal elements are aesthetic features, they also serve a practical purpose. Focal elements assist the observer by providing both orientation and organization within a cluster of design. The following will be incorporated into the design as appropriate to the architectural style.

3.2.7 Lighting

- A. Entrances to buildings shall be lighted and void of any large shrubbery or obstructions to aid in public safety.
- B. All exterior lighting shall be adequately controlled and shielded to prevent glare and undesirable illumination to adjacent properties or streets.
- C. On-site lights shall provide a safe, functional and aesthetic design. Enough lighting shall be provided to ensure a safe environment while at the same time not cause areas of intense light or glare.
- D. Light fixtures and poles shall be designed and placed in a manner consistent and compatible with the overall site and building design. They shall not exceed 25' in height.
- E. All exterior lighting shall be architecturally shielded and shall be of low pressure sodium or an alternative lighting type as approved by the City of San Marcos.
- F. Lighting for pedestrian walkways shall be low profile and have a human scale.

3.3 LANDSCAPE DESIGN

3.3.1 Landscape Concept

The overall landscape concept is to enhance and soften the building while also complying with water conservation requirements. The landscape design is intended to provide an aesthetically pleasing environment, while taking into account the efficient and responsible use of water resources by both the residents and businesses. The landscape design shall comply with the Water Efficient Landscape Ordinance. The plant palette will be developed in accordance with the City's recommended plant list. The material will serve to enhance the hotel and surrounding area, provide points of interest and a sense of arrival create shade within the parking lot area, be a low water use palette, and reduce the need for excessive maintenance. A vegetated green screen will be incorporated along the southern edge of the parking structure in order to soften the appearance of the structure from the adjacent freeway and aid in reducing noise into the site. In addition, the green screen is proposed for the west side of the parking structure.

3.3.2 Landscaping

Landscaping shall conform to the guidelines established in this Specific Plan and consists of, but not limited to, the recommended plants listed below. Final landscape design, including plant species, will be reviewed and approved by the Planning Division prior to issuance of grading permit.

A. Parking Lot Areas

- a. Planters at parking perimeters:
 - Jacaranda Mimosifolia - Jacaranda
 - Pinus Canariensis - Canary Island Pine
 - Platanus Racemosa - California Sycamore
- b. Planters in parking stall areas:
 - Geijera Parvifolia – Australian Willow
 - Ulmus Parvifolia `Sempervirens` - Chinese Evergreen Elm
 - Pyrus Calleryana – Callery Pear
- c. Shrubs for parking area breaks:
 - Cotoneaster Horizontalis - Rock Cotoneaster
 - Dodonaea Viscosa `Purpurea` - Purple Leafed Hopseed
 - Grevillea Lanigera `Mt. Tamboritha` - Woolly Grevillea
 - Juniperus Spp. - Juniper
 - Laurus Nobilis - Sweet Bay Laurel
 - Pittosporum Tenuifolium `Silver Sheen` - Tawhiwhi
 - Rhaphiolepis Indica `Ballerina` - Ballerina Indian Hawthorn
 - Rhaphiolepis Indica `Clara` - Indian Hawthorn

B. Building Areas

- a. Planters in building areas:
 - Ceanothus Maritimus `Frosty Dawn` / Ceanothus
 - Dianella Revoluta `Little Rev` / Little Rev Flax Lily
 - Philodendron Xanadu / Xanadu Philodendron
 - Pyracantha Coccinea `Lowboy` / Lowboy
 - Pyracantha
 - Rhamnus Californica `Little Sur` / Little Sur
 - Coffeeberry
 - Zamia Furfuracea / Cardboard Palm

-
- b. Accent plants within building areas:
 - Agave Americana / Century Plant
 - Agave Attenuata / Agave
 - Agave X `Blue Flame` / Blue Flame Agave
 - Aloe Nobilis / Gold Tooth Aloe
 - Aloe Stricta / Aloe
 - Carex Divulsa / Berkeley Sedge
 - Deschampsia Cespitosa / Tufted Hair Grass
 - Helictotrichon Sempervirens `Blue Oats` / Blue Oat Grass
 - Muhlenbergia Capillaris / Pink Muhly
 - Muhlenbergia Rigens / Deer Grass

C. Pool

- a. Trees:
 - Ulmus Parvifolia `Sempervirens` - Chinese Evergreen Elm
 - Olea Europaea – Fruitless Olive
 - Syagrus Romanzoffiana – Queen Palm
 - Washingtonia Robusta – Mexican Fan Palm
- b. Shrubs:
 - Laurus Nobilis - Sweet Bay Laurel
 - Pittosporum Tenuifolium `Silver Sheen` - Tawhiwhi
 - Raphiolepis Indica `Ballerina` - Indian Hawthorn
 - Raphiolepis Indica `Clara` - Indian Hawthorn
 - Agave Attenuata / Agave
 - Agave X `Blue Flame` / Blue Flame Agave
 - Aloe Nobilis / Gold Tooth Aloe
 - Aloe Stricta / Aloe
- c. Ground Cover:
 - Acacia Redolens `Desert Carpet` / Acacia
 - Baccharis Pilularis `Pigeon Point` / Coyote Brush
 - Cotoneaster Horizontalis `Tom Thumb` / Cotoneaster
 - Juniperus Horizontalis `Blue Chip` / Juniper
 - Lantana Spp. / Lantana
 - Senecio Mandraliscae / `Blue Chalk Sticks`

3.3.3 Outdoor Areas

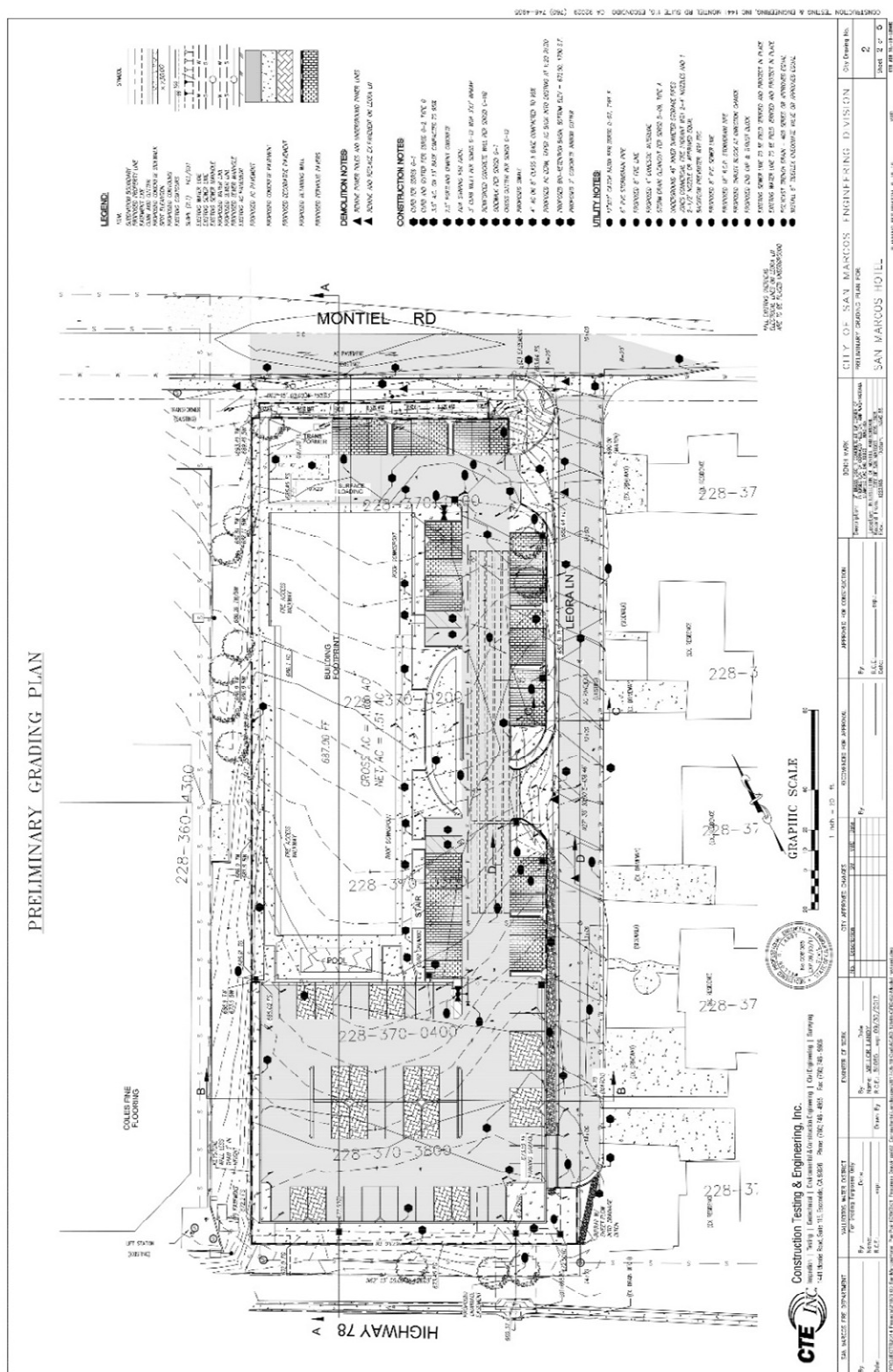
The outdoor areas are critical to the establishment of a consistent design theme that is welcoming and inviting.

The main guest entry into the hotel will create a strong sense of arrival through the use of palms and accent plant material framing the lobby, a decorative pedestrian concrete accent piece, and free standing planters to further define the space.

The pool area will be an extension of the hotel and provide guests with a comfortable areas to enjoy the outside their rooms, gather with family, and utilize the pool amenities. Patio furniture (i.e. benches, tables, lounge chairs and bike racks) will be incorporated into the project and the design of these items shall be complimentary to the buildings. Specific design will be presented at time of building permit application.

Trash enclosure shall be concealed and architecturally compatible with building.

FIGURE 14 – CONCEPTUAL LANDSCAPE PLAN



3.3.4 Pavement Inspiration Images

The surface parking area will incorporate standard asphalt fields with locations of decorative and pervious pavers. These areas of porous pavers throughout the parking will aid in run-off filtration, allow the trees to better establish root growth, and act as a decorative element throughout the site.

Integral color textured pedestrian concrete sidewalks will be developed along the face of the hotel in order to set the entry off from the remaining site, provide a strong sense of entry and complement the hotel. See examples below. Material samples and/or photo specifications will be submitted to the Planning Division for review and approval prior to issuance of grading permit.



FIGURE 15 – Textured Concrete

3.4 SIGN STANDARDS

There will be one monument sign along Montiel Rd (NW corner) of the property and two signs on the building. One of the building signs will be visible from the entrance, and the other will be visible from the freeway. Final sign locations will be approved by the City through a comprehensive sign program.

- A. All signs shall be designed to blend with the size, scale, and architecture of the building.
- B. All signs shall be of a consistent design and materials throughout the project.
- C. Prohibited signs include roof signs, signs extending above the roofline, and flashing or animated signs.
- D. A comprehensive sign program shall be submitted to the City for review and approval prior to issuance of any building permit.

3.5 PUBLIC FACILITIES

3.5.1 Utilities

Gas

Natural gas service will be provided by San Diego Gas and Electric where an existing gas line abuts the site to the northeast along Montiel Road.

Electricity

Electrical utilities serving the hotel project will be accessed from Montiel Road and will be undergrounded along Montiel Road as part of the project. The single pole located on Leora Drive serve the existing residences and will be relocated underground.

Water & Sewer

This property is within the boundaries of the Vallecitos Water District (VWD). The district has a 10" water main adjacent to and north of the property on Montiel Road. A water and sewer study was prepared by VWD that determined adequate water storage, wastewater treatment/disposal, and land outfall capacities exist at this time.

Sewer is also provided by the Vallecitos Water District (VWD). While the property is within the boundaries of the Vallecitos Water District, there is a 10-inch DIP sewer main south of the property and a 6-inch sewer main adjacent to the property on the west. Any water or sewer facilities not within the public right-of-way will require a minimum 20-foot wide easement granted to the District. Installation of upgraded sewer improvements within the

project vicinity and/or payment of fees toward upgrades may be required for the proposed project as determined by VWD.

Cable Television

The proposed project is likely to utilize Satellite TV, in which the equipment will be shielded on the roof behind the mechanical screening and out of site from side elevations.

Fire Protection

The property is located within the San Marcos Fire Protection District, and the City of San Marcos Fire Department provides emergency response services to the subject property. Service is provided currently from three fire stations. Station 1 is located at 180 Mission Road. Station 2 is located at 1250 south Rancho Santa Fe Road and Station 3 is located at 404 Woodland Parkway. The San Marcos Fire Protection District has a mutual aid agreement with the Escondido Fire Department, which, in case of need, may provide service to the subject project. Adequate emergency response capability is available in that San Marcos Fire Station No. 3 is located within a 2-mile vicinity.

The Fire District will require fire hydrants at 300 feet spacing, sprinklers, and a fire standpipe. The proposed project will be required to comply with all applicable City Fire Code requirements (SMMC Chapter 17.64). In addition, the property will be required to be annexed into the City's Community Facilities District, CFD 2001-01: Fire/Paramedic.

Police Services

Police services will be provided by the County of San Diego Sheriff's Department. In addition, the property will be required to be annexed into the City's Community Facilities District, CFD 98-01: Police.

4.0. IMPLEMENTATION

4.1 REVIEW PROCESS

This chapter establishes the development review process for the project. The scope of the project includes approval of the Specific Plan Amendment.

4.2 SPECIFIC PLAN

The Specific Plan Amendment consists of a conceptual site plan and this text. A description of the permitted uses, site development standards, and special design criteria are provided in Chapters II and III of this Specific Plan Amendment.

4.3 DEVELOPMENT PLAN REVIEW PROCESS

In accordance with this Specific Plan Amendment, the Phase 1 project will require approval of a Site Development Plan (SDP), obtain approval from the Vallecitos Water District, and obtain appropriate grading & building permits from the City of San Marcos Building Department. A lot line/boundary adjustment to create a single legal lot will also be required prior to issuance of a grading permit.

4.4 SPECIFIC PLAN AMENDMENTS

Approval of this Specific Plan Amendment signifies acceptance by the City of San Marcos of a general framework and specific development standards for the project. This amendment supersedes all previously approved specific plan or specific plan amendments/modifications. It is anticipated that certain modifications to the Specific Plan text and exhibits may be necessary during the life of the project. Any modifications to the Specific Plan Amendment shall occur in accordance with the amendment process described in this section. These amendments, should they occur, are divided into two categories: Administrative Amendments which allow for minor changes to the Specific Plan and may be approved by the Planning Division Manager, and proposed changes which are considered Formal Amendments and are to be reviewed for approval by the Planning Commission and City Council.

4.4.1 Administrative Amendments

Upon determination by the Planning Division Manager, certain minor modifications to the Specific Plan Amendment and/or graphics may not require formal amendments (i.e. through public hearing) to the Specific Plan Amendment as approved. The Planning Division Manager has the authority to approve modifications to the Specific Plan as follows:

- A. Realignment or modifications of internal streets, driveways, or parking areas serving the project, lot lines, easement locations, building footprint areas, and grading adjustments, if also approved by the City Engineer.
- B. Minor modifications to the Specific Plan Amendment may be allowed providing such future amendments shall not permit a new use or group of uses not shown in the approved Specific Plan Amendment.
- C. Modifications to design criteria such as paving treatments, architectural details and related criteria.
- D. Landscape treatments and areas; fencing, lighting, trails, and entry treatments, provided the modifications are in substantial conformance with the purpose and intent of the specified design criteria.

Additional environmental review shall not be required for administrative amendments to the Specific Plan Amendment provided such changes are determined to be in accordance with the overall intent of the Specific Plan Amendment and do not represent new significant environmental effects.

4.4.2 Formal Amendments

Specific Plan modifications, which do not meet the criteria of an Administrative Amendment, noted in this chapter shall require a Formal Amendment of the Specific Plan Amendment. These amendments shall be processed pursuant to Chapter 20.530 of the San Marcos Zoning Ordinance. The Planning Commission and City Council shall review all Formal Amendments for approval.

The Specific Plan text and exhibits represent an integrated, well-balanced plan for development, which has been reviewed in great detail by the City's staff, Planning Commission and City Council. Any request for a Formal Amendment to the Specific Plan Amendment shall require serious consideration as it relates to the intent of the original Specific Plan Amendment. Therefore, it shall be the responsibility of the amendment applicant to demonstrate that:

- (iii) The proposed amendment meets the goals and objectives of the San Marcos General Plan and the Richland Neighborhood Plan.
- (iv) Any impacts to the Specific Plan resulting from the amendment can be satisfactorily addressed.

It shall also be the applicant's responsibility to update any Specific Plan studies and/or provide additional studies when determined necessary by the Planning Division Manager.

Phase 2 development shall require a Specific Plan Amendment addressing the new development.

5. SPECIFIC PLAN CONSISTENCY WITH THE SAN MARCOS GENERAL PLAN

5.1 GENERAL PLAN GOALS:

The following are stated goals of the General Plan with which the project is consistent.

Goal LU-1 Achieve a balanced distribution and compatible mix of land uses to meet the present and future needs of all residents and the business community.

Implementation The development of the subject property will occur on an undeveloped property planned and zoned as a specific plan area (SPA) for commercial uses and will implement the general plan in this area.

Goal LU-2 Promote development standards and land use patterns that encourage long-term environmental sustainability.

Implementation The hotel use being proposed will be consistent and sustainable with the commercial center to the northwest and the other commercial centers along Nordahl Road. The hotel is seeking LEED Silver designation. The hotel will provide long-term employment opportunities for the area.

Goal LU-3 Develop land use patterns that are compatible with and support a variety of mobility opportunities and choices.

<i>Implementation</i>	<i>The project is near other commercial centers and in an area with available and proposed public transportation facilities.</i>
Goal LU-6	Maintain a supportive business climate and a healthy, sustainable economy to retain and attract high quality businesses and create additional employment opportunities.
<i>Implementation</i>	<i>The hotel will during the site construction will provide temporary construction jobs and permanent jobs for the hotel operation as well as contribute a significant amount of yearly Transient Occupancy Tax to the City of San Marcos.</i>
Goal LU-8	Ensure that existing and future development is adequately serviced by infrastructure and public services.
<i>Implementation</i>	<i>The hotel is near SR 78 and is redeveloping a site that is contiguous to other commercial development. It will contribute to existing infrastructure by making improvements to support future growth.</i>
