

DRAINAGE SYSTEM

WATER WILL BE DISPOSED OF SURFACE FLOW AND UNDERGROUND DRAINAGE SYSTEMS. THE SYSTEM SHOWN IS CONCEPTUAL. THE FINAL DRAINAGE DESIGN SHALL CONFORM TO CITY OF SAN MARCOS

DEVELOPMENT NOTES

- 1 ALL GRADING IS PROPOSED TO CONFORM TO THE PRELIMINARY SOILS REPORT PREPARED FOR THIS PROJECT BY GEOCON, INC., SETBACKS FOR NEW GRADING WILL BE PER THE CITY OF SAN MARCOS STANDARDS, AS MODIFIED BY GEOCON, INC., REPORT.
- 2) PROPOSED PIPE SIZES, WHERE SHOWN, ARE APPROXIMATE.
- 3) ALL STORM WATER TREATMENT DESIGN MUST COMPLY WITH THE THE RECOMMENDATION OF THE BIOLOGIST IN THE PRESERVED OPEN SPACE AREAS AS WELL AS CITY OF SAN MARCOS BMP DESIGN MANUAL
- 4) UNLESS DELINEATED HEREON, SLOPES OF 5' IN HEIGHT OR LESS ARE NOT SHOWN.
- 5) FINAL BIO BASIN WILL BE USED AS TEMPORARY DESILT BASIN DURING CONSTRUCTION.
- 6) FINAL LANDSCAPE PLANS TO SHOW ALL AREAS AFFECTED BY PROPOSED ROAD IMPROVEMENTS. SAID AREAS SHALL BE IRRIGATED AND PLANTED. A SEPARATE LANDSCAPE PLAN WILL BE SUBMITTED FOR PUBLIC VERSUS PRIVATE SLOPE/LANDSCAPE AREAS.
- 7) BMP MEASURES WILL BE IMPLEMENTED TO MITIGATE WATER QUALITY AND DETENTION, WHICH SHALL BE DEPICTED ON FINAL GRADING PLANS ALL STORM WATER TREATMENT DESIGN MUST COMPLY WITH THE RECOMMENDATIONS OF THE SPECIFIC WATER QUALITY CONTROL PLAN AND HYDROLOGY REPORT FOR ALL LOTS.
- 8) WALL MATERIAL SHALL CONSIST OF A DECORATIVE SURFACE AS APPROVED BY THE PLANNING DIVISION MANAGER. STRUCTURAL DESIGN OF SAID WALLS SHALL BE APPROVED BY THE CITY ENGINEER.
- 9) A GRADING VARIANCE (GV 17-004) IS REQUESTED FOR ALL AREAS SHOWN ON THIS SHEET AS SLOPES GRATER THAN 20' IN TOTAL HEIGHT.

NOTES

EXISTING ZONING: SP (SCRIPPS)

PROPOSED ZONING: DISCOVERY VILLAGE SOUTH "SPECIFIC PLAN"

TOTAL SITE ACREAGE: 39.01 ACRES

EXIST. COMMUNITY PLAN DESIGNATION: BARHAM / DISCOVERY

ASSESSORS PARCEL NUMBERS: 221-142-07; 221-070-19,20; 221-080-11,12,18,19,23,24

THE PROPERTY LIES WITHIN FEMA FLOOD ZONE AE (SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD) PER FIRM COMMUNITY PANEL NO. 06073C0793G, EFFECTIVE DATED MAY 16, 2012.

TOPOGRAPHY SOURCE:

AERIAL FROM ENVIROMINE, DATED 6-16-2017
AND ROUGH GRADE TOPO FROM TM 16-003

UTILITIES:

WATER - VALLECITOS WATER DISTRICT
SEWER - VALLECITOS WATER DISTRICT
SCHOOLS - SAN MARCOS UNIFIED SCHOOL DISTRICT
GAS / ELECTRICITY - SAN DIEGO GAS & ELECTRIC

APPROXIMATE GRADING QUANTITIES:*

EXCAVATION 148,000 CY
EMBANKMENT 148,000 CY
IMPORT/EXPORT NONE
(SEE TOPO SOURCE ABOVE)

* PRECISE GRADING QUANTITIES ARE FROM ROUGH GRADE ELEVATIONS CREATED BY TM 16-003 TO FINISH PAD ELEVATION PER THIS PLAN

SITE DATA:

Development Standards	Type A (PA 1 & 3)	Type B (PA 2)
Configuration	Front Loaded Single-Family Detached	Motorcourt Single-Family Detached
Acreage/ Number of Dwelling Units	24.27/131	14.74/89
Gross Density	5.40	6.04
Min. Lot Area	4,050 SF	2,776 SF
Min. Lot Width ²	45'	229'
Min. Lot Depth ²	90'	128'
Min. Front Setback from Back of Sidewalk or Property Line	10'	10'
Min. Street Side Setback from Back of Sidewalk or Property Line	10'	10'
Min. Side Setback from Property Line	5'	7.5'
Min. Front Garage Setback from Back of Sidewalk ²	16/18'	16/18'
Min. Rear Setback from Property Line	10'	7.5'
Height Limit	35'	35'
Min. Setback from Enhanced Architectural Projection to Back of Sidewalk, Rear Property Line or Adjacent Structure ⁴	7.5'	7.5'
Min. Setback from Incidental & Accessory Structures & Uses to Property Line	5'	5'

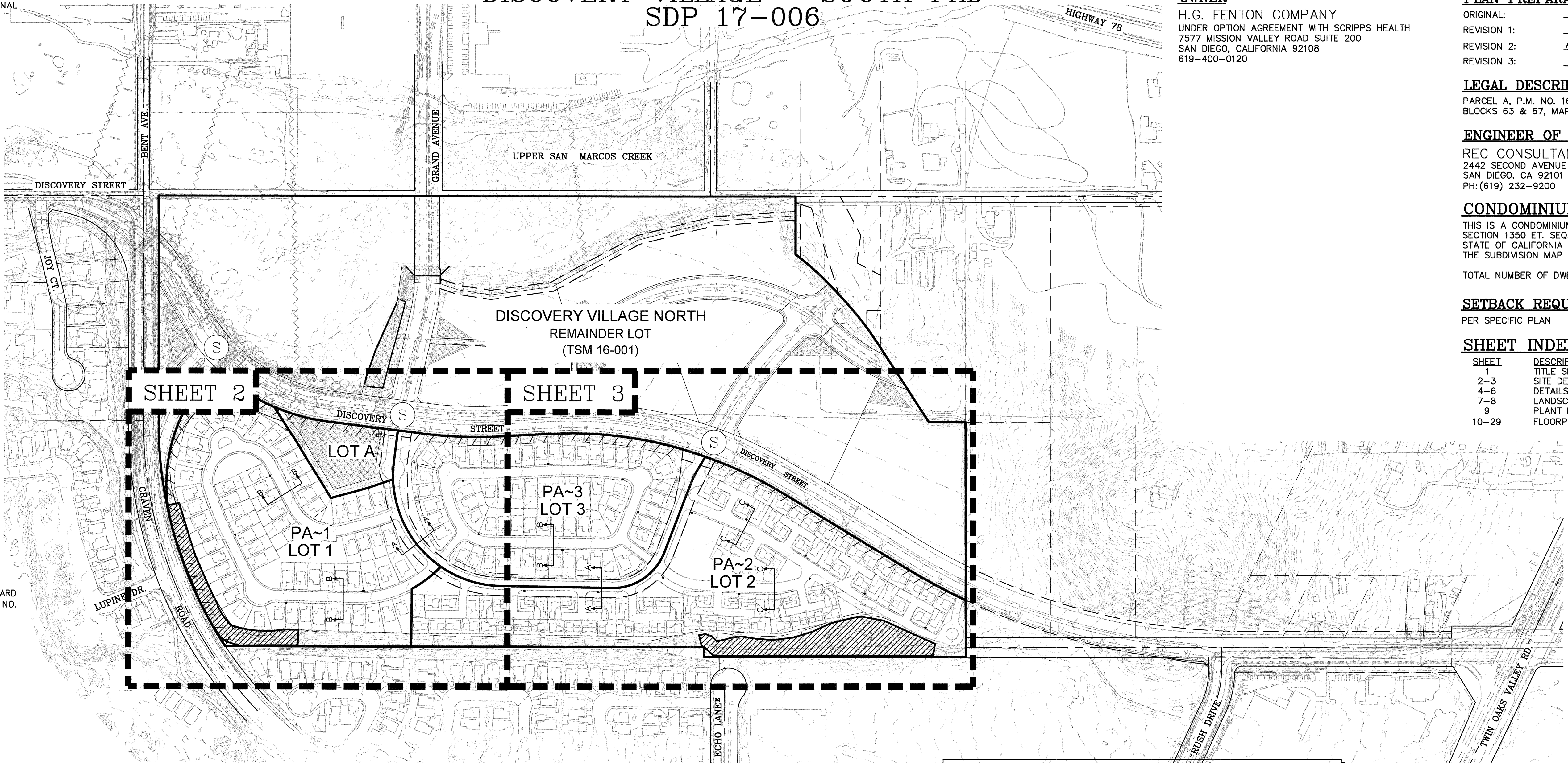
BUILDING DATA TABLE:

SINGLE FAMILY			
NUMBER OF UNITS (TYPE A)		131	
MOTOR COURT UNITS (TYPE B)		89	
TOTAL UNIT COUNT		220	
TYPE A UNIT		TYPE B UNIT	
	PVT OPEN		PVT OPEN
INTERIOR	SPACE	INTERIOR	SPACE
PLAN A 2100 SF	400 SF	1650 SF	300 SF
PLAN B 2250 SF	400 SF	1750 SF	580 SF
PLAN C 2400 SF	400 SF	1650 SF	400 SF
PLAN D 2500 SF	400 SF	1700 SF	400 SF

SITE DATA TABLE:

DEVELOPMENT CRITERIA	REQUIRED PER CHAPTER 19.26 MFR-14	PROVIDED PER THIS APPLICATION
LOT SIZE:	3000 SF	SEE SHEET 6
PARKING PER UNIT:	150 SF	2 COVERED
GUEST (PER UNIT):	150 SF	2 UN-COVERED
STREET PARKING:		
PVT STREETS	2/UNIT	36
LOOP ROAD	0.3 to 0.5/UNIT	50

CITY OF SAN MARCOS ~ SITE DEVELOPMENT PLAN
DISCOVERY VILLAGE ~ SOUTH PAD
SDP 17-006



OWNER

H.G. FENTON COMPANY
UNDER OPTION AGREEMENT WITH SCRIPPS HEALTH
7577 MISSION VALLEY ROAD SUITE 200
SAN DIEGO, CALIFORNIA 92108
619-400-0120

PLAN PREPARATION DATE

ORIGINAL: MAY 2017
REVISION 1: JUNE 30, 2017
REVISION 2: AUGUST 22, 2017
REVISION 3:

LEGAL DESCRIPTION

PARCEL A, P.M. NO. 16595 AND PORTIONS OF BLOCKS 63 & 67, MAP NO. 806,

ENGINEER OF WORK

REC CONSULTANTS INC.
2442 SECOND AVENUE
SAN DIEGO, CA 92101
PH: (619) 232-9200

CONDOMINIUM NOTE:

THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT.

TOTAL NUMBER OF DWELLING UNITS 220

SETBACK REQUIREMENTS

PER SPECIFIC PLAN

SHEET INDEX

SHEET	DESCRIPTION
1	TITLE SHEET
2-3	SITE DEVELOPMENT PLAN
4-6	DETAILS AND TYPICAL SECTIONS
7-8	LANDSCAPE CONCEPT PLAN
9	PLANT LEGEND
10-29	FLOORPLAN / ELEVATIONS

DENOTES SLOPES GREATER THAN 20' IN TOTAL HEIGHT (GV 17-004)



LEGEND

SUBDIVISION BOUNDARY

EASEMENTS

UNIT NUMBER

PAD ELEVATION

PROPOSED SLOPE (2:1)

SPOT ELEVATION

DAYLIGHT CUT OR FILL

STORM DRAIN HEADWALL

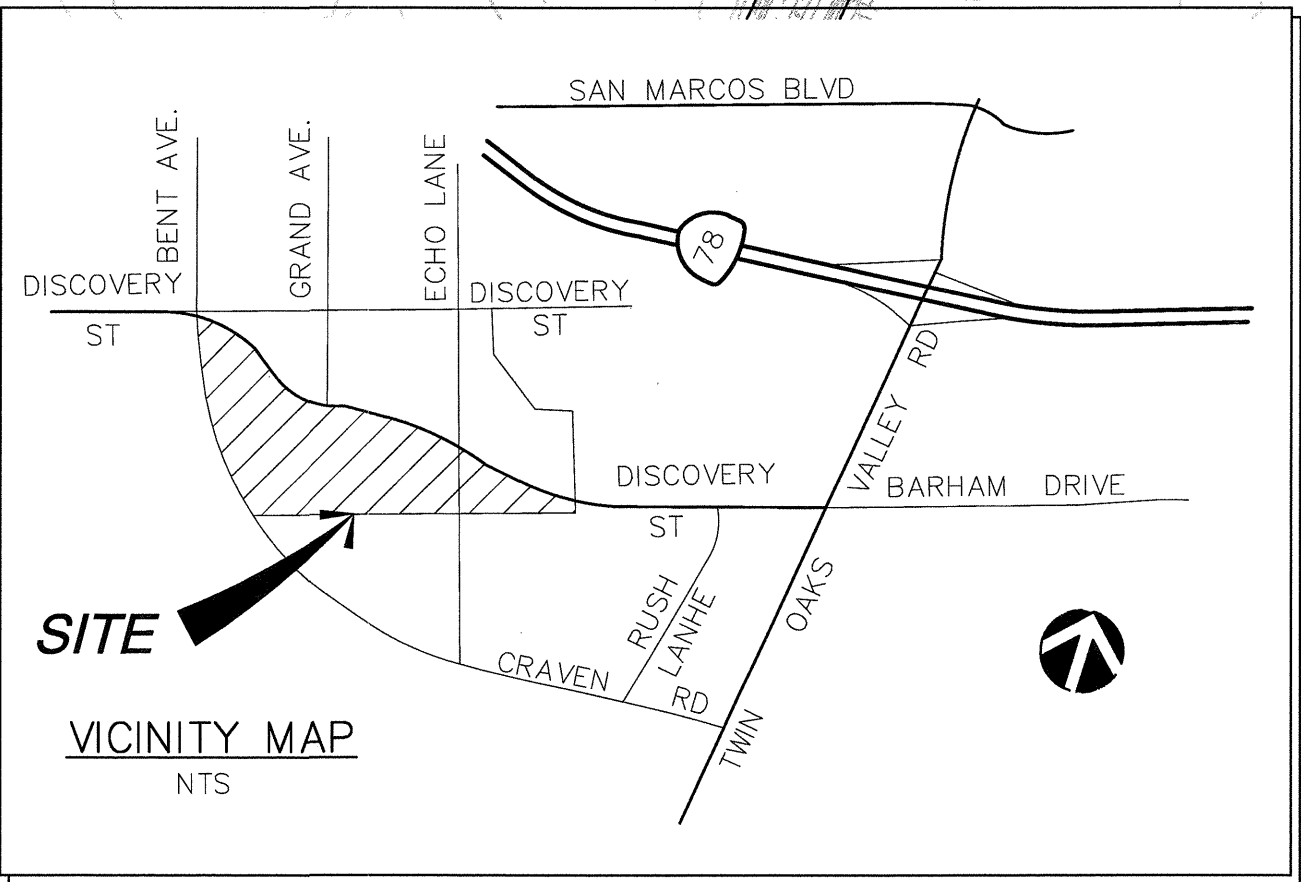
SIGNALIZED INTERSECTION

EXISTING CONTOUR

EXISTING STORM DRAIN STRUCTURE

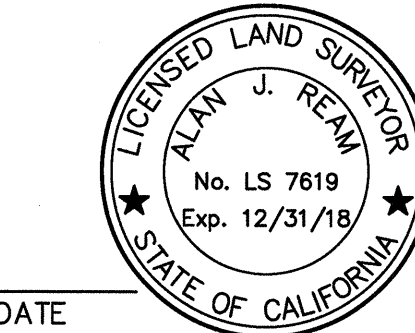
EXISTING SEWER

EXISTING WATER



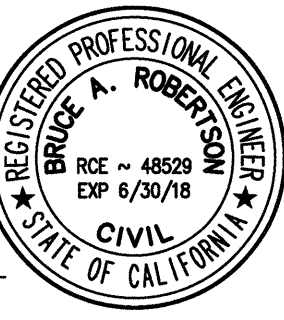
SURVEYOR

ALAN J. REAM



ENGINEER

BRUCE A. ROBERTSON



Civil Engineering - Environmental
Land Surveying

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HOWARD
Associates

Landscape Architecture

2442 Second Avenue,
San Diego, CA 92108
Phone: 619.718.9660

H.G. Fenton Company

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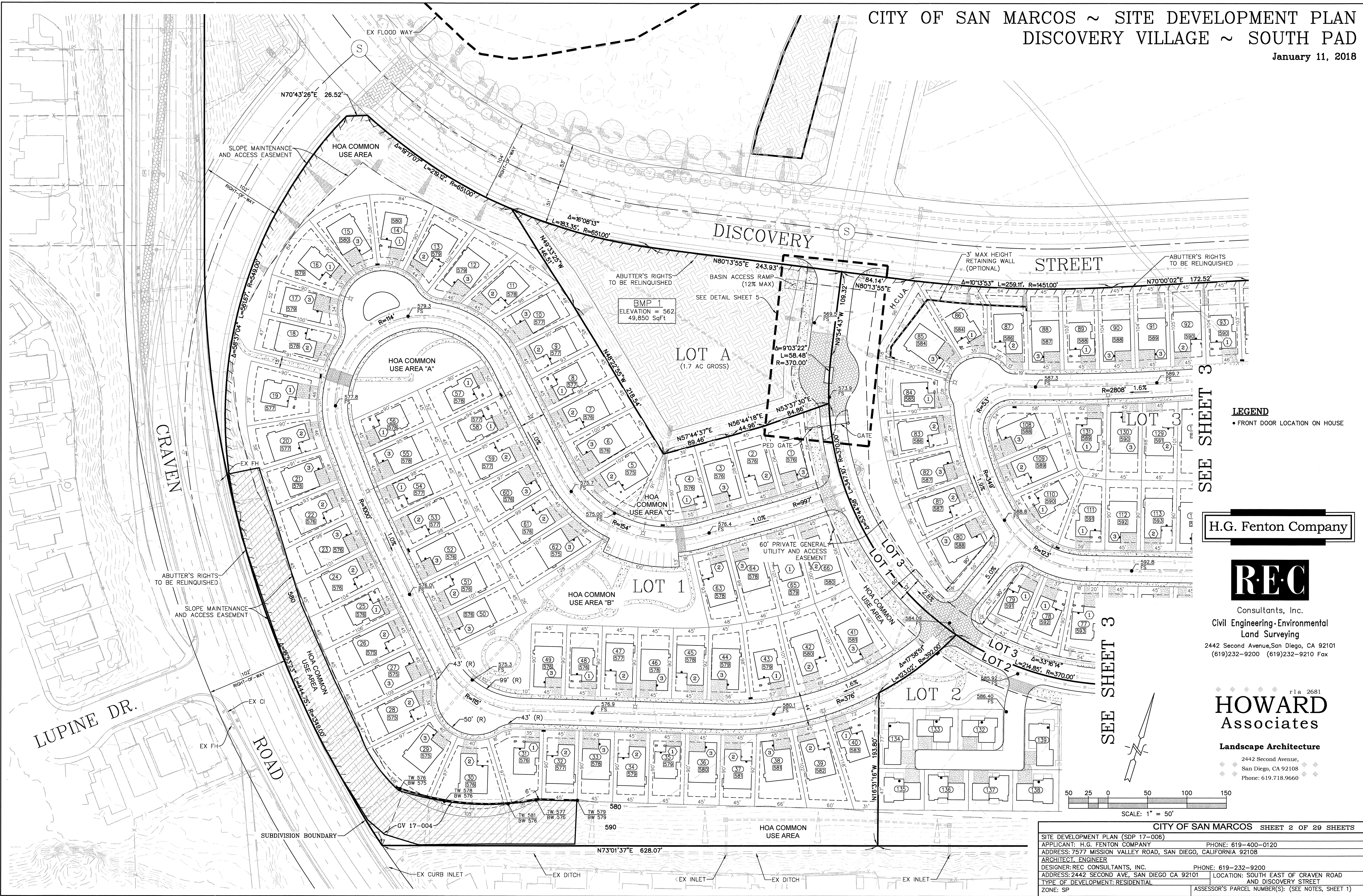
January 11, 2018

BENCH MARK
CITY OF SAN MARCOS STATION SMVC021
PER RECORD OF SURVEY 13928
ELEV.: 535.977 DATUM: N.A.V.D. 1988

CITY OF SAN MARCOS		SHEET 1 OF 29 SHEETS	
SITE DEVELOPMENT PLAN (SDP 17-006)			
APPLICANT: H.G. FENTON COMPANY		PHONE: 619-400-0120	
ADDRESS: 7577 MISSION VALLEY ROAD, SAN DIEGO, CALIFORNIA 92108			
ARCHITECT: ENGINEER			
DESIGNER: REC CONSULTANTS, INC.		PHONE: 619-232-9200	
ADDRESS: 2442 SECOND AVENUE, SAN DIEGO CA 92101		LOCATION: SOUTH EAST OF CRAVEN ROAD AND DISCOVERY STREET	
TYPE OF DEVELOPMENT: RESIDENTIAL			
ZONE: SP		ASSESSOR'S PARCEL NUMBER(S): (SEE NOTES, THIS SHEET)	

CITY OF SAN MARCOS ~ SITE DEVELOPMENT PLAN
DISCOVERY VILLAGE ~ SOUTH PAD

January 11, 2018



LEGEND
• FRONT DOOR LOCATION ON HOUSE

H.G. Fenton Company

REC

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Associates

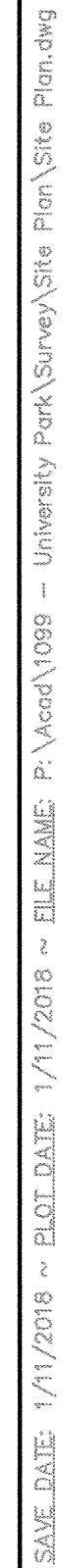
Landscape Architecture

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Phone: 619.718.9660

CITY OF SAN MARCOS SHEET 2 OF 29 SHEETS

SITE DEVELOPMENT PLAN (SDP 17-006)	
APPLICANT: H.G. FENTON COMPANY	PHONE: 619-400-0120
ADDRESS: 7577 MISSION VALLEY ROAD, SAN DIEGO, CALIFORNIA 92108	
ARCHITECT, ENGINEER	
DESIGNER: REC CONSULTANTS, INC.	PHONE: 619-232-9200
ADDRESS: 2442 SECOND AVE, SAN DIEGO CA 92101	LOCATION: SOUTH EAST OF CRAVEN ROAD AND DISCOVERY STREET
TYPE OF DEVELOPMENT: RESIDENTIAL	
ZONE: SP	
ASSESSOR'S PARCEL NUMBER(S): (SEE NOTES, SHEET 1)	

January 11, 2018



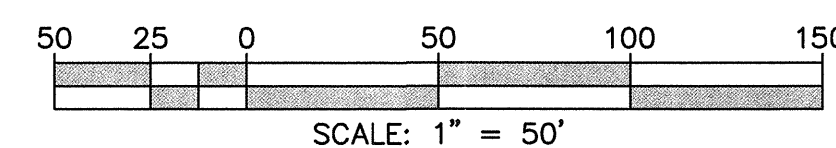
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Landscape Architecture

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LEGEND

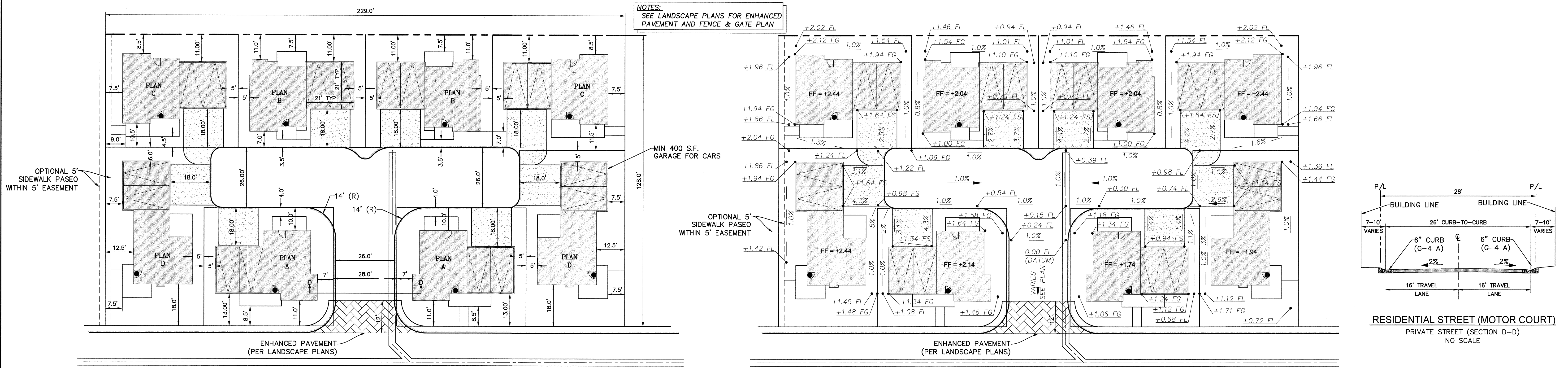
- FRONT DOOR LOCATION ON HOUSE



CITY OF SAN MARCOS SHEET 3 OF 29 SHEETS

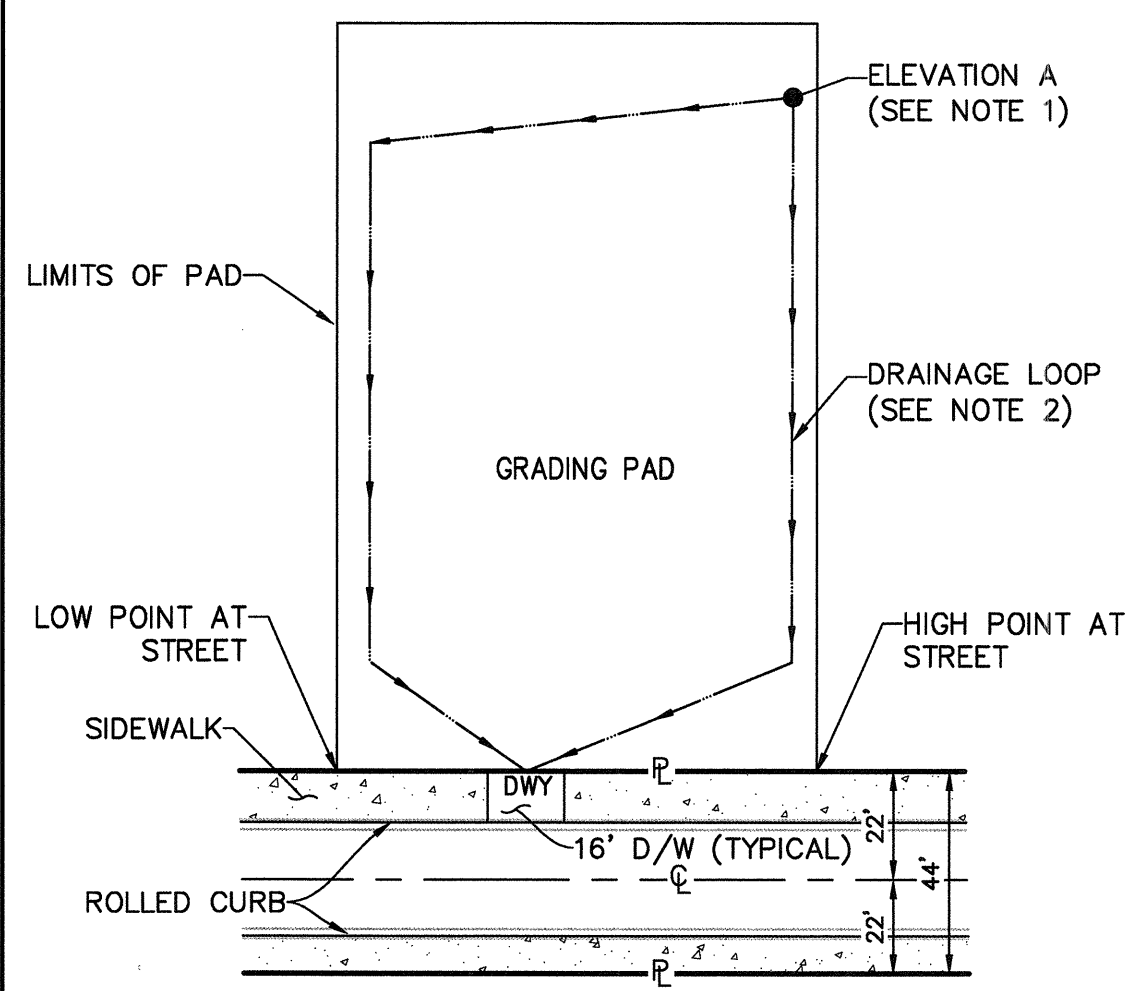
SITE DEVELOPMENT PLAN (SDP 17-006)	
APPLICANT: H.G. FENTON COMPANY	PHONE: 619-400-0120
ADDRESS: 7577 MISSION VALLEY ROAD, SAN DIEGO, CALIFORNIA 92108	
ARCHITECT: ENGINEER	
DESIGNER: REC CONSULTANTS, INC.	PHONE: 619-232-9200
ADDRESS: 2442 SECOND AVE, SAN DIEGO CA 92101	LOCATION: SOUTH EAST OF CRAVEN ROAD AND DISCOVERY STREET
TYPE OF DEVELOPMENT: RESIDENTIAL	
ZONE: SP	ASSESSOR'S PARCEL NUMBER(S): (SEE NOTES, SHEET 1)

CITY OF SAN MARCOS ~ SITE DEVELOPMENT PLAN
DISCOVERY VILLAGE ~ SOUTH PAD



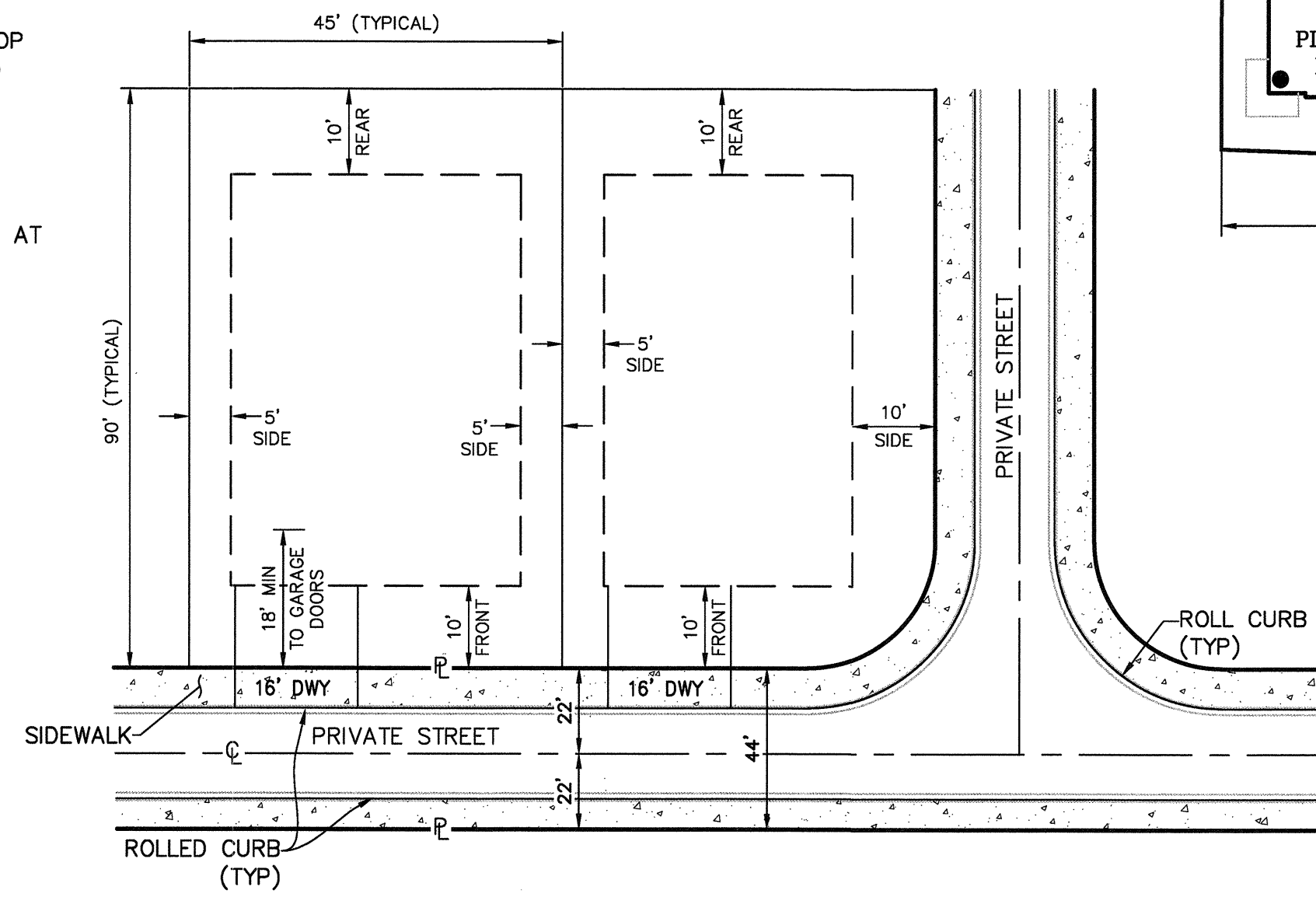
BUILDING TYPE B
MOTOR COURT MODULE ~ TYPICAL DETAIL
SCALE: 1" = 20'

BUILDING TYPE B ~ MOTOR COURT MODULE ~ TYPICAL GRADE PLOTTING
SCALE: 1" = 20'

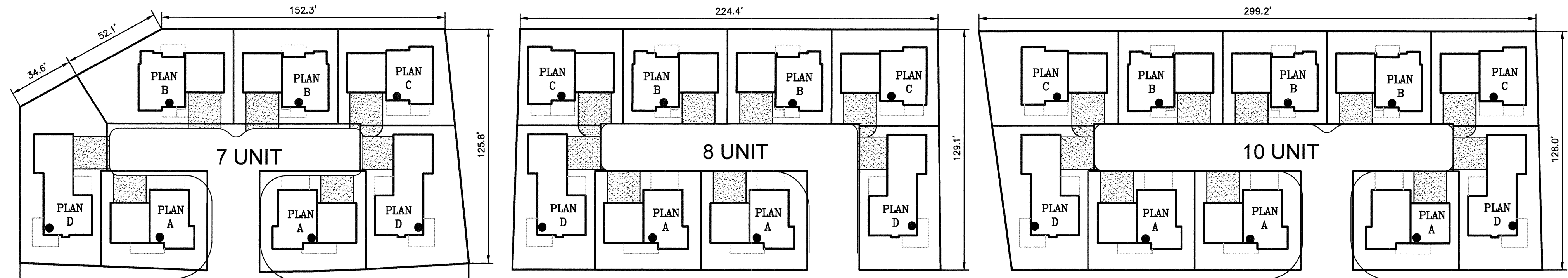


TYPICAL RESIDENTIAL PAD DRAINAGE
NO SCALE

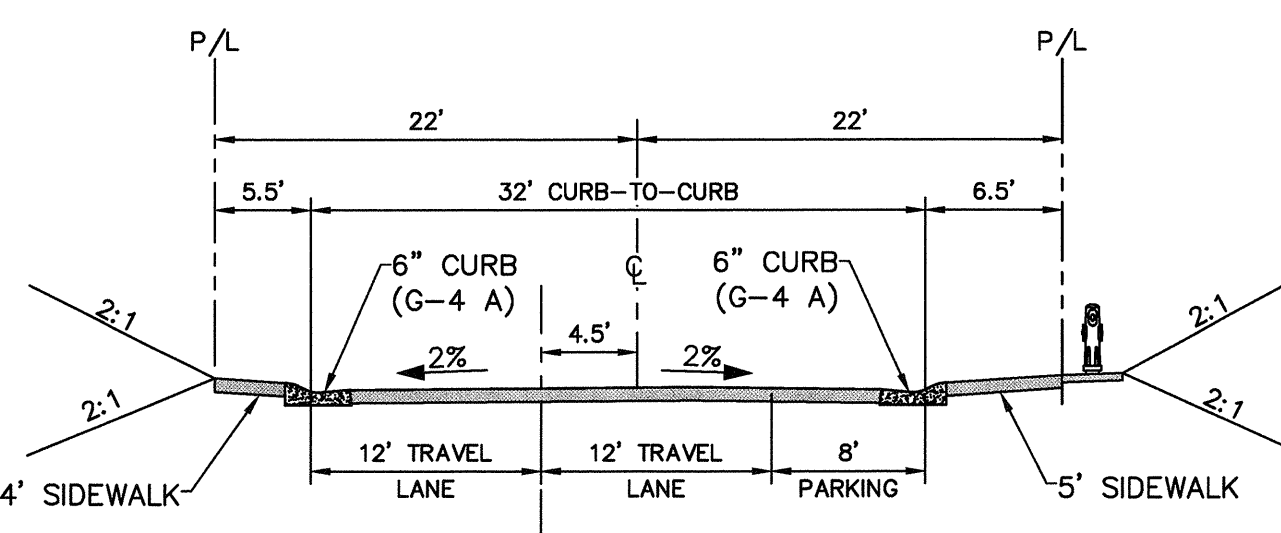
- NOTES:
1. ELEVATION "A" IS LOCATED AT THE MOST REMOTE CORNER OF THE PAD FROM THE DRIVEWAY.
 2. MINIMUM 1% SWALE TO STREET OR OTHER DISCHARGE POINT.
 3. ALL SLOPE SURFACES SHALL BE PROTECTED BY APPROVED EROSION CONTROL MATERIAL.
 4. ALL PADS TO BE BERMED TO PREVENT RUN-OFF TO ADJACENT PADS.



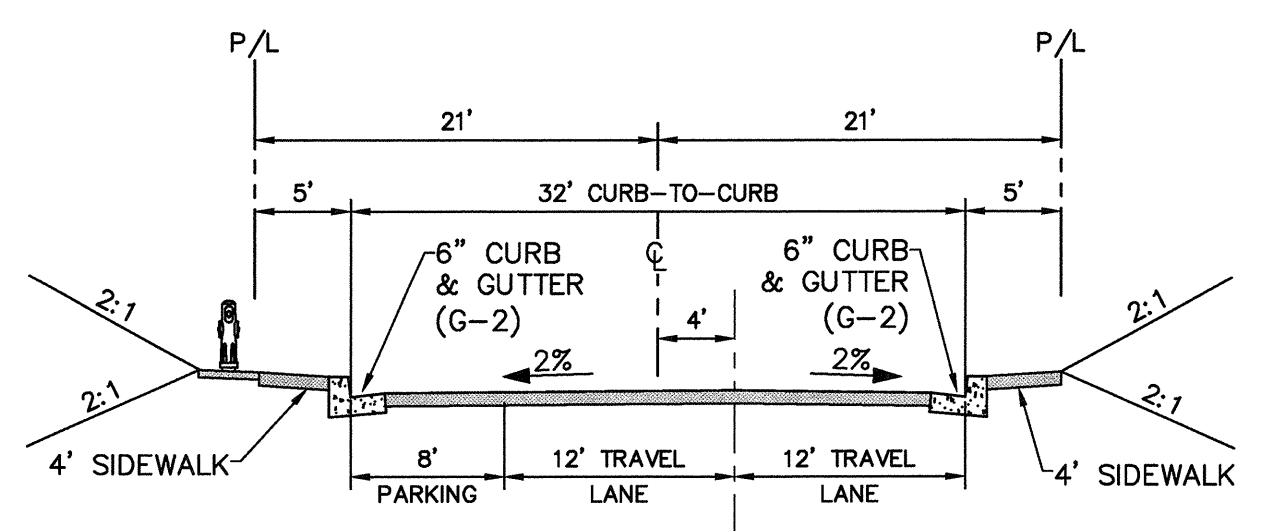
BUILDING TYPE A
TYPICAL RESIDENTIAL BUILDING SETBACKS ~ PER SPECIFIC PLAN
NO SCALE



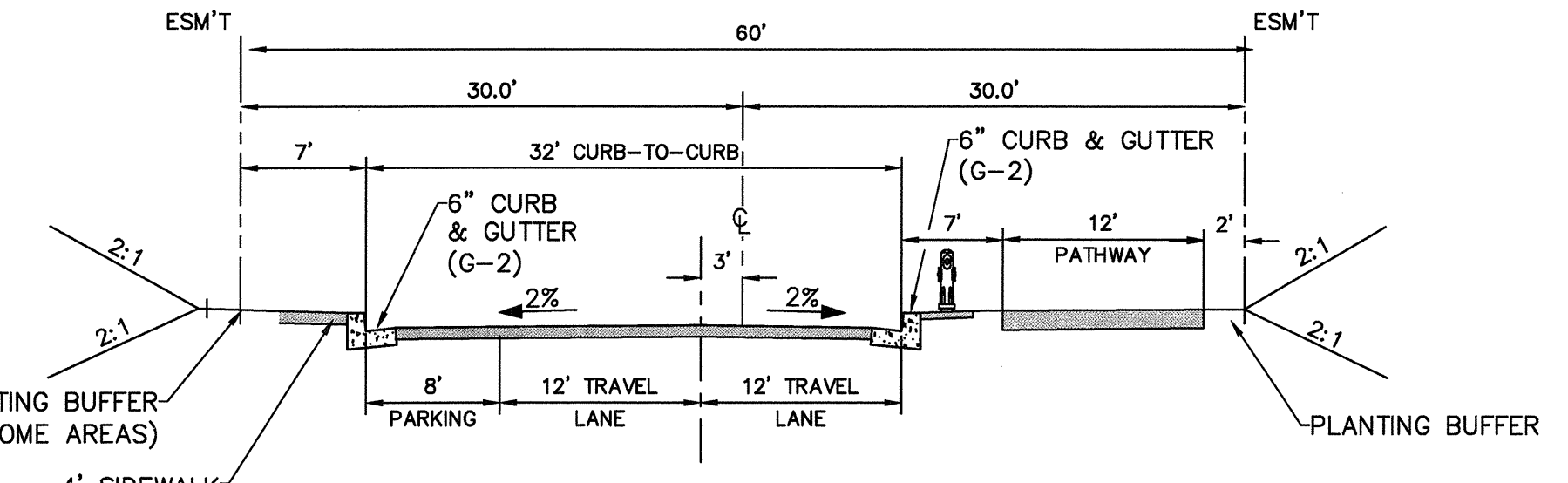
BUILDING TYPE B
MOTOR COURT MODULE ~ OPTIONAL LAYOUTS
SCALE: 1" = 40'



RESIDENTIAL STREET (SINGLE FAMILY)
PRIVATE STREET (SECTION B-B)
NO SCALE



RESIDENTIAL STREET (MOTOR COURT)
PRIVATE STREET (SECTION C-C)
NO SCALE



MAIN RESIDENTIAL LOOP STREET
PRIVATE STREET (SECTION A-A)
NO SCALE



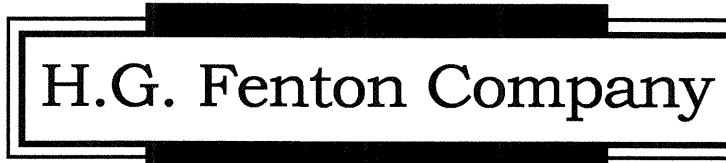
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January 11, 2018

CITY OF SAN MARCOS SHEET 4 OF 29 SHEETS	
SITE DEVELOPMENT PLAN (SDP 17-006)	
APPLICANT: H.G. FENTON COMPANY	PHONE: 619-400-0120
ADDRESS: 7577 MISSION VALLEY ROAD, SAN DIEGO, CALIFORNIA 92108	
ARCHITECT, ENGINEER	
DESIGNER: REC CONSULTANTS, INC.	PHONE: 619-232-9200
ADDRESS: 2442 SECOND AVE, SAN DIEGO CA 92101	LOCATION: SOUTH EAST OF CRAVEN ROAD AND DISCOVERY STREET
TYPE OF DEVELOPMENT: RESIDENTIAL	
ZONE: SP	ASSESSOR'S PARCEL NUMBER(S): (SEE NOTES, SHEET 1)

DISCOVERY STREET

20' PUBLIC ACCESS AND SIGNAL EASEMENT

12' BYPASS LANE

12' LANE

12' EXIT LANE

36'

112' (40' MINIMUM FOR TWO CARS) STORAGE SPACE

10'

30' (R)

30' (R)

60' PRIVATE GENERAL UTILITY AND ACCESS EASEMENT

16'

38.0' (R)

CARD READER

20.0'

10.0'

DECORATIVE PAVING

30' (R)

30' (R)

GATE SHALL NOT OBSTRUCT TURNAROUND AT ANY TIME, OR ENCROACH INTO PUBLIC RIGHT-OF-WAY

GATE

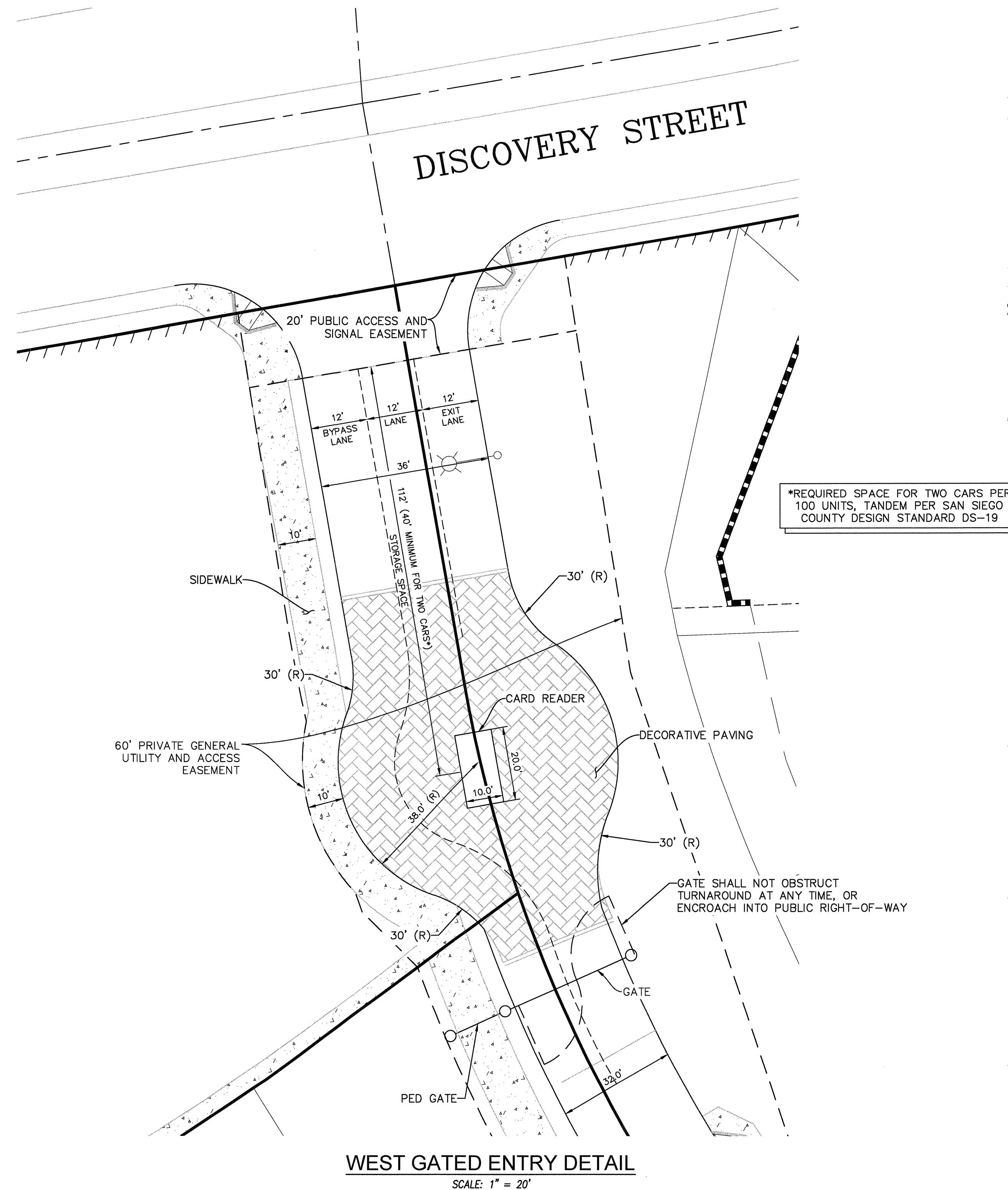
50.0'

PED GATE

*REQUIRED SPACE FOR TWO CARS PER 100 UNITS, TANDEM PER SAN DIEGO COUNTY DESIGN STANDARD DS-19

WEST GATED ENTRY DETAIL

SCALE: 1" = 20'



CITY OF SAN MARCOS ~ SITE DEVELOPMENT PLAN
DISCOVERY VILLAGE ~ SOUTH PAD

LOT 1 MODULE DATA

Module Size Table		
Module #	Area	DESCRIPTION
1	4,751 SF	Single Family Residential
2	4,053 SF	Single Family Residential
3	4,050 SF	Single Family Residential
4	4,173 SF	Single Family Residential
5	5,089 SF	Single Family Residential
6	4,904 SF	Single Family Residential
7	4,416 SF	Single Family Residential
8	4,267 SF	Single Family Residential
9	4,120 SF	Single Family Residential
10	4,296 SF	Single Family Residential
11	4,896 SF	Single Family Residential
12	5,009 SF	Single Family Residential
13	4,761 SF	Single Family Residential
14	5,274 SF	Single Family Residential
15	5,274 SF	Single Family Residential
16	5,284 SF	Single Family Residential
17	4,432 SF	Single Family Residential
18	4,579 SF	Single Family Residential
19	5,799 SF	Single Family Residential
20	4,714 SF	Single Family Residential
21	4,577 SF	Single Family Residential
22	4,622 SF	Single Family Residential
23	4,451 SF	Single Family Residential
24	4,599 SF	Single Family Residential
25	4,731 SF	Single Family Residential
26	4,827 SF	Single Family Residential
27	4,886 SF	Single Family Residential
28	4,750 SF	Single Family Residential
29	7,181 SF	Single Family Residential
30	7,181 SF	Single Family Residential
31	5,425 SF	Single Family Residential
32	4,050 SF	Single Family Residential
33	4,050 SF	Single Family Residential
34	4,050 SF	Single Family Residential
35	4,052 SF	Single Family Residential
36	4,051 SF	Single Family Residential
37	4,078 SF	Single Family Residential
38	5,309 SF	Single Family Residential
39	5,596 SF	Single Family Residential
40	6,297 SF	Single Family Residential

Module Size Table		
Module #	Area	DESCRIPTION
41	5,741 SF	Single Family Residential
42	6,031 SF	Single Family Residential
43	5,184 SF	Single Family Residential
44	4,617 SF	Single Family Residential
45	4,083 SF	Single Family Residential
46	4,050 SF	Single Family Residential
47	4,050 SF	Single Family Residential
48	4,050 SF	Single Family Residential
49	4,050 SF	Single Family Residential
50	4,554 SF	Single Family Residential
51	4,493 SF	Single Family Residential
52	4,436 SF	Single Family Residential
53	4,463 SF	Single Family Residential
54	4,348 SF	Single Family Residential
55	4,339 SF	Single Family Residential
56	4,178 SF	Single Family Residential
57	4,716 SF	Single Family Residential
58	4,250 SF	Single Family Residential
59	4,330 SF	Single Family Residential
60	4,889 SF	Single Family Residential
61	4,599 SF	Single Family Residential
62	5,231 SF	Single Family Residential
63	4,487 SF	Single Family Residential
64	4,569 SF	Single Family Residential
65	4,486 SF	Single Family Residential
66	4,553 SF	Single Family Residential
HOA-A	9,533 SF	COMMON USE LOT
HOA-B	2,087 SF	COMMON USE LOT
HOA-C	24,459 SF	COMMON USE LOT
HOA	4.30 AC	COMMON USE LOT

LOT 2 MODULE DATA

Module Size Table		
Module #	Area	DESCRIPTION
132	2,965 SF	Motor Court Residential
133	2,964 SF	Motor Court Residential
134	3,425 SF	Motor Court Residential
135	3,029 SF	Motor Court Residential
136	2,855 SF	Motor Court Residential
137	2,854 SF	Motor Court Residential
138	3,023 SF	Motor Court Residential
139	3,352 SF	Motor Court Residential
140	2,964 SF	Motor Court Residential
141	3,484 SF	Motor Court Residential
142	3,036 SF	Motor Court Residential
143	2,856 SF	Motor Court Residential
144	2,856 SF	Motor Court Residential
145	3,030 SF	Motor Court Residential
146	3,425 SF	Motor Court Residential
147	2,964 SF	Motor Court Residential
148	2,964 SF	Motor Court Residential
149	3,424 SF	Motor Court Residential
150	3,030 SF	Motor Court Residential
151	2,856 SF	Motor Court Residential
152	2,856 SF	Motor Court Residential
153	3,227 SF	Motor Court Residential
154	3,522 SF	Motor Court Residential
155	2,964 SF	Motor Court Residential
156	3,322 SF	Motor Court Residential
157	2,972 SF	Motor Court Residential
158	2,856 SF	Motor Court Residential
159	2,856 SF	Motor Court Residential
160	2,908 SF	Motor Court Residential
161	3,401 SF	Motor Court Residential
162	2,964 SF	Motor Court Residential
163	2,964 SF	Motor Court Residential
164	2,964 SF	Motor Court Residential
165	3,443 SF	Motor Court Residential
166	2,896 SF	Motor Court Residential
167	2,800 SF	Motor Court Residential
168	2,800 SF	Motor Court Residential
169	2,800 SF	Motor Court Residential
170	3,625 SF	Motor Court Residential
171	3,656 SF	Motor Court Residential
172	2,964 SF	Motor Court Residential
173	2,964 SF	Motor Court Residential
174	2,964 SF	Motor Court Residential
175	3,844 SF	Motor Court Residential
176	3,570 SF	Motor Court Residential
177	2,856 SF	Motor Court Residential
178	2,856 SF	Motor Court Residential

Module Size Table		
Module #	Area	DESCRIPTION
179	3,030 SF	Motor Court Residential
180	3,242 SF	Motor Court Residential
181	2,964 SF	Motor Court Residential
182	3,001 SF	Motor Court Residential
183	3,813 SF	Motor Court Residential
184	3,124 SF	Motor Court Residential
185	2,856 SF	Motor Court Residential
186	3,512 SF	Motor Court Residential
187	4,102 SF	Motor Court Residential
188	2,924 SF	Motor Court Residential
189	2,964 SF	Motor Court Residential
190	3,424 SF	Motor Court Residential
191	4,019 SF	Motor Court Residential
192	3,725 SF	Motor Court Residential
193	3,729 SF	Motor Court Residential
194	3,997 SF	Motor Court Residential
195	3,565 SF	Motor Court Residential
196	2,964 SF	Motor Court Residential
197	2,964 SF	Motor Court Residential
198	3,565 SF	Motor Court Residential
199	4,031 SF	Motor Court Residential
200	3,790 SF	Motor Court Residential
201	3,738 SF	Motor Court Residential
202	4,100 SF	Motor Court Residential
203	3,689 SF	Motor Court Residential
204	2,964 SF	Motor Court Residential
205	2,964 SF	Motor Court Residential
206	3,689 SF	Motor Court Residential
207	4,038 SF	Motor Court Residential
208	3,552 SF	Motor Court Residential
209	3,470 SF	Motor Court Residential
210	4,028 SF	Motor Court Residential
211	3,746 SF	Motor Court Residential
212	2,962 SF	Motor Court Residential
213	2,964 SF	Motor Court Residential
214	3,745 SF	Motor Court Residential
215	4,081 SF	Motor Court Residential
216	3,503 SF	Motor Court Residential
217	3,443 SF	Motor Court Residential
218	3,437 SF	Motor Court Residential
219	3,424 SF	Motor Court Residential
220	2,964 SF	Motor Court Residential
HOA-D	31,234 SF	COMMON USE LOT
HOA-E	6,421 SF	COMMON USE LOT
HOA	2.82 AC	COMMON USE LOT

LOT 3 MODULE DATA

Module Size Table		
Module #	Area	DESCRIPTION
67	7,268 SF	Single Family Residential
68	4,944 SF	Single Family Residential
69	4,445 SF	Single Family Residential
70	4,442 SF	Single Family Residential
71	4,438 SF	Single Family Residential
72	4,435 SF	Single Family Residential
73	4,431 SF	Single Family Residential
74	4,428 SF	Single Family Residential
75	4,424 SF	Single Family Residential
76	4,403 SF	Single Family Residential
77	4,380 SF	Single Family Residential
78	4,265 SF	Single Family Residential
79	4,682 SF	Single Family Residential
80	5,572 SF	Single Family Residential
81	4,545 SF	Single Family Residential
82	4,545 SF	Single Family Residential
83	4,545 SF	Single Family Residential
84	4,908 SF	Single Family Residential
85	6,946 SF	Single Family Residential
86	5,341 SF	Single Family Residential
87	5,121 SF	Single Family Residential
88	4,646 SF	Single Family Residential
89	4,648 SF	Single Family Residential
90	4,679 SF	Single Family Residential
91	4,703 SF	Single Family Residential
92	4,696 SF	Single Family Residential
93	4,669 SF	Single Family Residential
94	5,074 SF	Single Family Residential
95	4,662 SF	Single Family Residential
96	4,665 SF	Single Family Residential
97	4,670 SF	Single Family Residential
98	4,677 SF	Single Family Residential
99	4,686 SF	Single Family Residential
100	4,656 SF	Single Family Residential
101	6,379 SF	Single Family Residential
102	8,041 SF	Single Family Residential
103	4,553 SF	Single Family Residential
104	4,706 SF	Single Family Residential
105	4,770 SF	Single Family Residential
106	4,784 SF	Single Family Residential

Module Size Table		
Module #	Area	DESCRIPTION
107	6,135 SF	Single Family Residential
108	5,095 SF	Single Family Residential
109	4,173 SF	Single Family Residential
110	4,583 SF	Single Family Residential
111	4,068 SF	Single Family Residential
112	4,050 SF	Single Family Residential
113	4,050 SF	Single Family Residential
114	4,050 SF	Single Family Residential
115	4,050 SF	Single Family Residential
116	4,050 SF	Single Family Residential
117	4,050 SF	Single Family Residential
118	4,050 SF	Single Family Residential
119	4,528 SF	Single Family Residential
120	4,356 SF	Single Family Residential
121	4,210 SF	Single Family Residential
122	4,774 SF	Single Family Residential
123	4,192 SF	Single Family Residential
124	4,993 SF	Single Family Residential
125	5,003 SF	Single Family Residential
126	4,942 SF	Single Family Residential
127	4,808 SF	Single Family Residential
128	4,632 SF	Single Family Residential
129	4,481 SF	Single Family Residential
130	4,362 SF	Single Family Residential
131	4,421 SF	Single Family Residential
HOA	7.96 AC	COMMON USE LOT



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Civil Engineering - Environmental
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(619)232-9200 (619)232-9210 Fax

HOWARD
Associates

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2442 Second Avenue,
San Diego, CA 92108
Phone: 619.718.9660

H.G. Fenton Company

SAVE DATE: 1/11/2018 ~ PLOT DATE: 1/11/2018 ~ FILE NAME: P:\Acad\1099 - University Park\Survey\Site Plan\Site Plan.dwg

January 11, 2018

CITY OF SAN MARCOS		SHEET 6 OF 29 SHEETS
SITE DEVELOPMENT PLAN (SDP 17-006)		
APPLICANT: H.G. FENTON COMPANY		PHONE: 619-400-0120
ADDRESS: 7577 MISSION VALLEY ROAD, SAN DIEGO, CALIFORNIA 92108		
ARCHITECT: ENGINEER		
DESIGNER: REC CONSULTANTS, INC.		PHONE: 619-232-9200
ADDRESS: 2442 SECOND AVE, SAN DIEGO CA 92101		LOCATION: SOUTH EAST OF CRAVEN ROAD AND DISCOVERY STREET
TYPE OF DEVELOPMENT: RESIDENTIAL		
ZONE: SP		ASSESSOR'S PARCEL NUMBER(S): (SEE NOTES, SHEET 1)

CITY OF SAN MARCOS ~ LANDSCAPE CONCEPT PLAN
DISCOVERY VILLAGE ~ SOUTH PAD

AUGUST 08, 2017

CITY SHALL MAINTAIN ALL SLOPES ALONG
DISCOVERY STREET (TYP)

TREE LINED PASEO ENTRY

PRIVATE TRAIL CONNECTION TO DISCOVERY STREET

STREETSCAPE OPEN SPACE #4
- 4,430 SQFT
- TOT-LOT PLAY AREA
- SHADE TRELLIS WITH BENCH SEATING
- PICNIC TABLE

ACTIVE OPEN SPACE 'E' - 7,037 SQFT
- PREFERRED LOCATION FOR FOG PARK
- MATURE TREES
FENCED AREA (FENCING AROUND DOG PARK
SHALL PROVIDE BLACK VINYL COATING/FINISH
- FURNITURE TYPE: BENCHES, TRASH RECEPTACLES,
DOG WASTE STATION.

PARALLEL PARKING (TYP.)
CONCRETE SIDEWALK (TYP.)

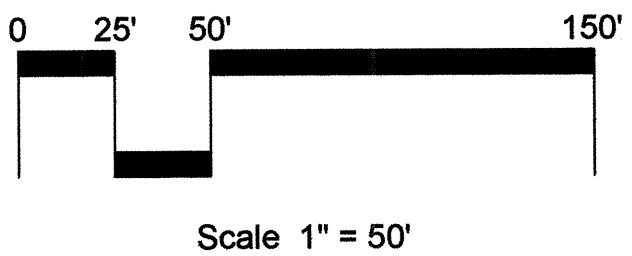
CEREMONIAL ENTRY OPEN SPACE 'D' - 39,201 SQFT
- PRIMARY FORMAL OPEN SPACE OF THE COMMUNITY AND PART OF THE
"VILLAGE GATEWAY" EXPERIENCE.
- PLAZA CHARACTER WITH SHADED STRUCTURE AND MATURE TREE CANOPY
- ACTIVE OPEN SPACE SUITABLE FOR COMMUNITY GATHERING AND PLAY AREA
- PREFERRED LOCATION FOR COMMUNITY RECREATION FACILITIES:
CLUB HOUSE, GROUP ACTIVITIES ROOM, OPEN LAWN PLAY AREA, TOT-LOT.
- ART OPPORTUNITIES
- FURNITURE TYPE: LARGE SHADE TRELLIS WITH GROUP SEATING, PICNIC
TABLES AND PARK BBQ GRILL, TRASH RECEPTACLES AND DOG WASTE STATION

PRIVACY FENCING

STREETSCAPE OPEN SPACE #3
4,086 SQFT
- PASSIVE LAWN PLAY AREA
- SHADED SEAT WALLS

SEE SHEET 9 FOR PLANT LEGEND

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Associates
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San Diego, CA 92108
Phone: 619.718.9660



H.G. Fenton Company

CITY OF SAN MARCOS		8 OF 9 SHEETS
LANDSCAPE CONCEPT PLAN		
APPLICANT: H.G. FENTON COMPANY	PHONE: 619-400-0120	
ADDRESS: 7577 MISSION VALLEY ROAD, SAN DIEGO, CALIFORNIA 92108		
LANDSCAPE ARCHITECT:		
DESIGNER: HOWARD ASSOCIATES INC.	PHONE: 619-718-9660	
ADDRESS: 2442 SECOND AVE, SAN DIEGO CA 92101	LOCATION: SOUTH EAST OF CRAVEN ROAD	
TYPE OF DEVELOPMENT: RESIDENTIAL CONDOMINIUMS	AND DISCOVERY STREET	
ZONE: DISCOVERY VILLAGE SOUTH		

CITY OF SAN MARCOS ~ LANDSCAPE CONCEPT PLAN
DISCOVERY VILLAGE ~ SOUTH PAD

AUGUST 08, 2017

PASSIVE OPEN SPACE 'A' - 12,946 SQFT

- INTIMATE AND QUIET SPACE FOR PASSIVE PLAY
- NATURAL LANDSCAPE CHARACTER
- PREFERRED LOCATION FOR COMMUNITY FLOWER / VEGETABLE GARDEN CITRUS GROVE BUTTERFLY AND HUMMINGBIRD GARDEN
- ART OPPORTUNITIES
- FURNITURE TYPE: TRELLIS AND SHADED BENCHES, INDIVIDUAL CHAIRS, PICNIC TABLE, PARK BBQ GRILLS, TRASH RECEPTACLES & DOG WASTE STATION

RECREATION AREA 'B' AND 'C' - 83,970 SQFT

- PRIMARY OPEN SPACE OF THE COMMUNITY
- PROVIDES VIEW CORRIDOR TOWARDS THE CREEK AND HILLS AND ECHOES CREEK LANDSCAPE
- INTEGRATES STORM WATER FACILITIES AND RETENTION BASIN
- PRIMARILY PASSIVE OPEN SPACE WITH NATURE TRAILS
- ALLOWS SMALL SCALE PLAY AREA, YOGA AND MEDITATION LAWN
- FURNITURE TYPE: BENCHES, TRELLIS SHADED BENCHES, PICNIC TABLES INDIVIDUAL CHAIRS, BBQ GRILLS, TRASH RECEPTACLES, DOG WASTE STATION.

STREETCAPE OPEN SPACE 1 AND 2

- 12,325 SQFT TOTAL
- PLAY AREAS WITH TOT-LOT
- SHADED SEAT WALLS
- OPEN PLAY LAWN
- WALKING PATHS

H.G. Fenton Company

CITY SHALL MAINTAIN ALL SLOPES ALONG
DISCOVERY STREET (TYP)

OPEN SPACE TREE

INTERIOR STREET TREE

ENHANCED CONCRETE AT
INTERSECTIONS AND CROSSINGS

'LOOP ROAD' PASEO TREES

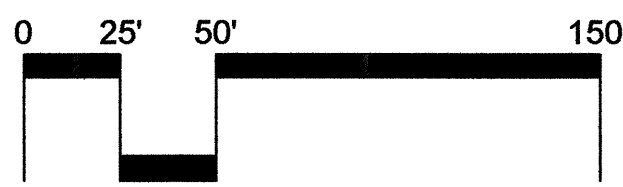
ACCENT TREE

COURTYARD ENTRY

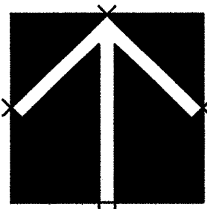
SEE SHEET 9 FOR PLANT LEGEND

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Associates

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Phone: 619.718.9660



Scale 1" = 50'



North
1" = 50'

CITY OF SAN MARCOS

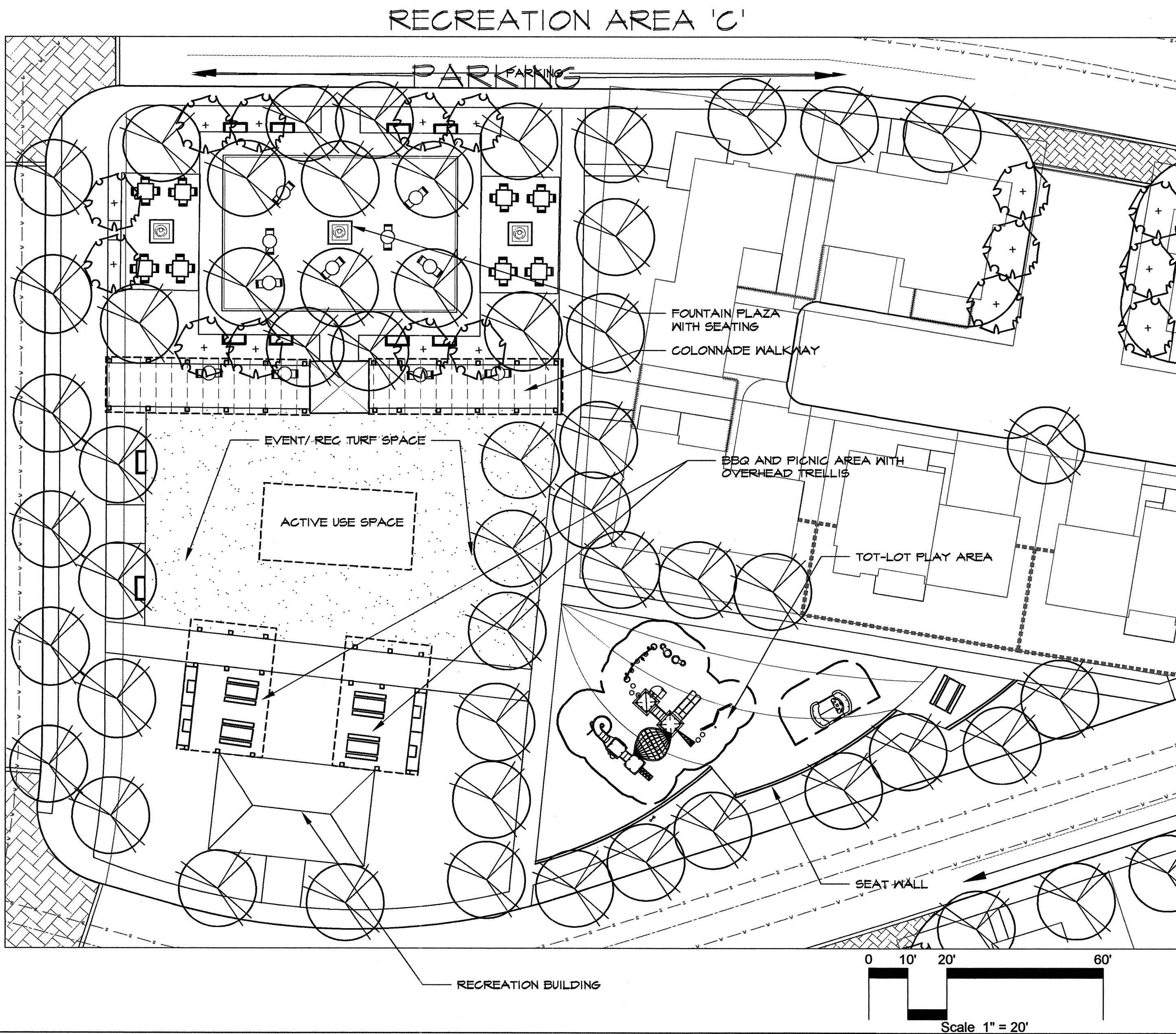
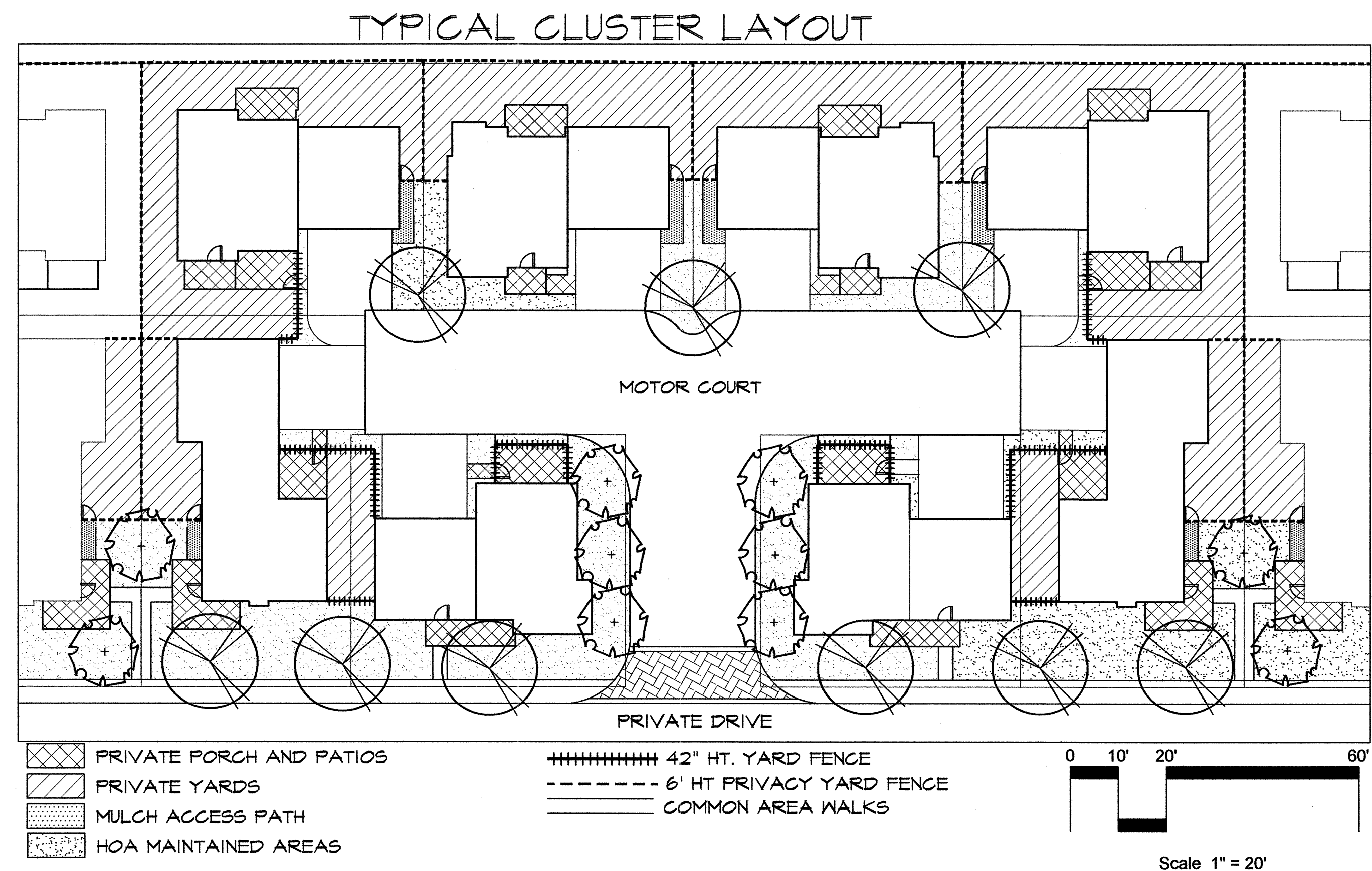
7 OF 9 SHEETS

LANDSCAPE CONCEPT PLAN		PHONE: 619-400-0120	
APPLICANT: H.G. FENTON COMPANY		ADDRESS: 7577 MISSION VALLEY ROAD, SAN DIEGO, CALIFORNIA 92108	
DESIGNER: HOWARD ASSOCIATES INC.		PHONE: 619-718-9660	
ADDRESS: 2442 SECOND AVE., SAN DIEGO CA 92101		LOCATION: SOUTH EAST OF CRAVEN ROAD AND DISCOVERY STREET	
TYPE OF DEVELOPMENT: RESIDENTIAL CONDOMINIUMS		ZONE: DISCOVERY VILLAGE SOUTH	

CITY OF SAN MARCOS ~ LANDSCAPE CONCEPT PLAN
DISCOVERY VILLAGE ~ SOUTH PAD

AUGUST 08, 2017

PLANT LEGEND



SYMBOL	BOTANICAL NAME	COMMON NAME	WxH	MUCOLS	BOTANICAL NAME	COMMON NAME	MUCOLS	
	STREET AND PASEO TREES (24" BOX)				ACCENT SHRUBS: (1GAL -5 GAL)			
	LOPHSTEMON CONFERTUS	BRISBANE BOX	8'X2'	M	AGAVE ATTENUATA	AGAVE	L	
	ULMUS PARVIFOLIA	CHINESE ELM	8'X3'	M	BOUGAINVILLEA ROSENKA	BOUGAINVILLEA	L	
	ARBUTUS MARINA	ARBUTUS	6'X2'	M	ALOE STRIATA	ALOE	L	
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	7'X2'	L	AGAVE 'BLUE GLOW'	AGAVE	L	
	INTERIOR COMMON AREA TREES (24" BOX)				BULBINE 'HALLMARK'	HALLMARK BULBINE	L	
	KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	8'X3'	L	KALANCHOE LUCIAE	PADDLE PLANT	L	
	MAGNOLIA GRANDIFOLIA	MAGNOLIA	8'X2'	M	EURYOPS VERDIS	SHRUB DAISY	L	
	GEIJERA PARVIFLORA	AUS. WILLOW	6'X2'	L	CHRONDROPETALUM TECTORUM	CAPE RUSH	L	
	CHITALPA TASHKENTENSIS	N.C.N.	6'X2'	L	ORNAMENTAL GROUNDCOVERS: (FLATS @ 18" O.C.)			
	LARGE OPEN SPACE TREES (24" BOX)				TRCHELOSPERMUM ASIATICUM	ASCUAB JASMINE	M	
	PINUS TORREYANA	TORREY FINE	6'X2'	L	GAZANIA 'TRAILING YELLOW'	TRAILING GAZANIA	L	
	QUERCUS AGRIFOLIA	COAST LIVE OAK	6'X2'	L	LANTANA MONTEVIDENSIS	TRAILING LANTANA	L	
	PLATANUS MAXICANA (MULTI)	MEXICAN SYCAMORE	7'X4'	M	SENECIO MANDRALISCAE	BLUE CHALK STICKS	L	
					MARATHON TURF II	SOD	H	
	OPEN SPACE ACCENT TREES (15 GAL)				SLOPE PLANTING			
	CERCIS OCCIDENTALIS	WESTERN REDBUD	5'X18"	M	SLOPE SHRUBS: (1GAL -5 GAL)			
	LAGERSTROEMIA I. NATCHEZ	GRAPE MYRTLE	6'X18"	M	ERIGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	L	
	PISTACHE CHINENSIS	CHINESE PISTACHE	5'X18"	M	MYRICA CALIFORNICA	CALIFORNIA WAX MYRTLE	L	
	PARKINSONIA ACULATA	PARKINSONIA	6'X18"	L	RHAMNUS CALIFORNICA	COFFEEBERRY	L	
	SLOPE TREES (15 GAL)				RHUS OVATA	SUGAR BUSH	L	
	PINUS TORREYANA	TORREY PINE	5'X18"	L	SALVIA CLEVELANDII	CLEVELAND SAGE	L	
	QUERCUS AGRIFOLIA	COAST LIVE OAK	6'X18"	L	ARCTOSTAPHYLOS 'HOWARD MCMINN'	MCMINN MANZANITA	L	
	RHUS LANCEA (MULTI)	AFRICAN SUMAC	4'X2'	L	CEANOTHUS GRISEUS	WILD LILAC	L	
	ACACIA SMALLII	SWEET ACACIA	5'X2'	L	ENCELIA CALIFORNICA	CALIFORNIA ENCELIA	L	
SHRUBS AND GROUNDCOVERS					HETEROMELES ARBUTIFOLIA	TOYON	L	
SCREENING SHRUBS: (1GAL -5 GAL)					SLOPE GROUND COVER- (FLATS @ 12" O.C.)			
TECOMA STANS	YELLOW BELLS	L	ARCTOSTAPHYLOS 'HOWARD MCMINN'	MCMINN MANZANITA	L	BACCHARIS 'PIGEON POINT'	DWARF COYOTE BRUSH	L
CAESALPINIA GILLIESII	YELLOW BIRD OF PARADISE	L	BACCHARIS 'PIGEON POINT'	DWARF COYOTE BRUSH	L	ROSMARINUS PROSTRATUS	ROSEMARY	L
ARCTOSTAPHYLOS 'DR. HURD'	MANZANITA	L	ROSMARINUS PROSTRATUS	ROSEMARY	L	BIO-RETENTION BASIN - (PLUGS @12" O.C.)		
DODONEA PURPUREA	HOP BUSH	L	FOUNDATION/MASSING SHRUBS: (1GAL -5 GAL)					
ALYOGYNE HUEGELII	BLUE HIBISCUS	L	CEANOTHUS 'JOYCE COULTER'	CEANOTHUS	L	PRAEGRACILIS	CALIFORNIA FIELD SEDGE	L
BOUGAINVILLEA 'TORCH GLOW'	TORCH GLOW BOUG.	L	SALVIA M. 'HOT LIPS'	SAGE	L	JUNCUS PATENS	CALIFORNIA GRAY RUSH	M
SALVIA LEUCANTHA	MEXICAN SAGE	L	SALVIA W. GILMAN	SAGE	L	MUHLBERGIA RIGENS	DEER GRASS	L
					CISTUS SUNSET	POVERTY WEED	L	
					DIETES VEGETA	YARROW	L	
					MUHLBERGIA CAPILLARIS			
					PENNISETUM S. RUBRUM			
					CALLISTEMON 'BETTER JOHN'			
					WESTRINGIA FRUTICOSA 'MORNING LIGHT'			
					COASTAL ROSEMARY			
					CEANOTHUS GRISEUS			
					WILD LILAC			
					CLEVELAND SAGE			
					LANTANA			
					TEXAS RANGER			
					LEUCOPHYLLUM F. 'GREEN MOUND'			

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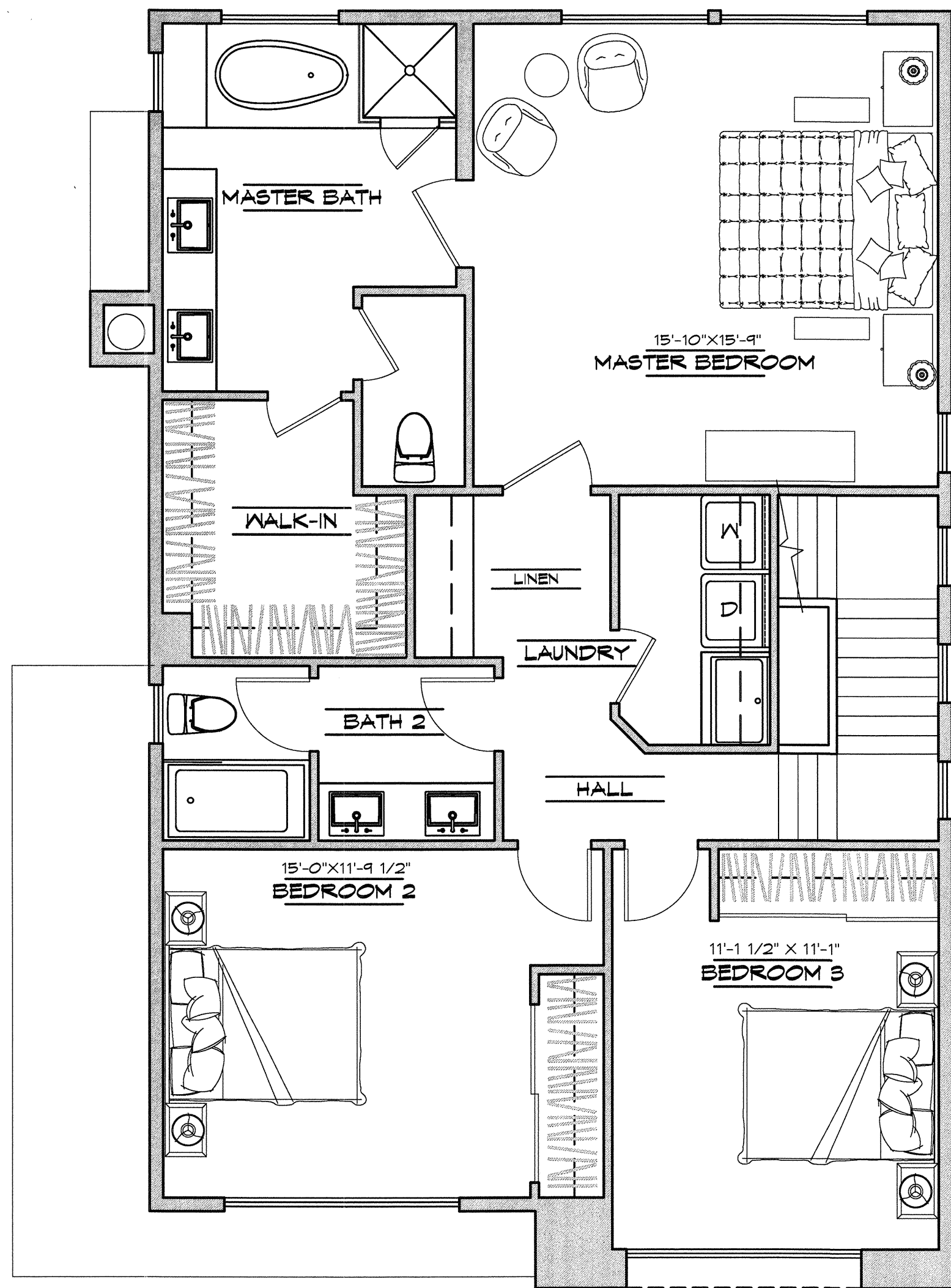
HOWARD

- ALL TREES SHALL BE PER THE APPROVED TREE LISTS ON THE CITY OF SAN MARCOS WEBSITE.
- ALL LANDSCAPE SHALL BE INSTALLED PER THE CITY OF SAN MARCOS LANDSCAPE STANDARDS.
- ALL LANDSCAPE AND IRRIGATION SHALL COMPLY WITH THE CITY OF SAN MARCOS WATER EFFICIENCY LANDSCAPE ORDINANCE.

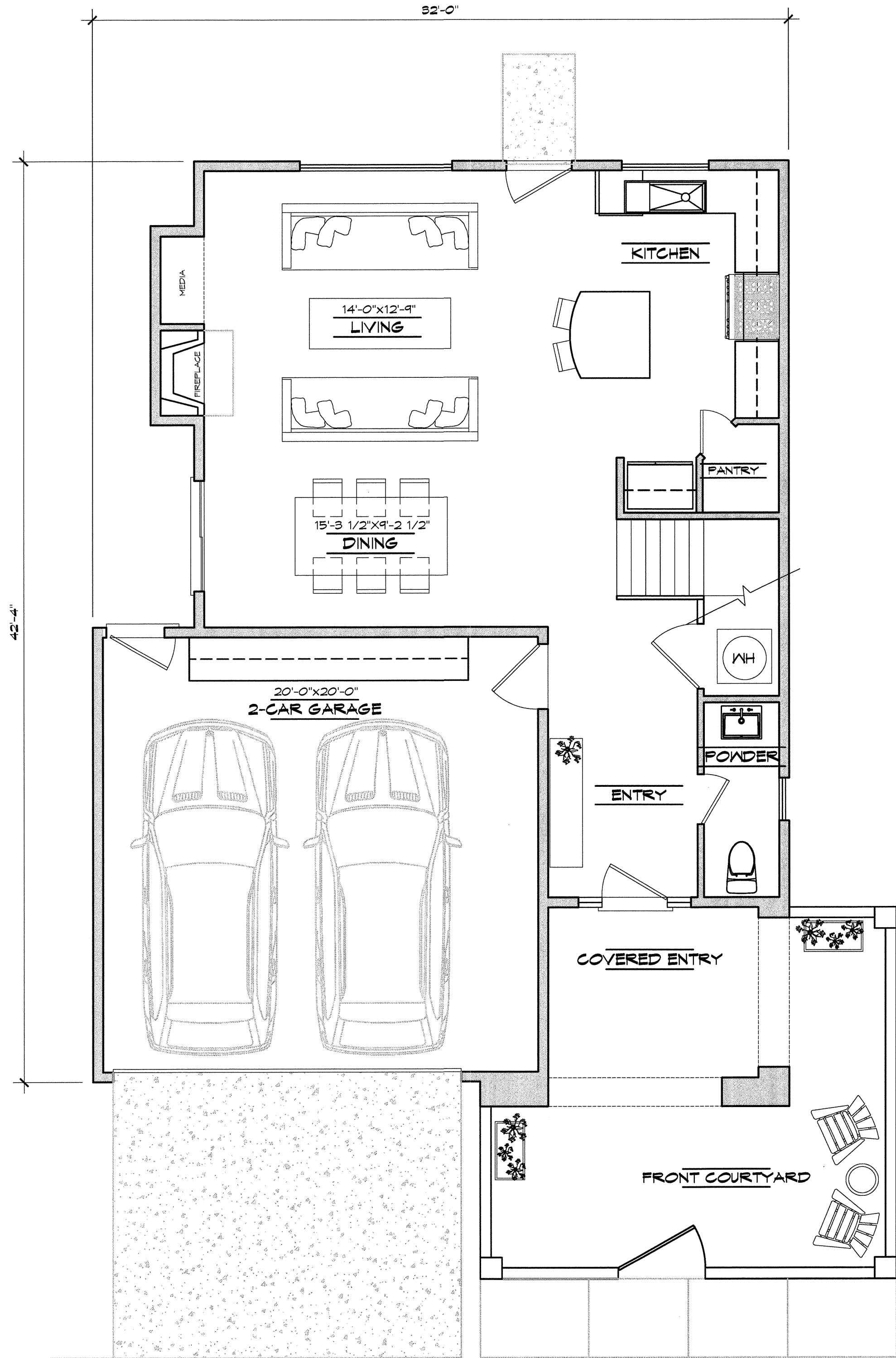
ria 2681
HOWARD Associates
Landscape Architecture
2442 Second Avenue,
San Diego, CA 92108
Phone: 619.718.9660

H.G. Fenton Company

CONCEPTUAL PLANT LEGEND		CITY OF SAN MARCOS		9 OF 9 SHEETS
APPLICANT: H.G. FENTON COMPANY		PHONE: 619-400-0120		
ADDRESS: 7577 MISSION VALLEY ROAD, SAN DIEGO, CALIFORNIA 92108				
LANDSCAPE ARCHITECT:				
DESIGNER: HOWARD ASSOCIATES INC.		PHONE: 619-718-9660		
ADDRESS: 2442 SECOND AVE, SAN DIEGO CA 92101		LOCATION: SOUTH EAST OF CRAVEN ROAD		
TYPE OF DEVELOPMENT: RESIDENTIAL CONDOMINIUMS		AND DISCOVERY STREET		
ZONE: DISCOVERY VILLAGE SOUTH				



2 PLAN #1 - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN #1 - FIRST FLOOR PLAN
1/4" = 1'-0"

project title

PLANNING AREA 1 - BLDG TYPE A - FLOOR PLAN 1

community.
981 ISLAND AVENUE #10
SAN DIEGO, CA 92101
619-944-1174
info@com-collective.com
(ke-my-ú-ne-té)

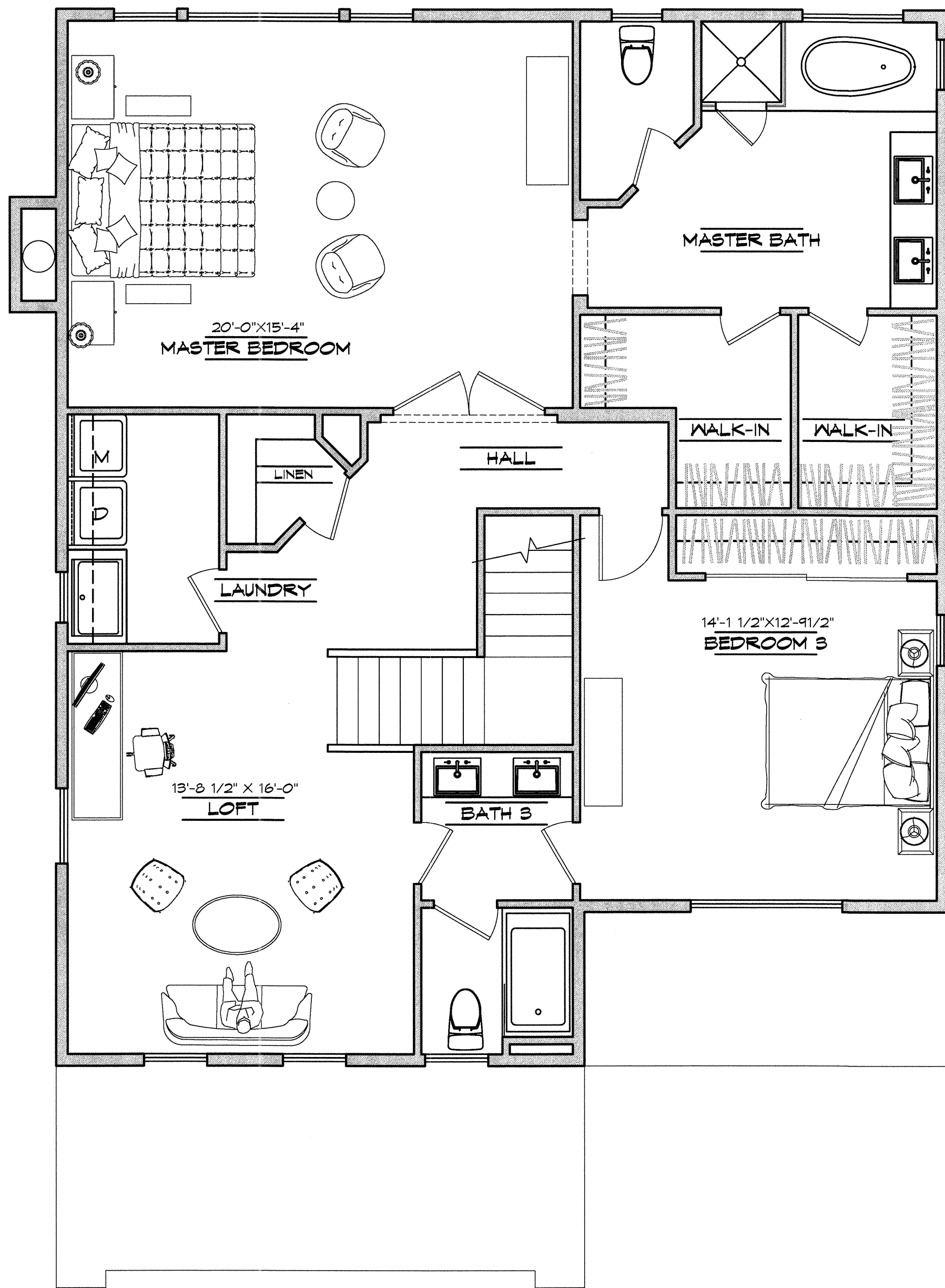
job no.
00DV

date
08/14/2017
CLIENT REVIEW

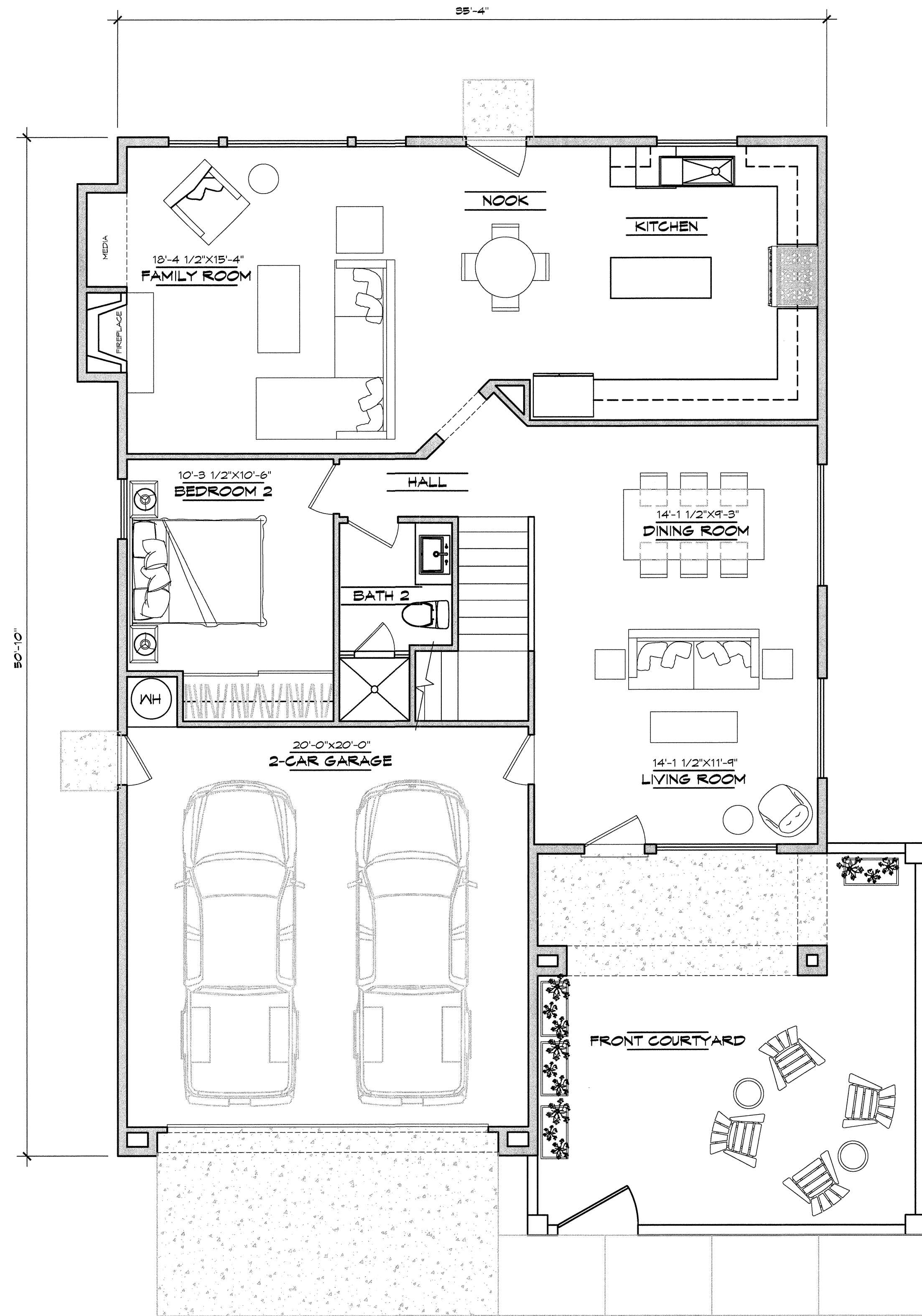
sheet 10 of 29

A1.1

DISCOVERY VILLAGE



2 PLAN #2 - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN #2 - FIRST FLOOR PLAN
1/4" = 1'-0"

project title

PLANNING AREA 1 - BLDG TYPE A - FLOOR PLAN 2

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info@com-collective.com
(k e - m y ü - n e - t e)
6 1 9 - 9 4 4 - 1 1 7 4
SAN DIEGO, CA 92101
981 ISLAND AVENUE #10

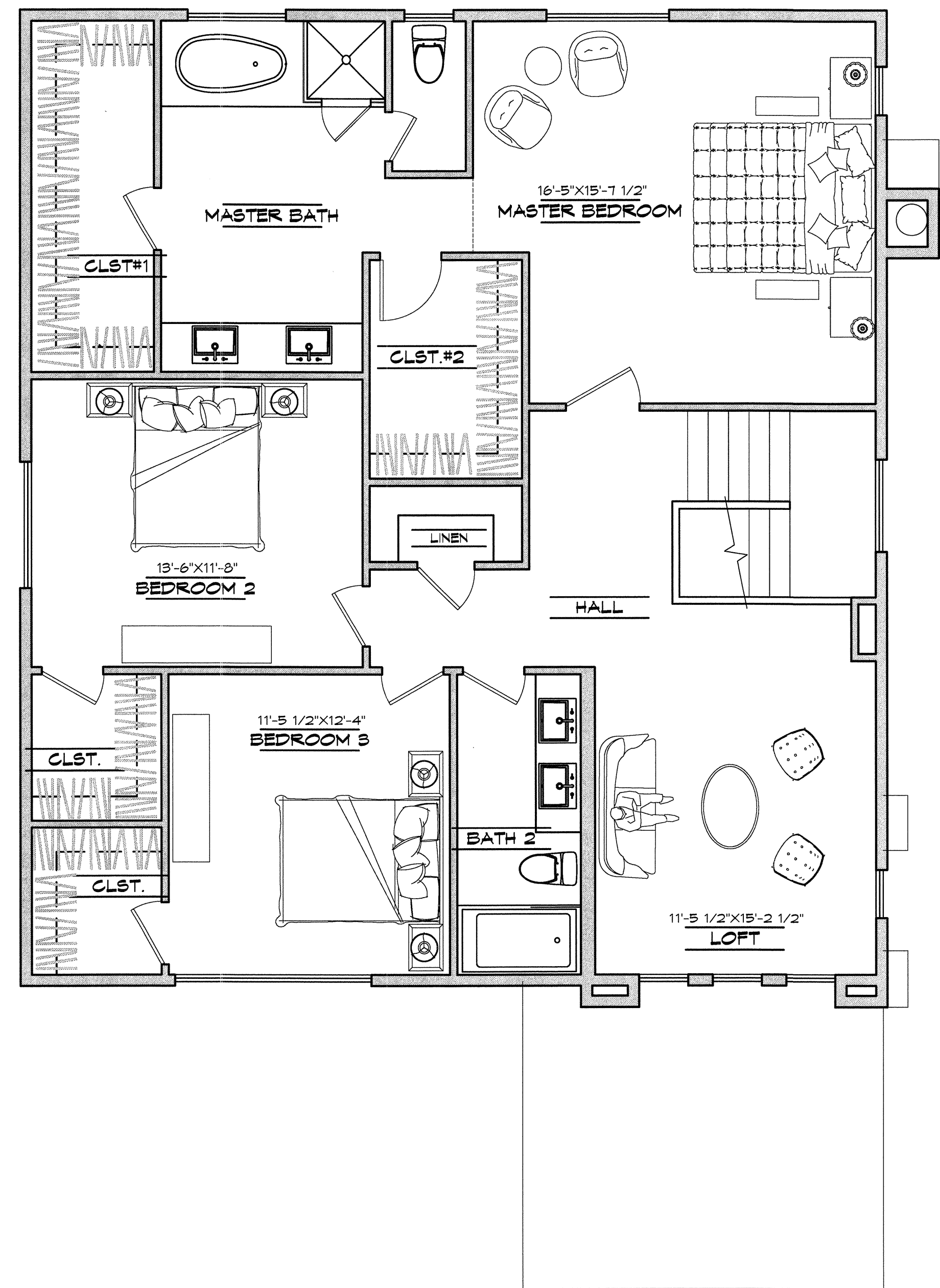
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09/14/2017
CLIENT REVIEW

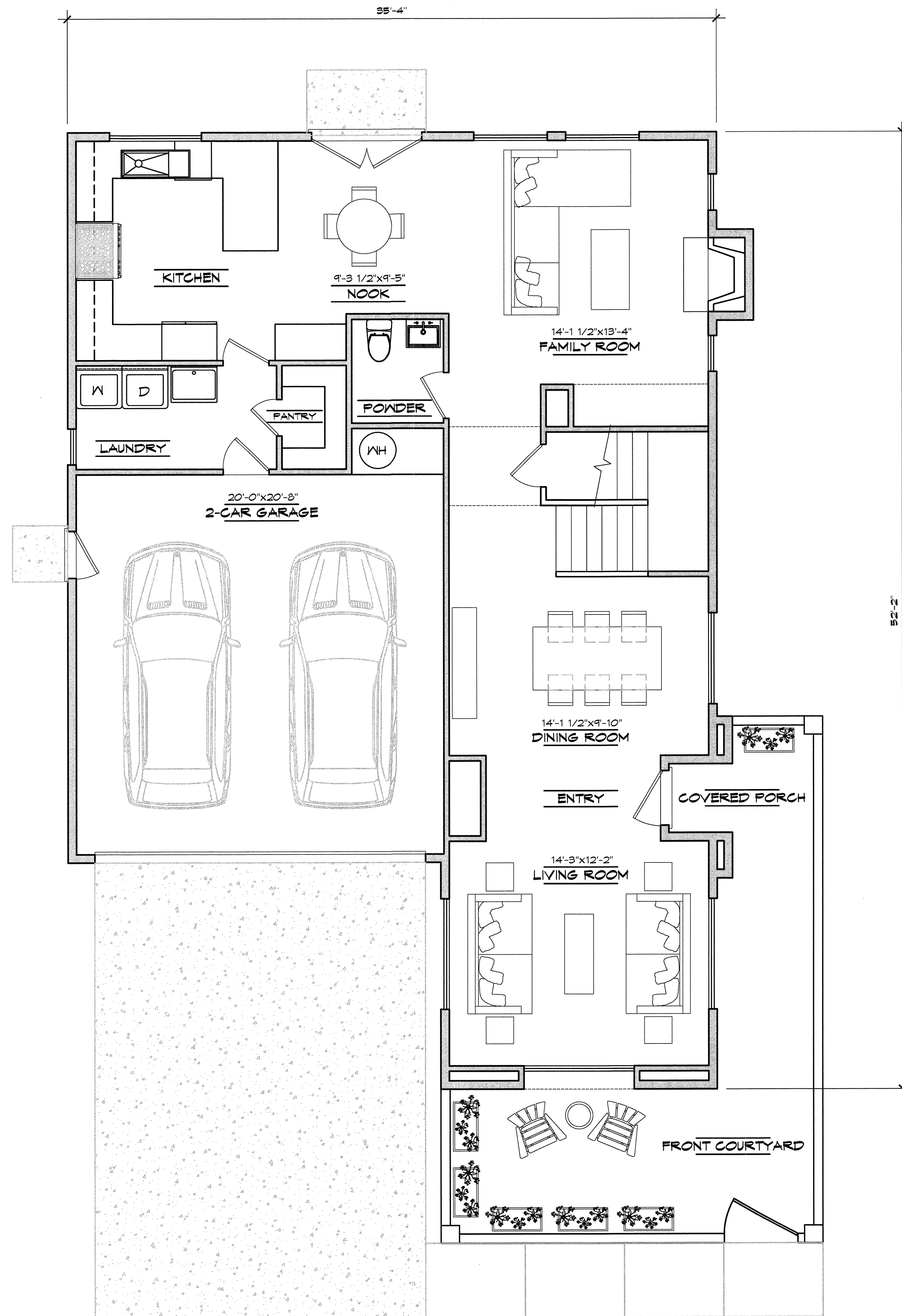
sheet 11 of 29

A1.2

DISCOVERY VILLAGE



2 PLAN #3 - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN #3 - FIRST FLOOR PLAN
1/4" = 1'-0"

project title

PLANNING AREA 1 - BLDG TYPE A - FLOOR PLAN 3

981 ISLAND AVENUE #10
SAN DIEGO, CA 92101
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(ke-my-ü-ne-të)

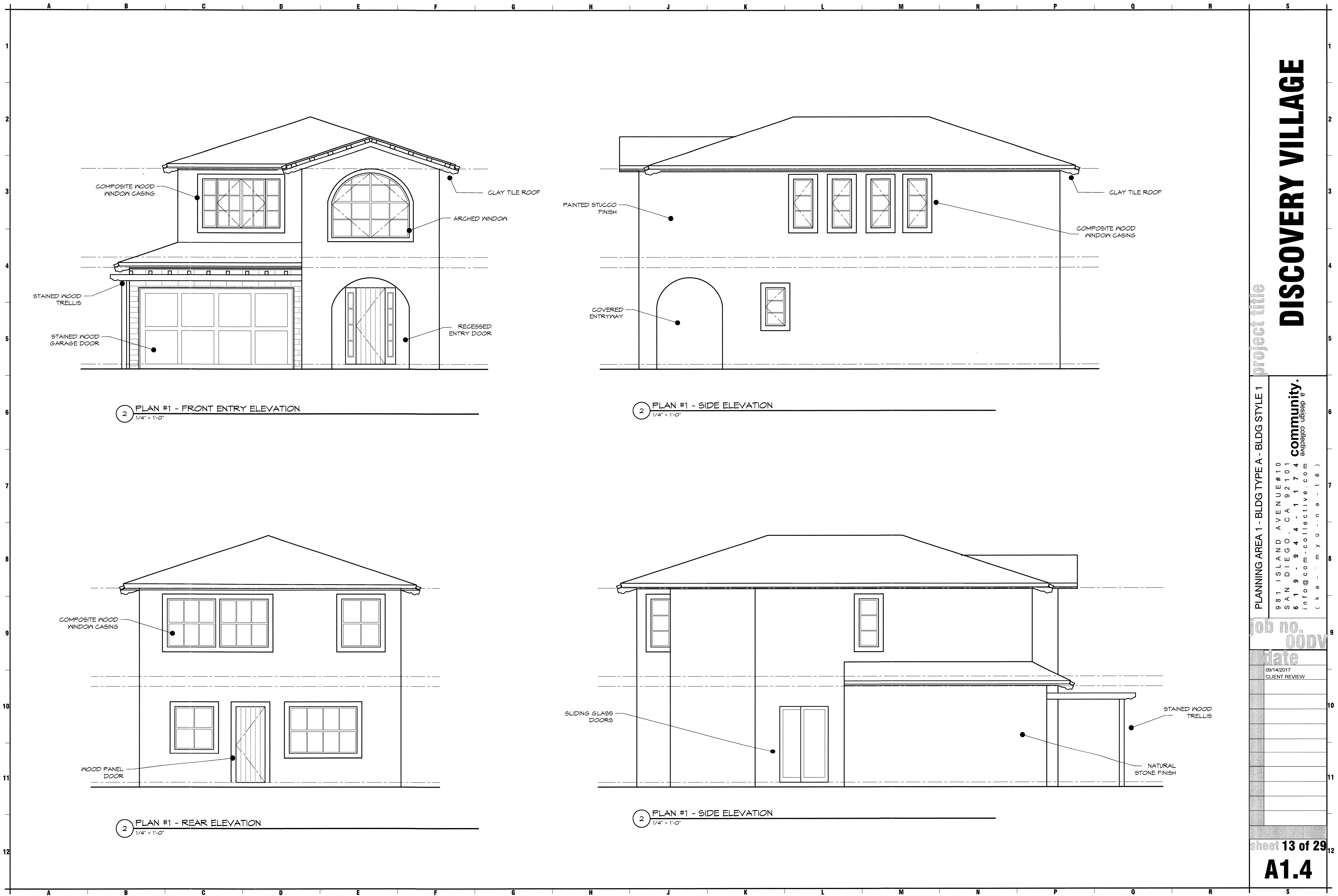
Job no. 000V
date

09/14/2017
CLIENT REVIEW

sheet 12 of 29

A1.3

DISCOVERY VILLAGE



project title

DISCOVERY VILLAGE

PLANNING AREA 1 - BLDG TYPE A - BLDG STYLE 1

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Job no. 000V

date 09/14/2017
CLIENT REVIEW



project title

DISCOVERY VILLAGE

PLANNING AREA 1 - BLDG TYPE A - BLDG STYLE 2

community.
9811 ISLAND AVENUE #10
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job no. 00DV

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DISCOVERY VILLAGE

PLANNING AREA 1 - BLDG TYPE A - BLDG STYLE 3

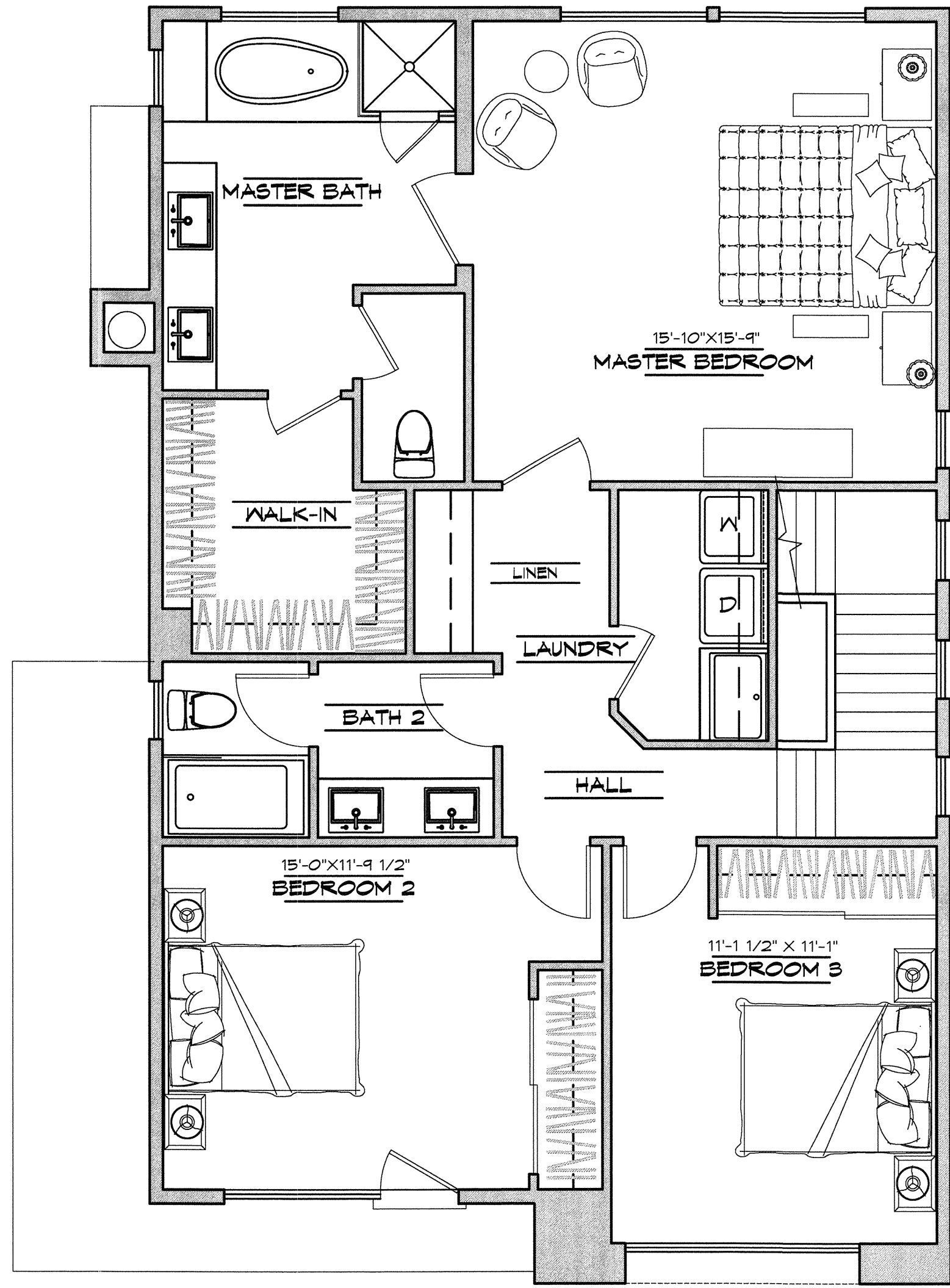
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date 08/14/2017
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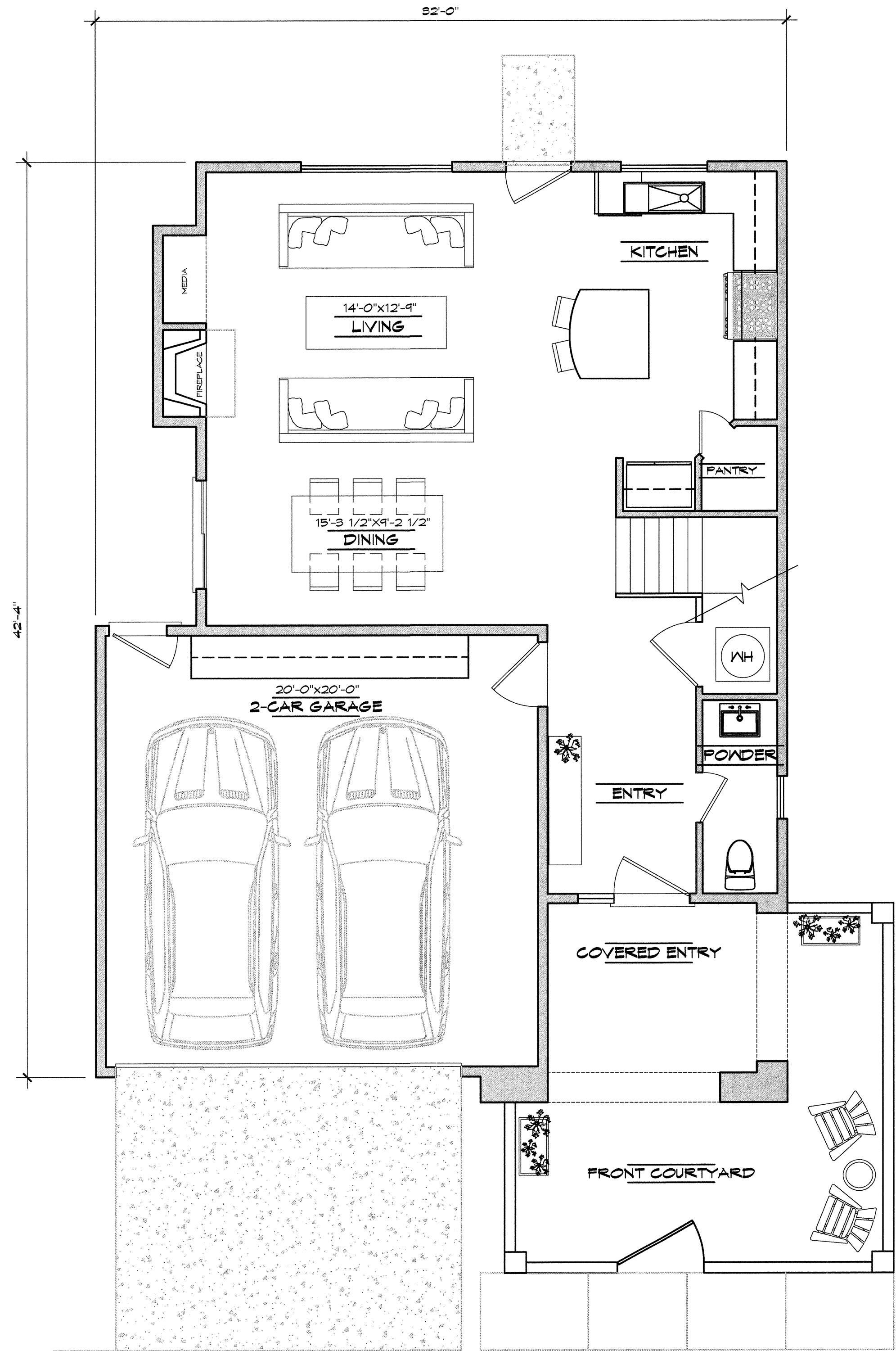
sheet 15 of 29

A1.6

community.
info@communitycollective.com
981 ISLAND AVENUE #10
SAN DIEGO, CA 92101
619-944-1174
(ke-my-unity)



2 PLAN #4 - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN #4 - FIRST FLOOR PLAN
1/4" = 1'-0"

PLANNING AREA 3 - BLDG TYPE A - FLOOR PLAN 1

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community.

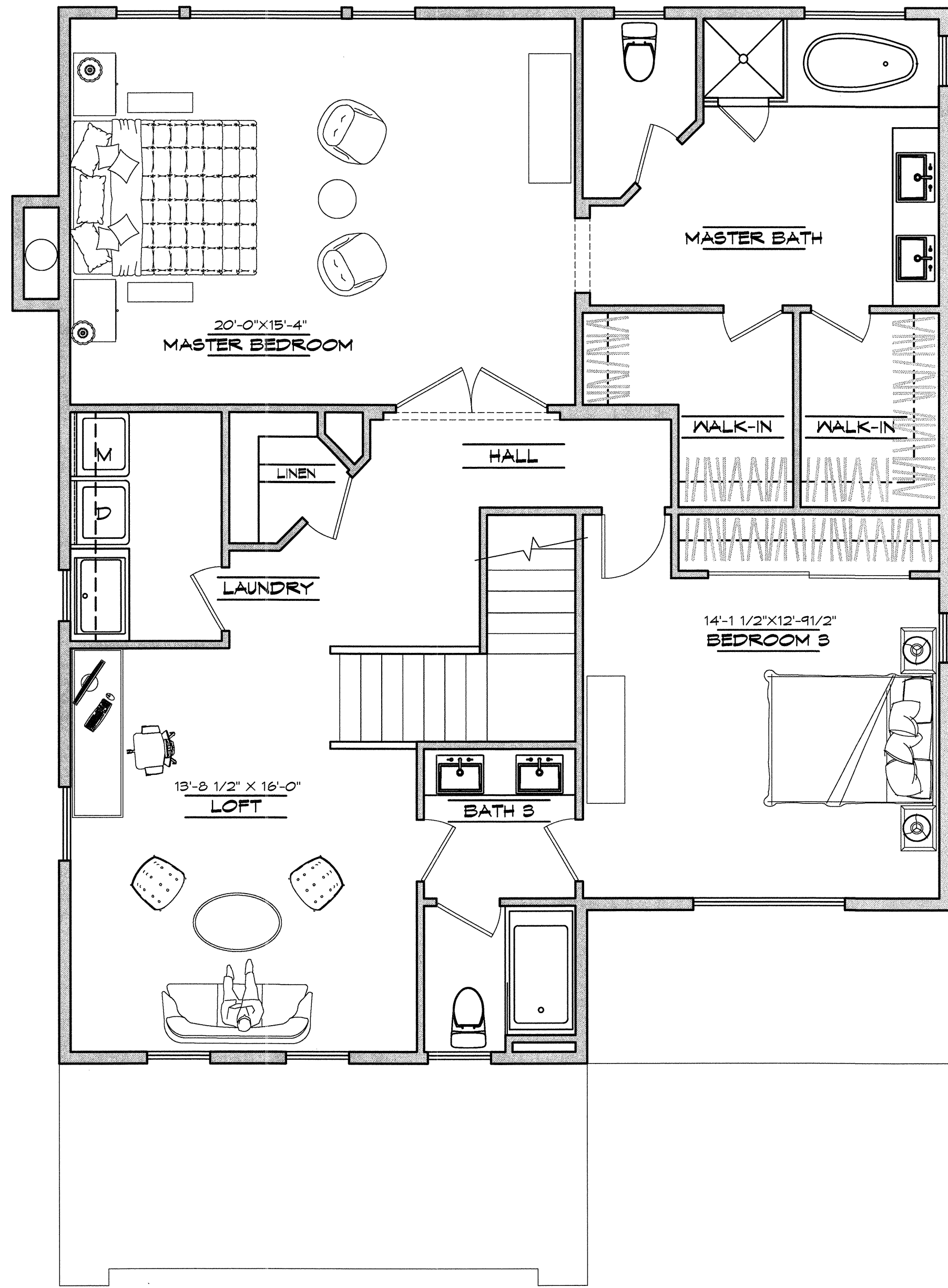
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CLIENT REVIEW

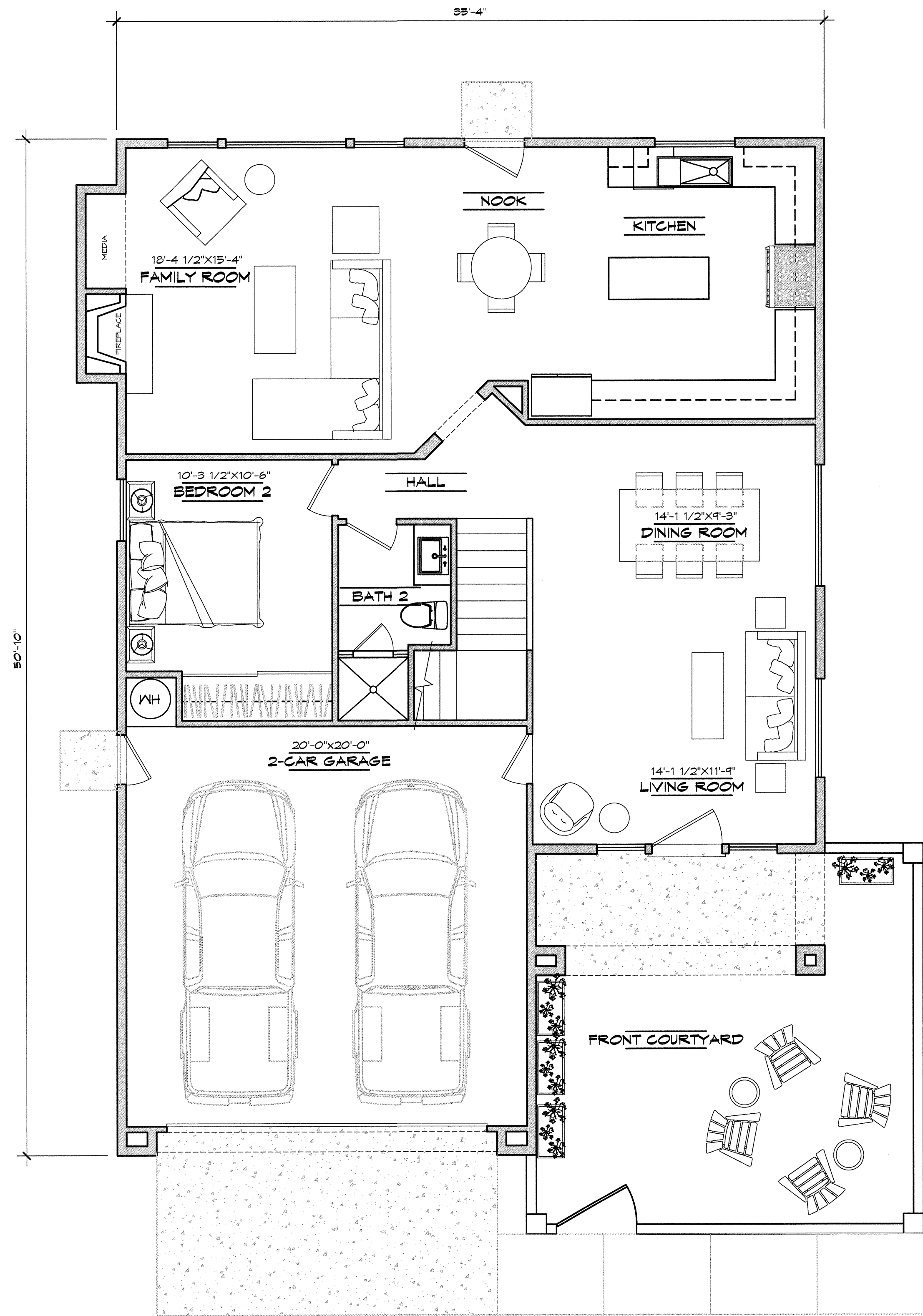
sheet 16 of 29

A3.1

DISCOVERY VILLAGE



2 PLAN #5 - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN #5 - FIRST FLOOR PLAN
1/4" = 1'-0"

project title

PLANNING AREA 3 - BLDG TYPE A - FLOOR PLAN 2

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(k e - m y u - n e - t e)
6 1 9 - 9 4 4 - 1 1 7 4
SAN DIEGO, CA 92101
981 ISLAND AVENUE #10

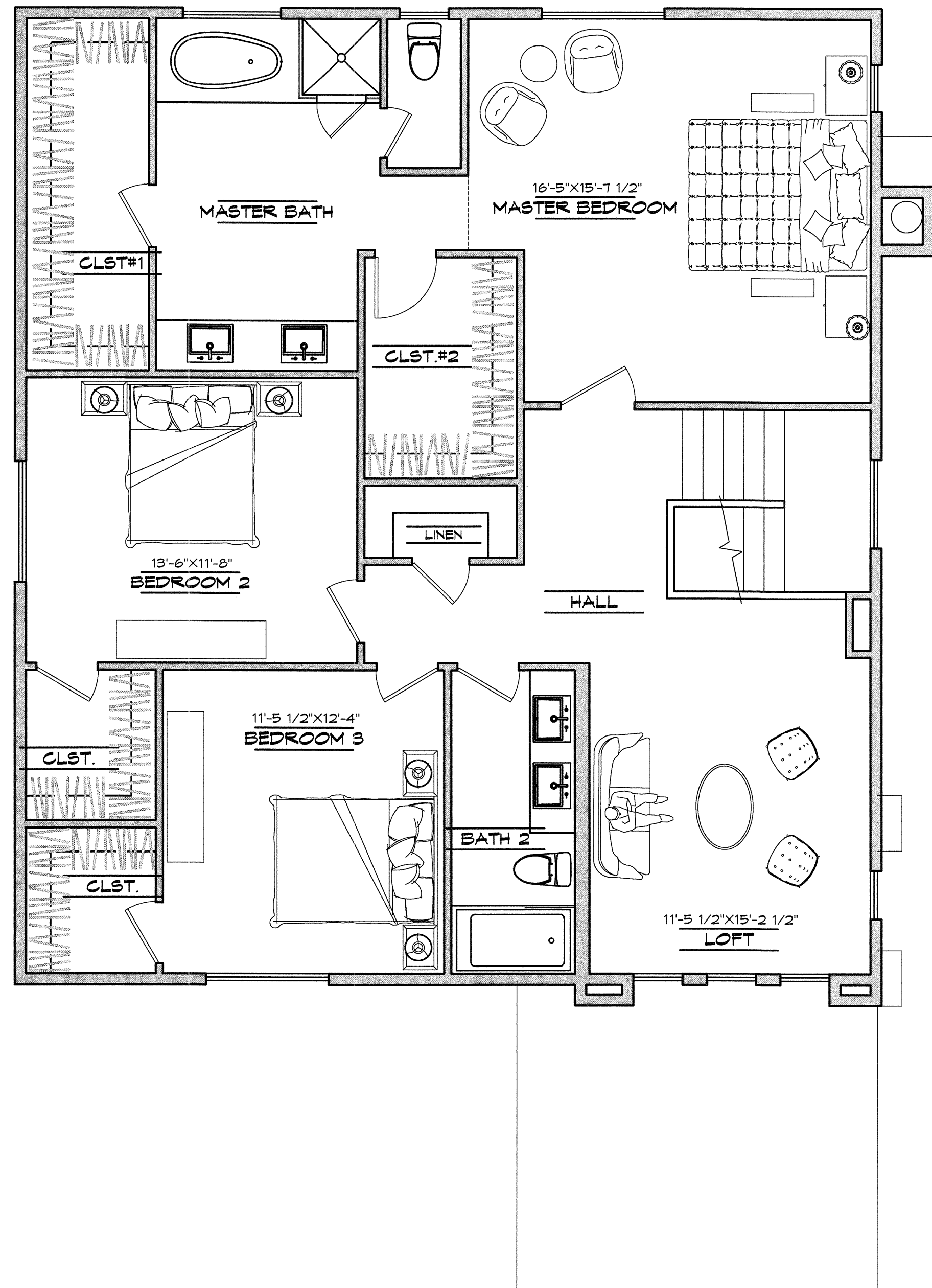
job no.
00DV

date
09/14/2017
CLIENT REVIEW

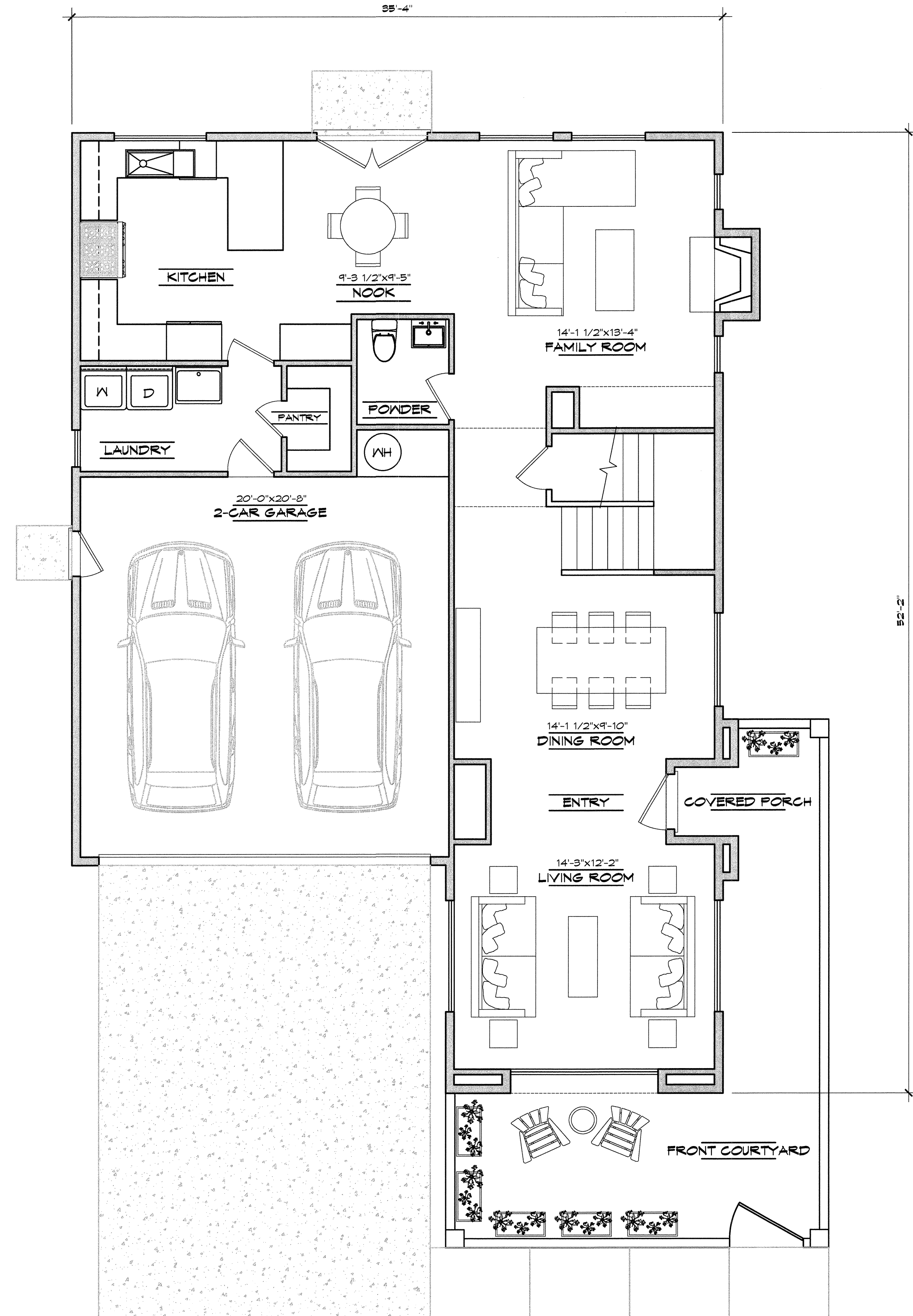
sheet 17 of 29

A3.2

DISCOVERY VILLAGE



2 PLAN #6 - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN #6 - FIRST FLOOR PLAN
1/4" = 1'-0"

project title
PLANNING AREA 3 - BLDG TYPE A - FLOOR PLAN 3

community-
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Job no. 000V
date

09/14/2017
CLIENT REVIEW



project title

DISCOVERY VILLAGE

PLANNING AREA 3 - BLDG TYPE A - BLDG STYLE 1

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community.

job no. 00DV

date 09/14/2017
CLIENT REVIEW



project title

DISCOVERY VILLAGE

PLANNING AREA 3 - BLDG TYPE A - BLDG STYLE 2

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(k e - m y ū - n e - t ē)

community.
a t t e n t i o n

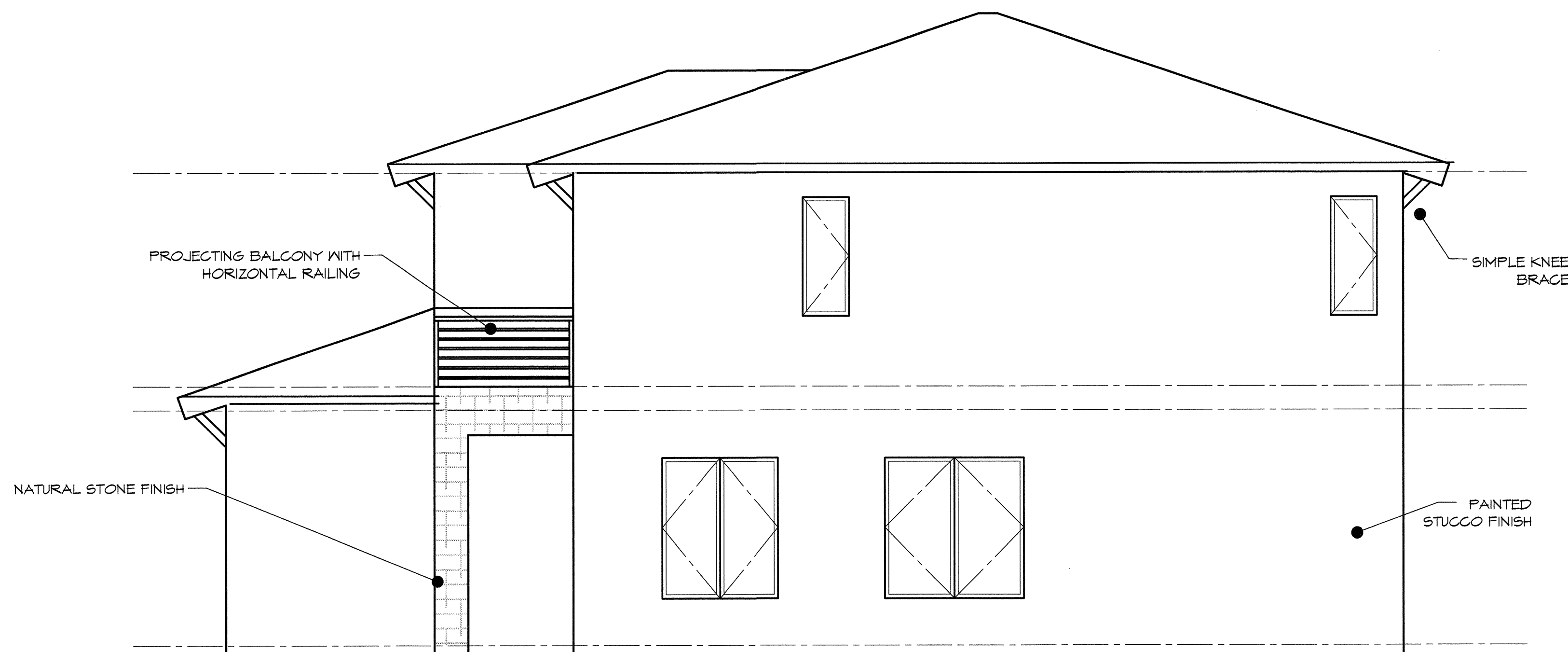
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date 09/14/2017
CLIENT REVIEW

A B C D E F G H J K L M N P Q R S

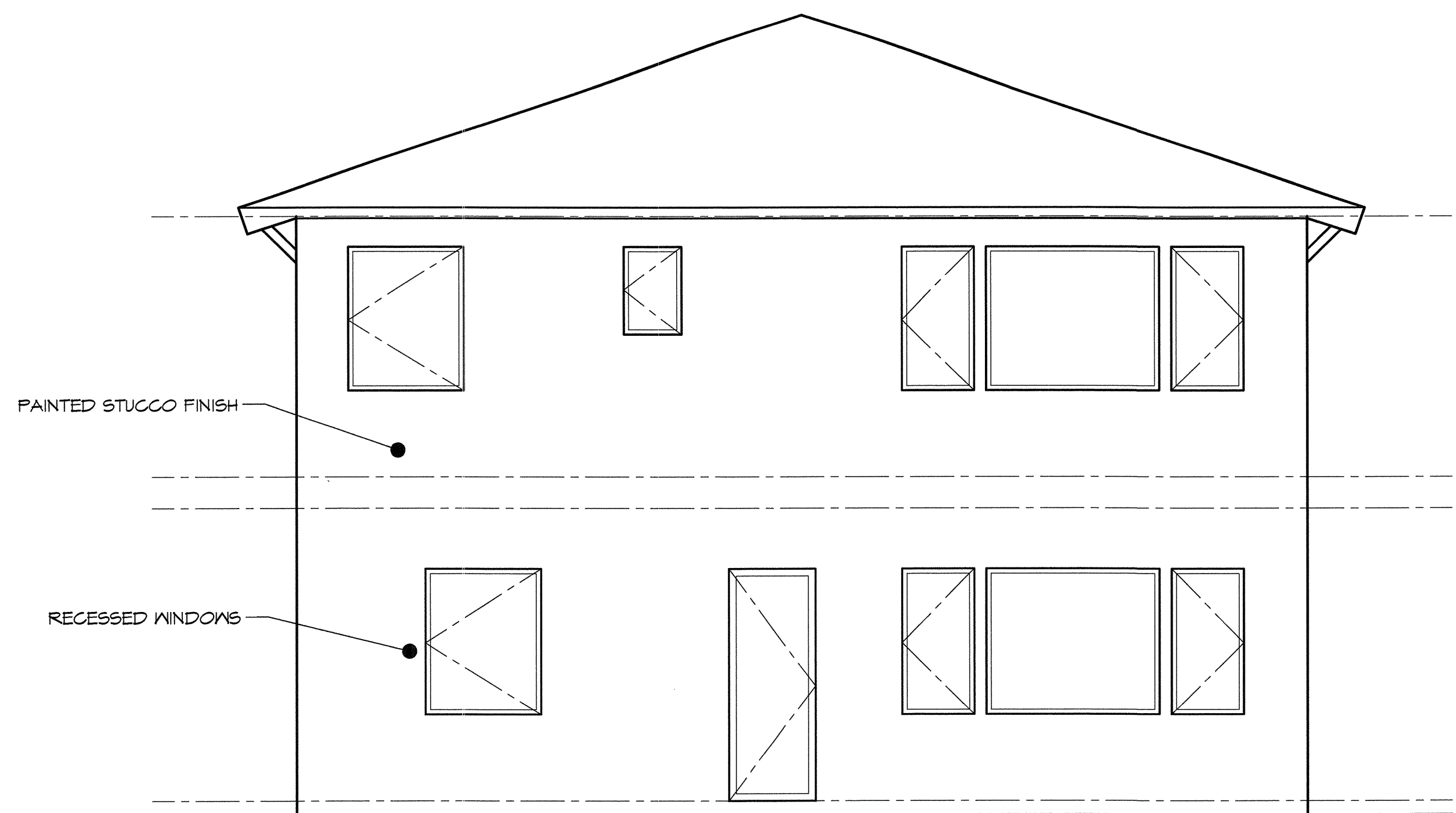
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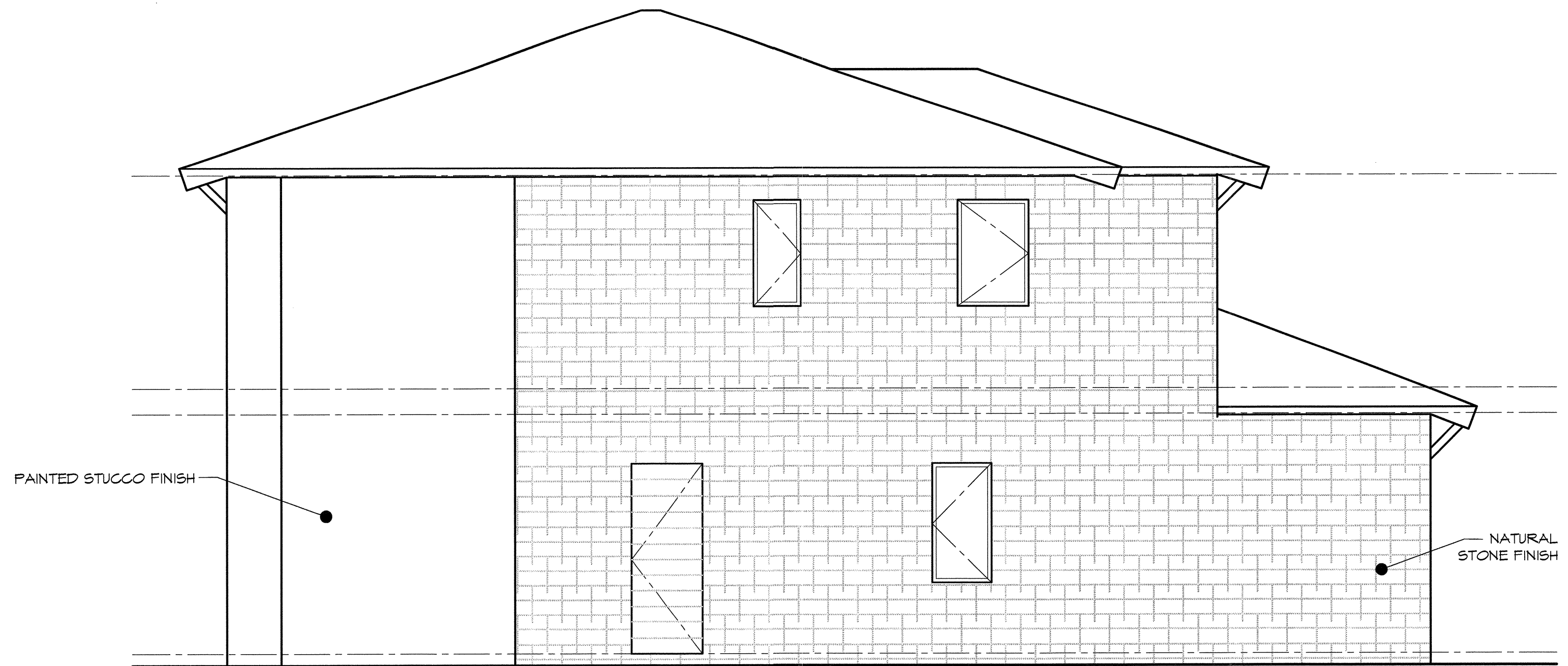
2 PLAN #5 - FRONT ENTRY ELEVATION
1/4" = 1'-0"



2 PLAN #5 - SIDE ELEVATION
1/4" = 1'-0"



2 PLAN #5 - REAR ELEVATION
1/4" = 1'-0"



2 PLAN #5 - SIDE ELEVATION
1/4" = 1'-0"

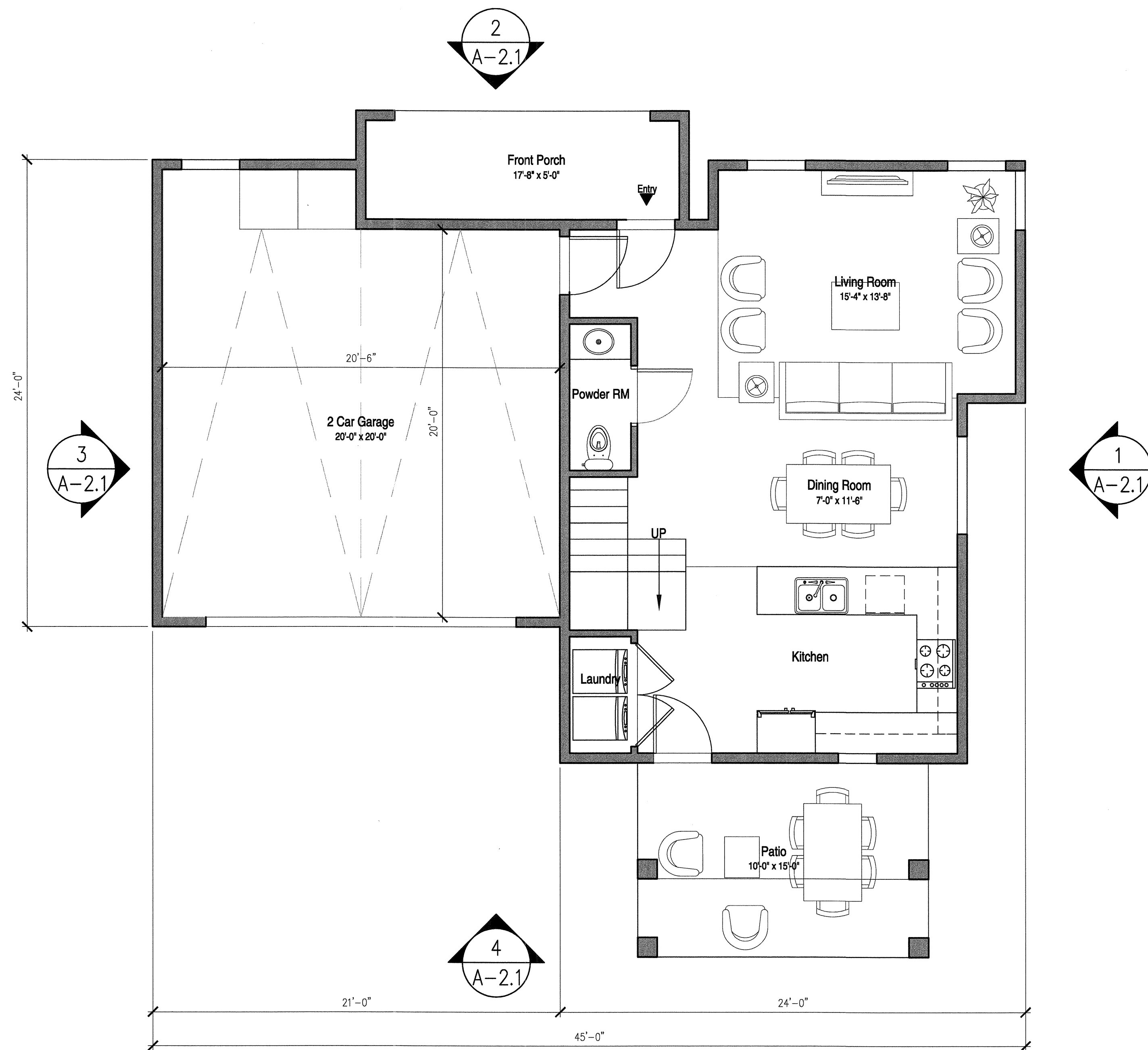
project title

PLANNING AREA 3 - BLDG TYPE A - BLDG STYLE 3

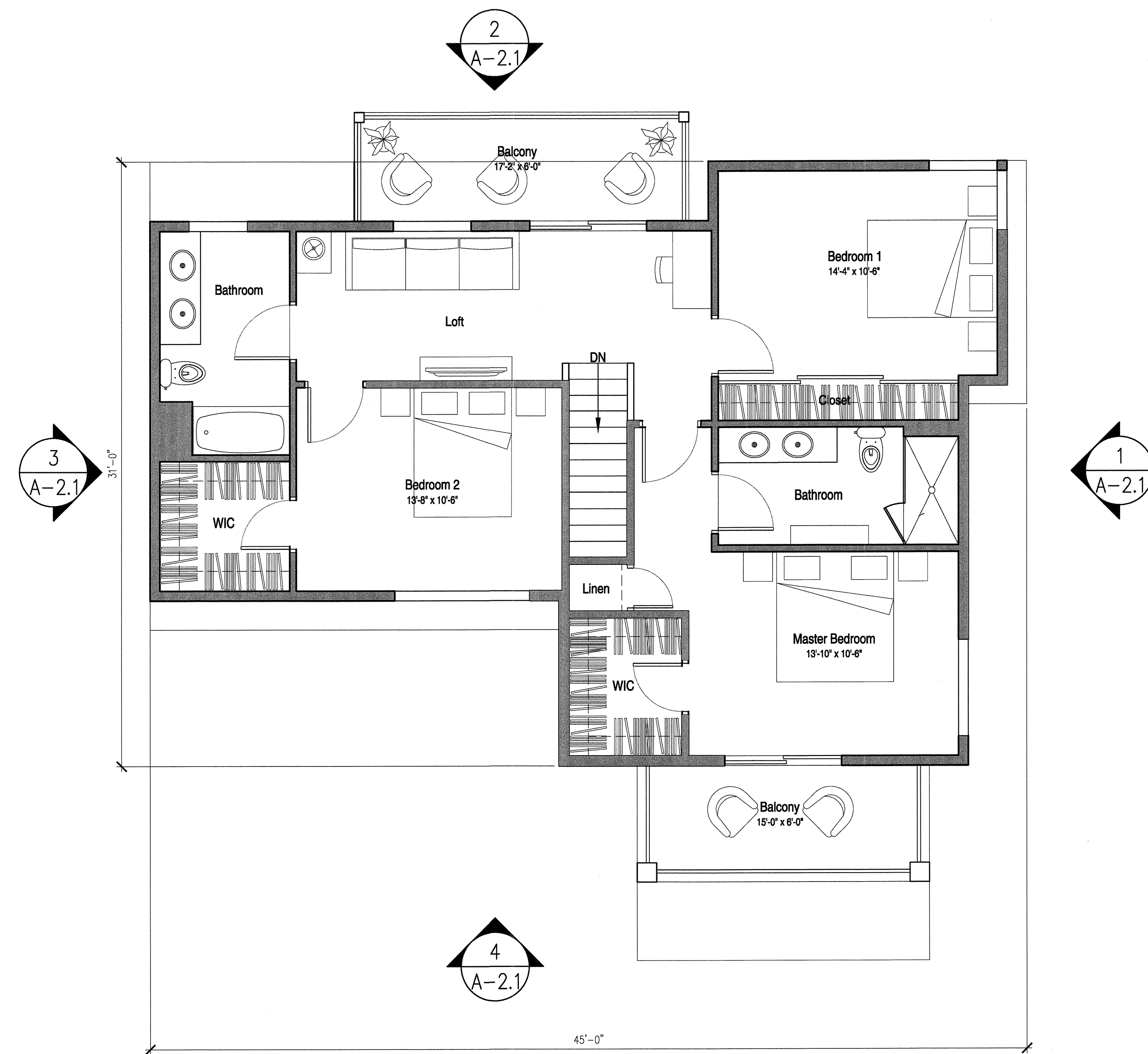
community-
info@com-collective.com
(k e . m y u - n e - t e)
981 ISLAND AVENUE #10
SAN DIEGO, CA 92101
619-944-1174

Job no.
00DV

date
09/14/2017
CLIENT REVIEW



1 First Floor Plan — Building Plan A
scale: 1/4" = 1'-0"



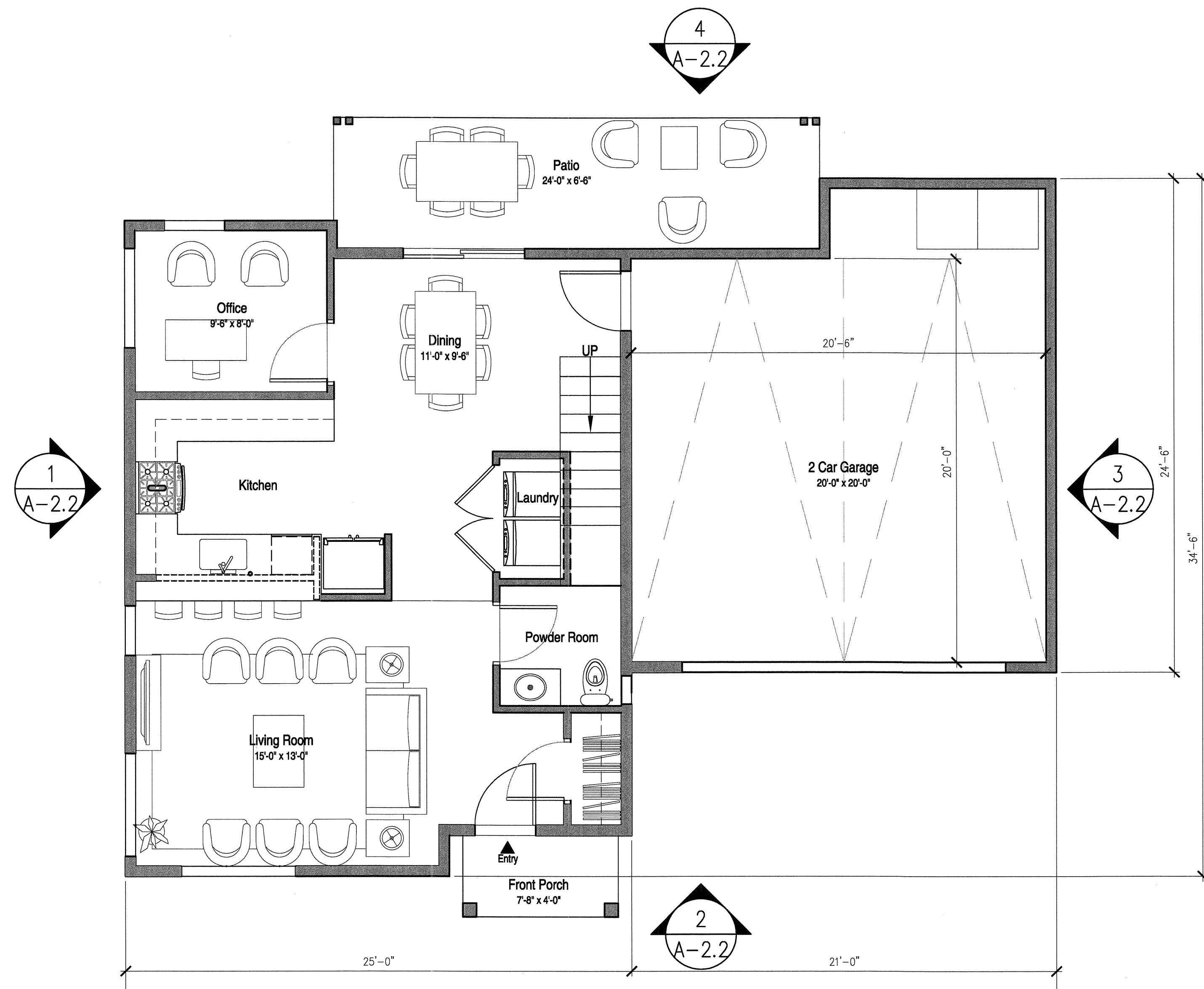
2 Second Floor Plan — Building Plan A
scale: 1/4" = 1'-0"

Floor Area Calc - Plan A	
First Floor	600 NSF
Second Floor	986 NSF
TOTAL LIVING AREA	1,586 NSF
Garage	440 NSF
Total Porches / Covered Patios / Balconies	428 NSF

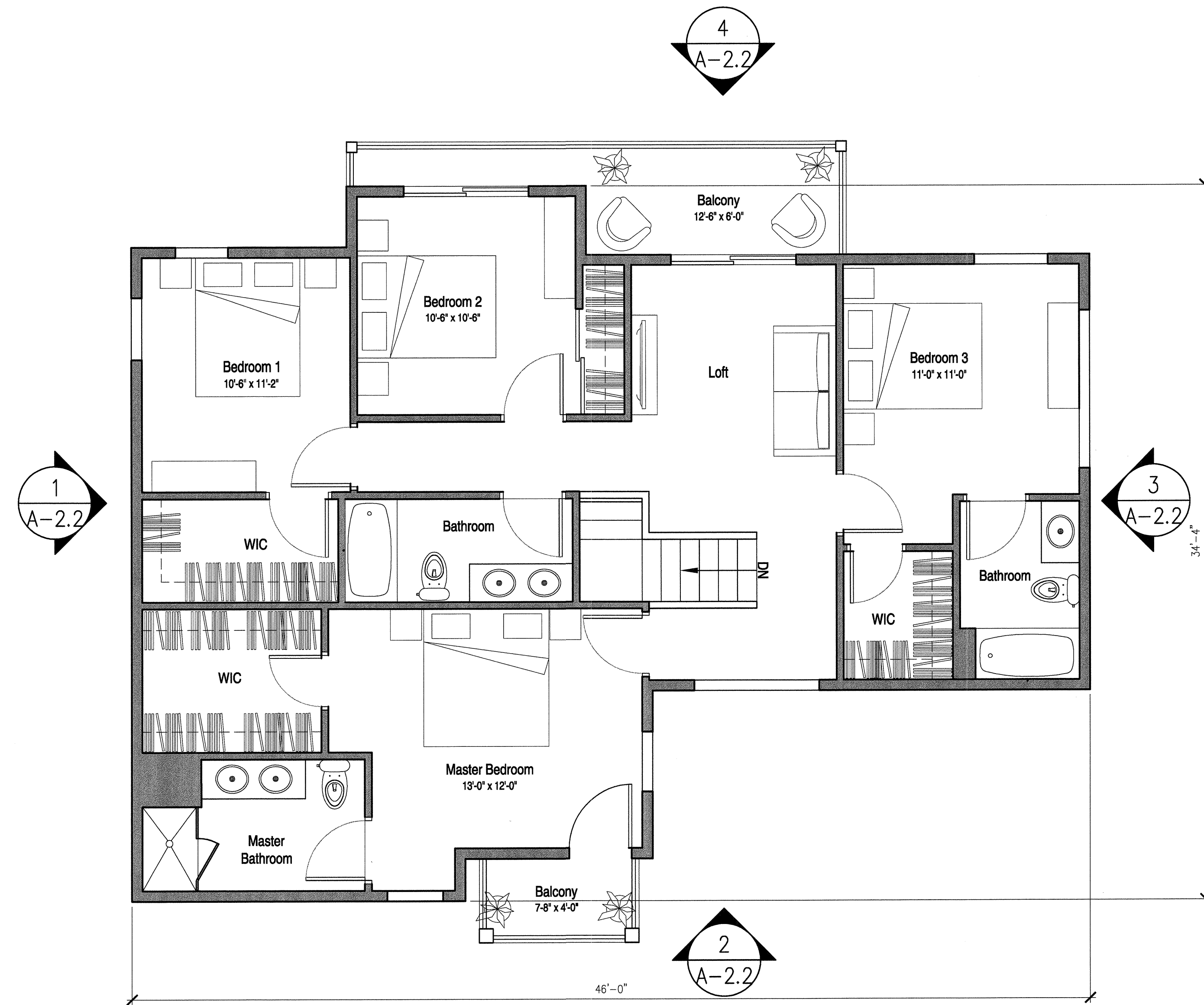
PRELIMINARY FLOOR PLANS
DISCOVERY VILLAGE SOUTH

DATE: 12-12-2017
SCALE: 1/4" = 1'-0"
DRAWN:
CHECKED:

SHEET TITLE PA 2: Building Type B - Plan A
PROJECT DISCOVERY VILLAGE SOUTH
SAN MARCOS, CALIFORNIA

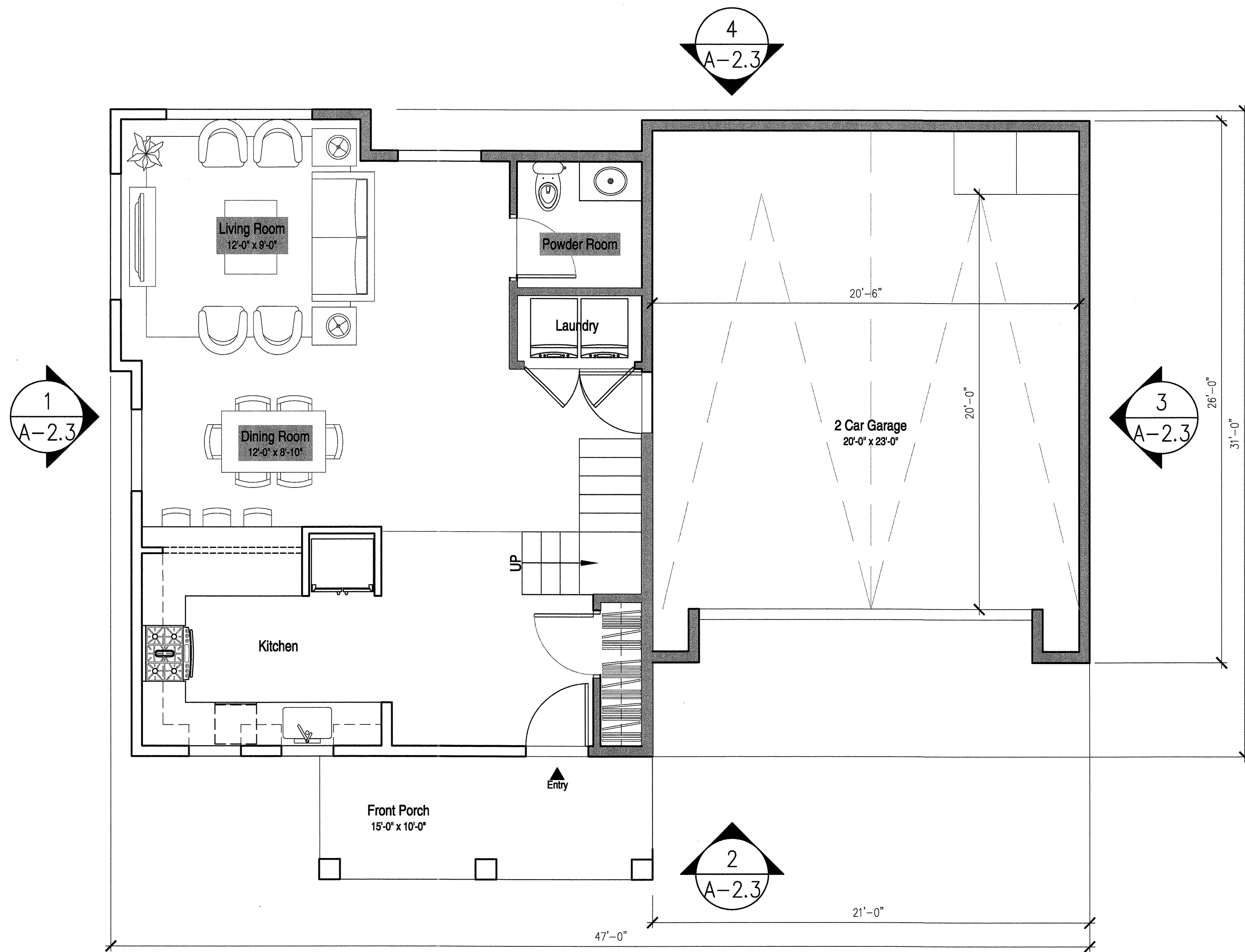


1 First Floor Plan — Building Plan B
scale: 1/4" = 1'-0"

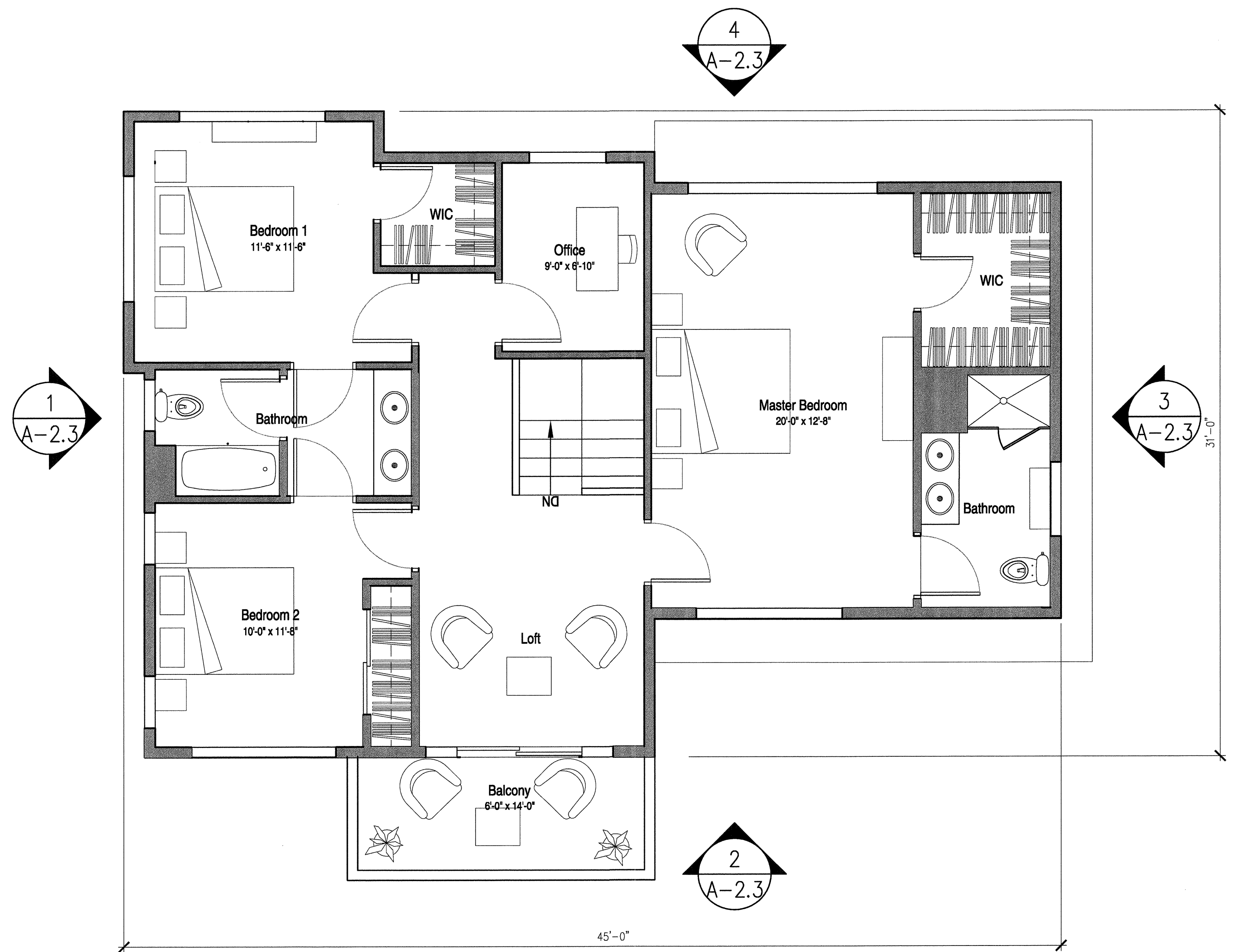


2 Second Floor Plan — Building Plan B
scale: 1/4" = 1'-0"

Floor Area Calc - Plan B	
First Floor	701 NSF
Second Floor	1,161 NSF
TOTAL LIVING AREA	1,862 NSF
Garage	410 NSF
Total Porches / Covered Patios / Balconies	286 NSF



1 First Floor Plan — Building Plan C
scale: 1/4" = 1'-0"



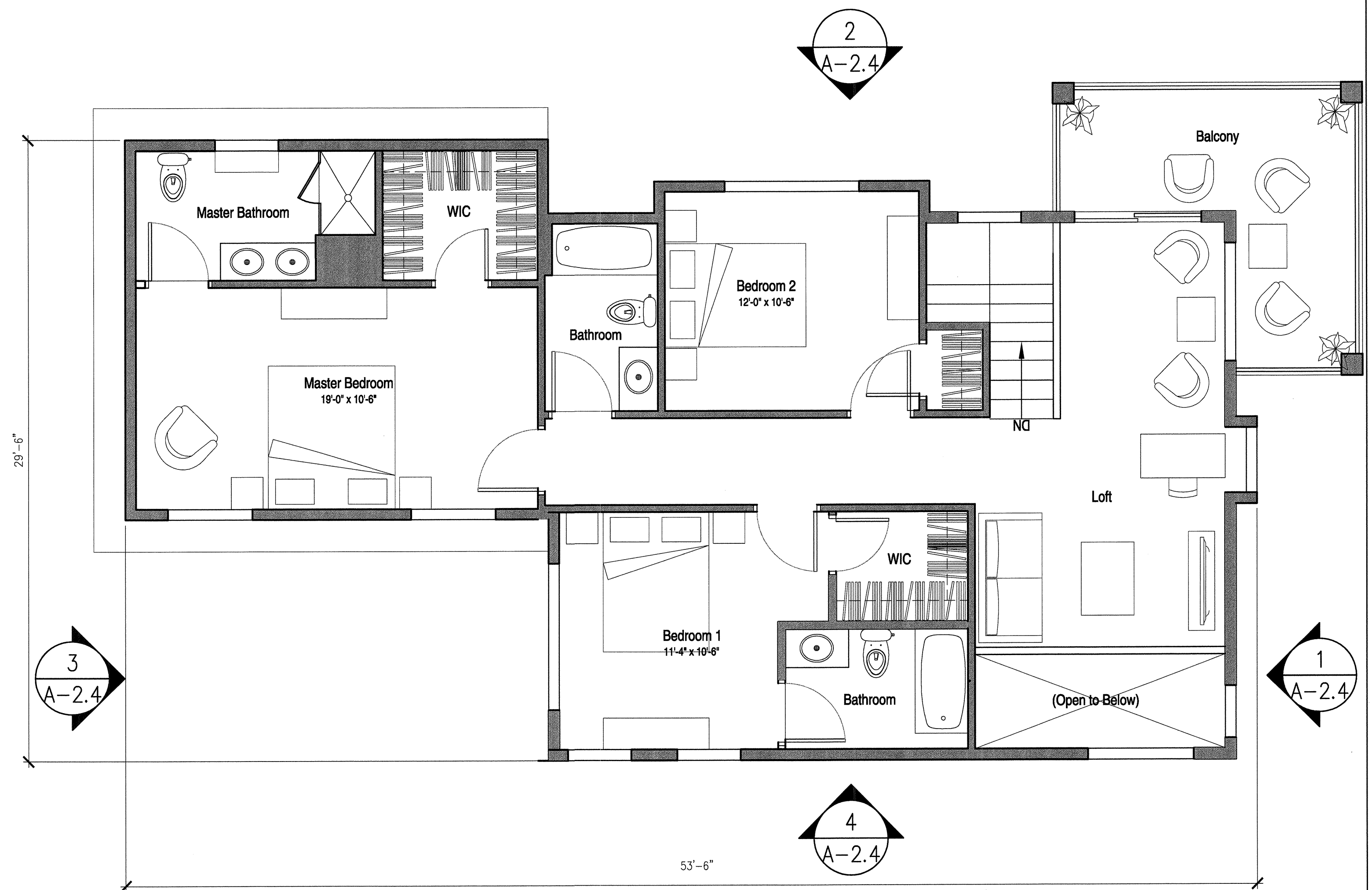
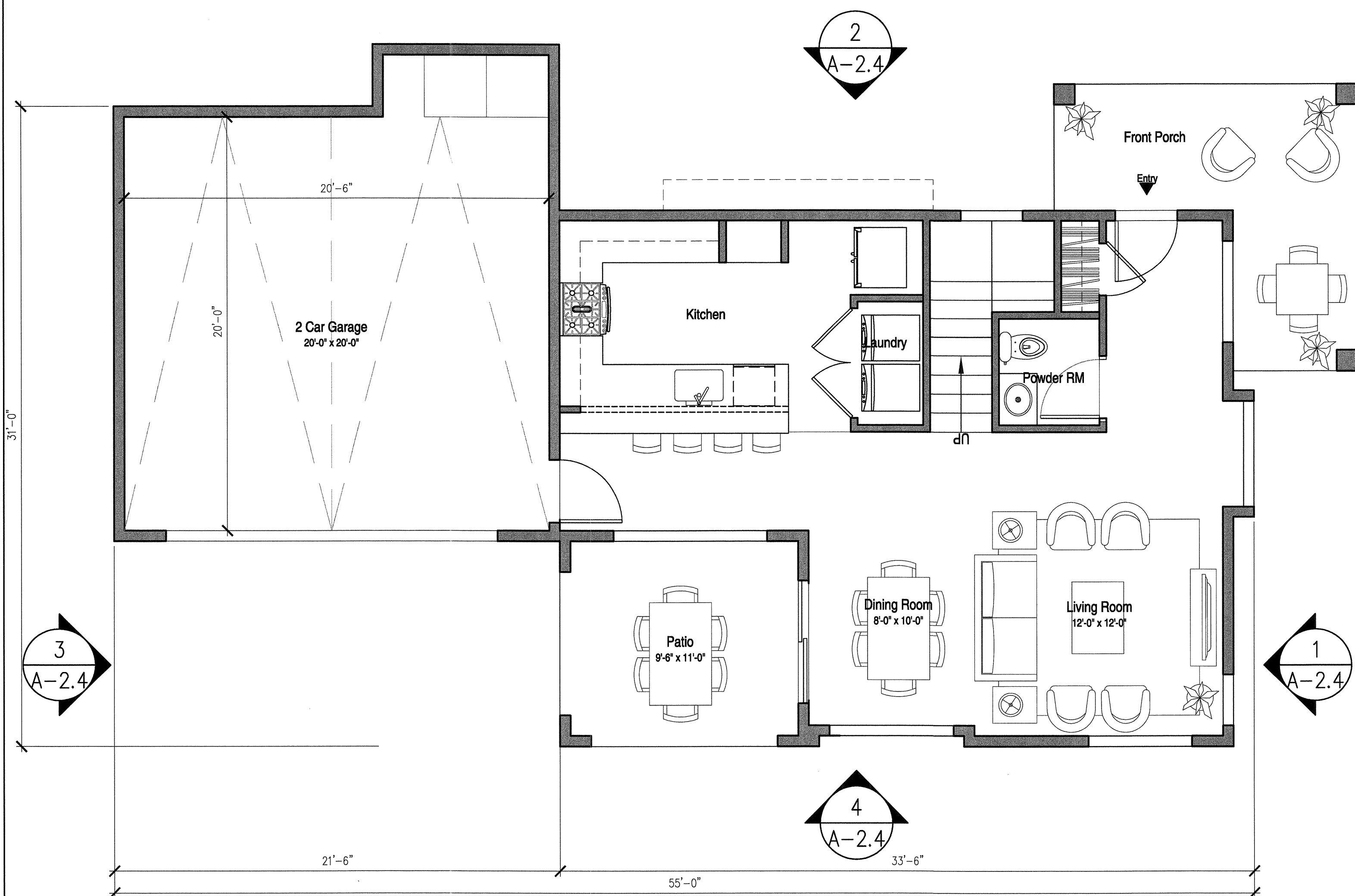
2 Second Floor Plan — Building Plan C
scale: 1/4" = 1'-0"

Floor Area Calc - Plan C	
First Floor	699 NSF
Second Floor	1,081 NSF
TOTAL LIVING AREA	1,780 NSF
Garage	478 NSF
Total Porches / Covered Patios / Balconies	282 NSF

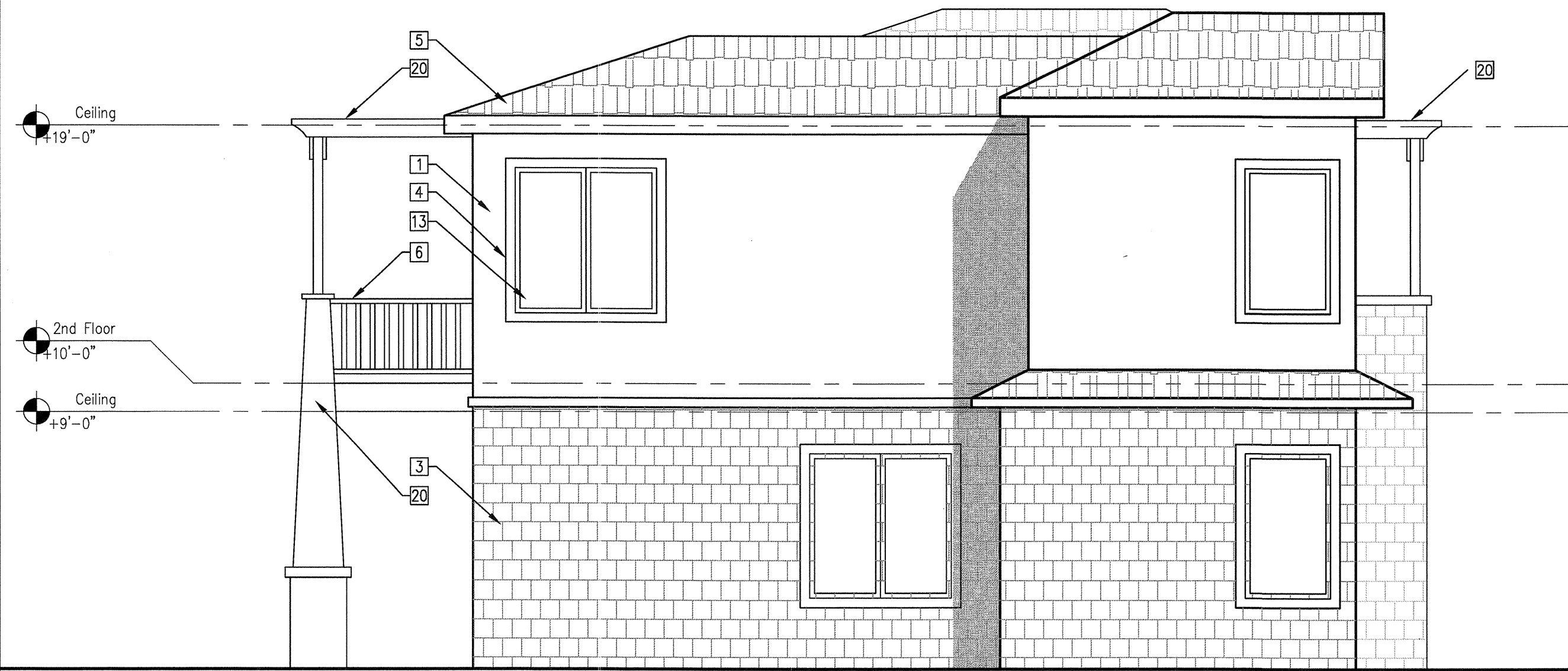
PRELIMINARY FLOOR PLANS
DISCOVERY VILLAGE SOUTH

M.W. STEELE GROUP
ARCHITECTURE | PLANNING
1805 NEWTON AVE | SUITE A
SAN DIEGO | CA | 92113
TELEPHONE 619 230 0325
WWW.MWSTEELE.COM

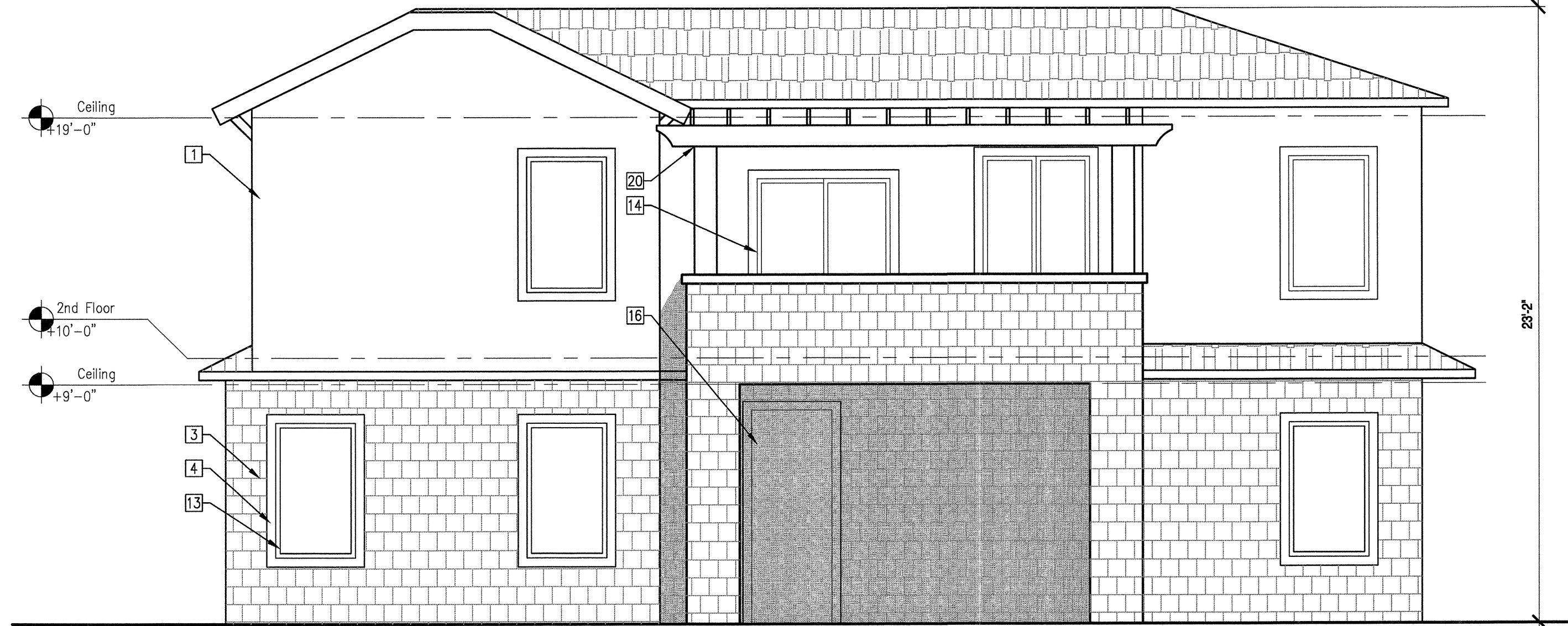
SHEET TITLE	PA 2: Building Type B - Plan C	DATE: 12-12-2017
	DISCOVERY VILLAGE SOUTH	SCALE: 1/4" = 1'-0"
PROJECT	SAN MARCOS, CALIFORNIA	DRAWN:
		CHECKED:



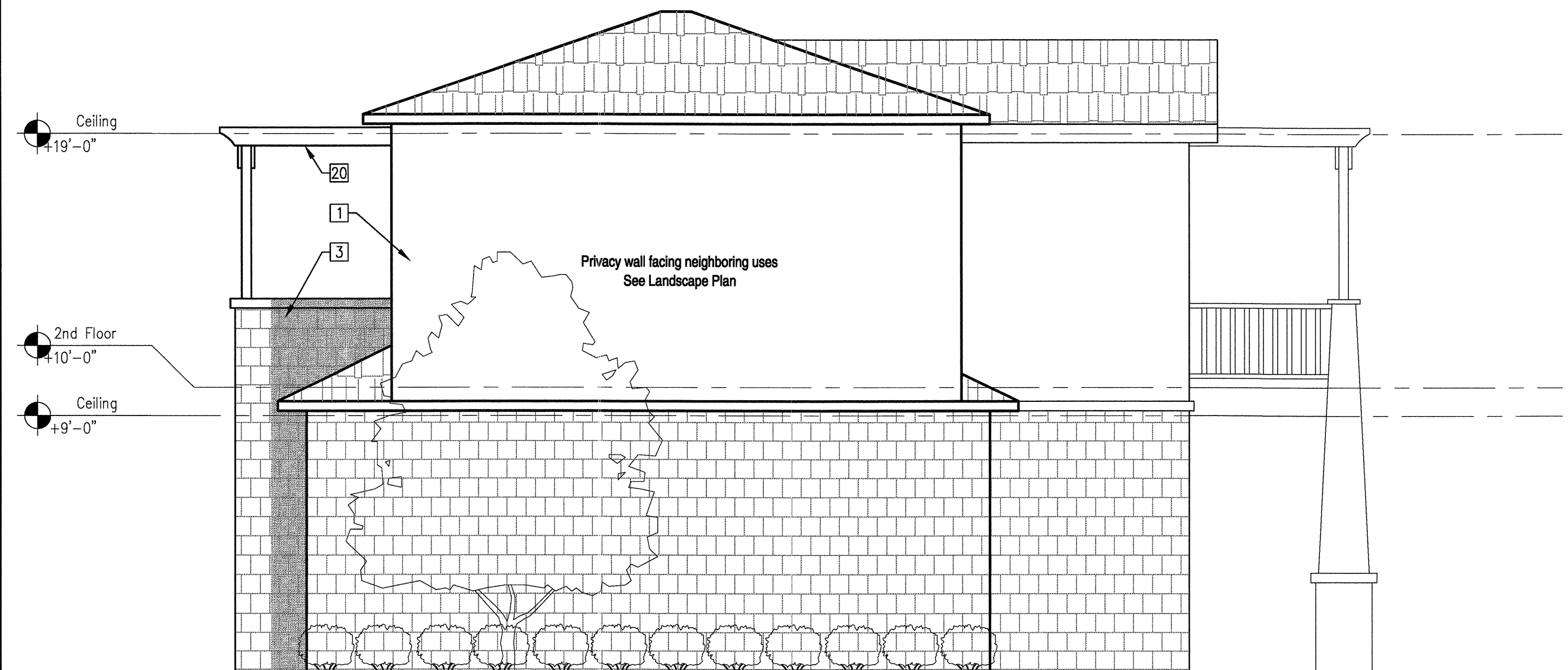
Floor Area Calc - Plan D	
First Floor	683 NSF
Second Floor	1,064 NSF
TOTAL LIVING AREA	1,747 NSF
Garage	410 NSF
Total Porches / Covered Patios / Balconies	392 NSF



1 Side (Motorcourt Drive) Elevation
scale: 1/4" = 1'-0"



2 Entry (Loop Road) Elevation
scale: 1/4" = 1'-0"



3 Side (Neighbor Facing) Elevation
scale: 1/4" = 1'-0"



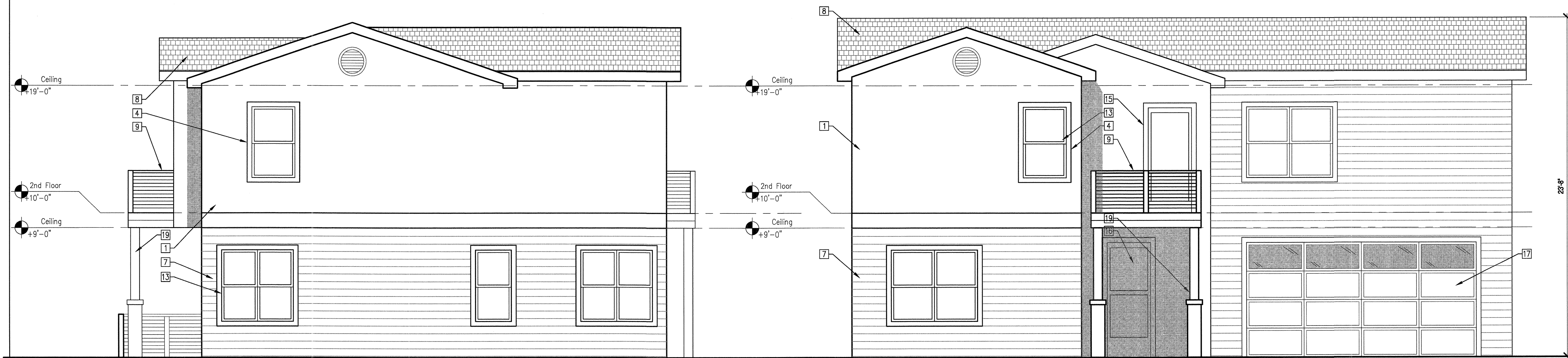
4 Garage Elevation
scale: 1/4" = 1'-0"

Keynote & Material Legend

- 1 Painted Cement Plaster Finish - Color 1
- 2 Painted Cement Plaster Finish - Color 2
- 3 Lapped Cement Board Shingle Siding
- 4 Vinyl Window Trim
- 5 Clay Shingle Roof - Style 1
- 6 Composite Guardrail
- 7 Plank Cement Board Siding
- 8 Clay Shingle Roof - Style 2
- 9 Painted Steel Guardrail
- 10 Clay Tile Roof
- 11 Architectural Wrought Iron Guardrail
- 12 -
- 13 Vinyl Window
- 14 Vinyl Sliding Glass Doors
- 15 Vinyl Full Lite Door
- 16 Solid Wood Door
- 17 Metal Sectional Garage Door with Lites
- 18 Wood Column with Composite Wrap
- 19 Stained Wood Column
- 20 Stained Wood Pergola
- 21 Planter Box
- 22 Pot Shelf
- 23 Cement Plaster Trim

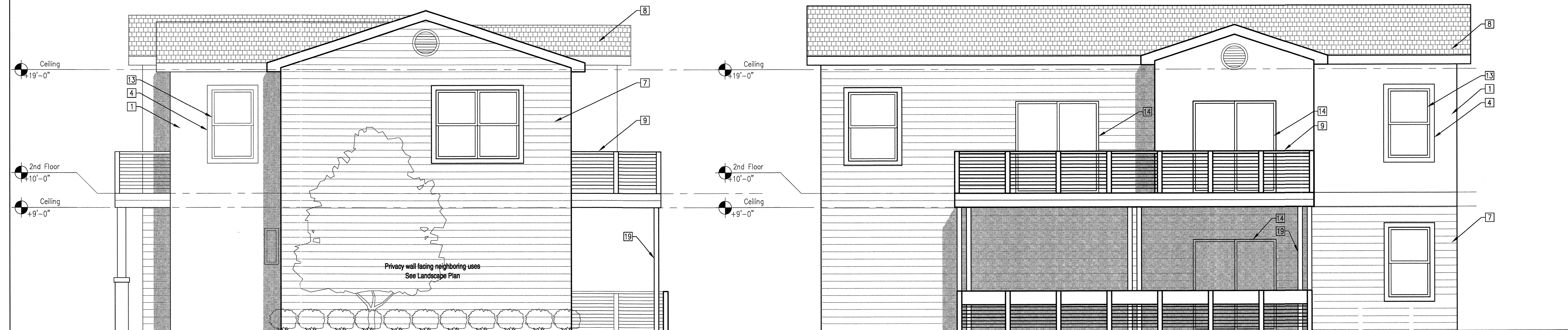
PRELIMINARY ELEVATIONS
DISCOVERY VILLAGE SOUTH

DATE: 12-12-2017	SCALE: 1/4" = 1'-0"	DRAWN: SAN MARCOS, CALIFORNIA	CHECKED:
SHEET TITLE PA 2: Building Type B - Style 1	PROJECT DISCOVERY VILLAGE SOUTH		



1 Side (Courtyard) Elevation
scale: 1/4" = 1'-0"

2 Entry (Motorcourt) Elevation
scale: 1/4" = 1'-0"



3 Side (Paseo) Elevation
scale: 1/4" = 1'-0"

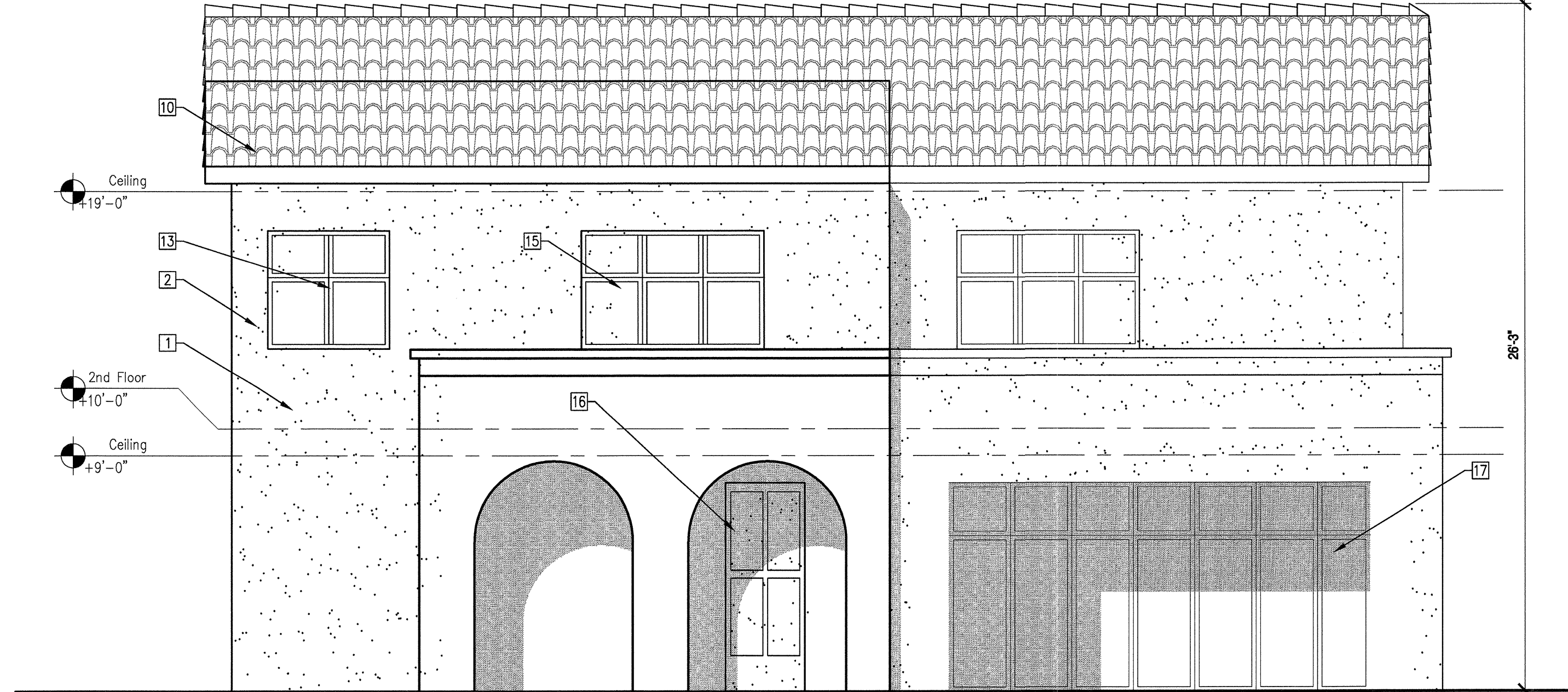
4 Rear (Loop Road) Elevation
scale: 1/4" = 1'-0"

Keynote & Material Legend

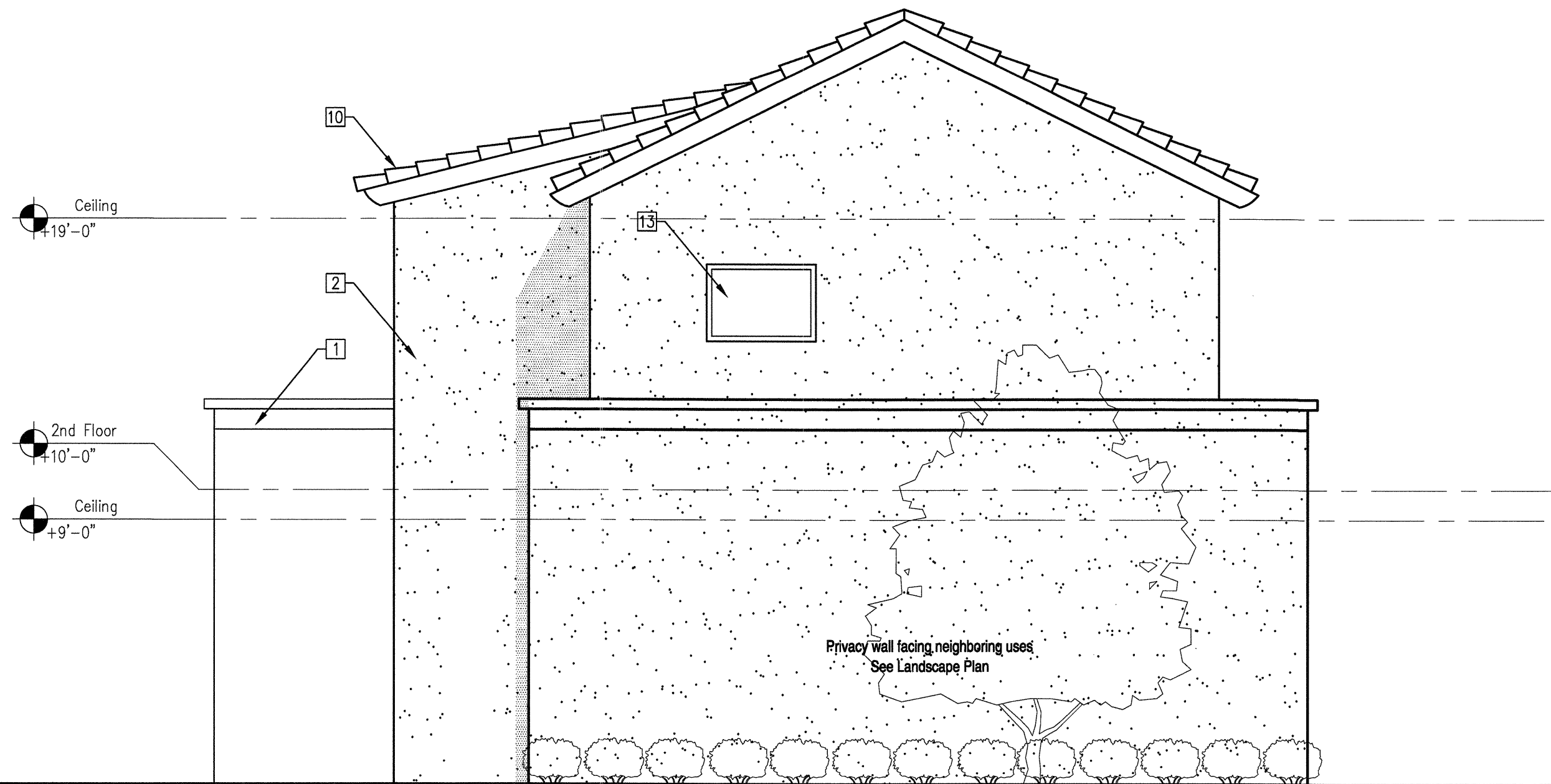
- 1 Painted Cement Plaster Finish - Color 1
- 2 Painted Cement Plaster Finish - Color 2
- 3 Lapped Cement Board Shingle Siding
- 4 Vinyl Window Trim
- 5 Clay Shingle Roof - Style 1
- 6 Composite Guardrail
- 7 Plank Cement Board Siding
- 8 Clay Shingle Roof - Style 2
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- 14 Vinyl Sliding Glass Doors
- 15 Vinyl Full Lite Door
- 16 Solid Wood Door
- 17 Metal Sectional Garage Door with Lites
- 18 Wood Column with Composite Wrap
- 19 Stained Wood Column
- 20 Stained Wood Pergola
- 21 Planter Box
- 22 Pot Shelf
- 23 Cement Plaster Trim



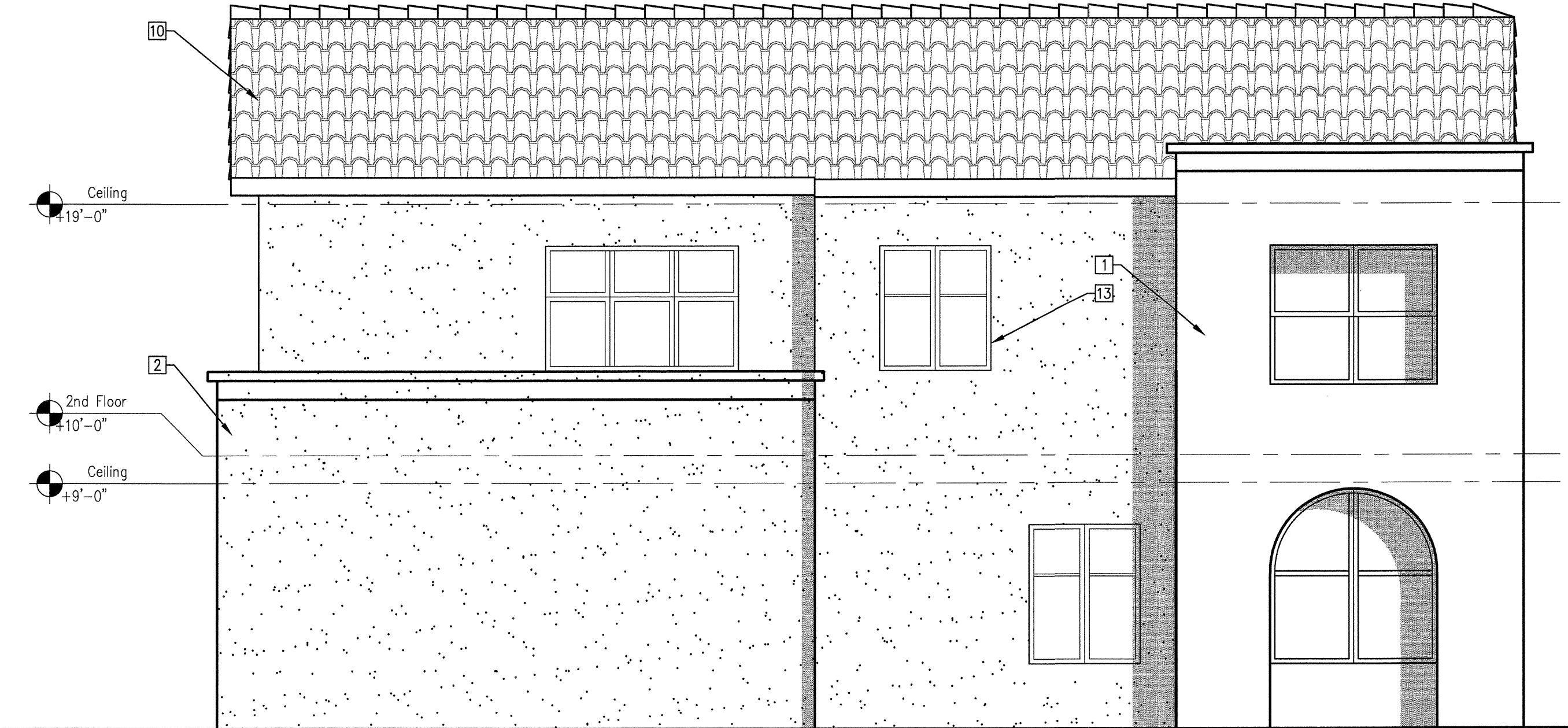
1 Side (Paseo) Elevation
scale: 1/4" = 1'-0"



2 Entry Elevation
scale: 1/4" = 1'-0"



3 Side (Neighbor Facing) Elevation
scale: 1/4" = 1'-0"



4 Rear (Loop Road) Elevation
scale: 1/4" = 1'-0"

Keynote & Material Legend

- 1 Painted Cement Plaster Finish - Color 1
- 2 Painted Cement Plaster Finish - Color 2
- 3 Lapped Cement Board Shingle Siding
- 4 Vinyl Window Trim
- 5 Clay Shingle Roof - Style 1
- 6 Composite Guardrail
- 7 Plank Cement Board Siding
- 8 Clay Shingle Roof - Style 2
- 9 Painted Steel Guardrail
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- 19 Stained Wood Column
- 20 Stained Wood Pergola
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- 22 Pot Shelf
- 23 Cement Plaster Trim

PRELIMINARY ELEVATIONS DISCOVERY VILLAGE SOUTH

DATE:
12-12-2017

SCALE:
1/4" = 1'-0"

DRAWN:
CHECKED:

SHEET TITLE PA 2: Building Type B - Style 3

PROJECT DISCOVERY VILLAGE SOUTH
SAN MARCOS, CALIFORNIA

Of 29

A-2.7

