

RESOLUTION PC 17-4643

A RESOLUTION OF THE SAN MARCOS CITY PLANNING COMMISSION RECOMMENDING THAT THE CITY COUNCIL APPROVE A SPECIFIC PLAN AMENDMENT REPLACING THE SCRIPPS HEALTH CARE CAMPUS SPECIFIC PLAN AND ADOPTING THE SAN MARCOS DISCOVERY VILLAGE SOUTH SPECIFIC PLAN

Case No. SP 16-002
HG Fenton Development Company LLC (P16-0037)

WHEREAS, on September 7, 2016 an application was received from H.G. Fenton Development Company LLC, requesting the replacement the Scripps Health Care Campus Specific Plan with the adoption of the Discovery Village South Specific Plan (SP 16-002) in conjunction with a General Plan Amendment (GPA 17-003) and Mitigated Negative Declaration (MND 16-001), Tentative Subdivision Map (TSM 16-003) Site Development Plan (SDP 17-006), and Grading Variance (GV 17-004) to allow residential development of up to 230 single family dwelling units on approximately 39 acres of vacant land located north of Craven Road, south of the future Discovery Street, west of Rush Drive, and east of Bent Avenue more particularly described as

ALL OR PORTIONS OF LOTS 1 AND 2 OF BLOCK 67, AND LOTS 8, 9, 10, 11, 12 AND 13 OF BLOCK 63 OF RANCHO LOS VALLECITOS DE SAN MARCOS, ACCORDING TO MAP THEREOF 806 AND PARCEL A OF MAP NO. 16595
Assessor Parcel Numbers: 221-080-18, 221-080-24, 221-080-19, 221-080-11, 221-070-20, 221-142-07, 221-080-23, 221-080-12, 221-070-19-00

WHEREAS, the Scripps Specific Plan (SP 90-24) was adopted by the City Council with associated entitlements (General Plan Amendment [91-26 Subarea A], Rezone [91-46], Development Agreement [DA 91-05], Environmental Impact Report [EIR 91-17], Specific Plan Amendment [87-29(91M)], Conditional Use Permits (CUP 91-138, CUP 91-139), and Tentative Parcel Map [TPM 495] on November 26, 1991; and

WHEREAS, the applicant/developer has proposed to rescind and replace the Scripps Specific Plan (SP 90-24) with the Discovery Village South Specific Plan; and

WHEREAS, the Development Services Department did study said request and does recommend approval; and

WHEREAS, Developmental Services conducted a public workshop on October 5, 2017 for the proposed project; and

WHEREAS, the required public hearing was advertised for February 5, 2018, and was duly advertised in the manner prescribed by law; and

WHEREAS, the Planning Commission did consider and recommend approval of a

Mitigated Negative Declaration (MND 16-001) in conjunction with recommending approval of General Plan Amendment (GPA 17-003, RESOLUTION PC 17-4642), pursuant to the California Environmental Quality Act; and

WHEREAS, the Planning Commission's recommendation is based upon the following findings and determinations:

1. The replacement of the Scripps Health Care Campus Specific Plan with the adoption of the Discovery Village South Specific Plan would encourage the orderly development of the site area in the Barham/Discovery Community Plan area, in that the project proposes the development 230 residential units with a similar density to surrounding residential development.
2. The replacement of the Scripps Health Care Campus Specific Plan with the adoption of the Discovery Village South Specific Plan would comply with the goals and objectives of the Barham/Discovery Community Plan area, in that the project has been conditioned to implement bike lanes, new sidewalks, landscape, and multiple trail connections encouraging pedestrian access/movement along Discovery Street and Craven Road.
3. As proposed, adoption of the Discovery Village South Specific Plan with staff's recommended conditions complies with the goals and objectives of, and would be consistent with the adopted General Plan, as amended by GPA 17-003, and all applicable components of the General Plan Barham/Discovery Community Plan area.
4. The proposed adoption of the San Marcos Discovery Village South, as revised per the staff's recommended conditions, will not be detrimental to the public health, safety, or welfare, or the surrounding land uses in the area in that the proposed amendment establishes design guidelines for the proposed site planning, home types, architecture, and landscaping standards for the future development of this site.
5. The Discovery Village South Specific Plan meets all criteria, as conditionally approved, pursuant to Government Code Section 65451.

NOW THEREFORE, the Planning Commission of the City of San Marcos resolves as follows:

1. The foregoing recitals are true and correct.
2. The adoption of the San Marcos Discovery Village South Specific Plan (Attachment "A") is hereby recommended for approval by the City Council.

PASSED AND ADOPTED by the Planning Commission of the City of San Marcos, State of California, at a regular meeting thereof, this 5 day of February, 2018 by the following roll call vote:

YES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

APPROVED:

, Chairman
SAN MARCOS CITY PLANNING COMMISSION

ATTEST:

Sandra Gallegos, Senior Office Specialist
SAN MARCOS CITY PLANNING COMMISSION

Attachments:
“A” San Marcos Discovery Village South Specific Plan

Attachment "A"
San Marcos Discovery Village South Specific Plan



San Marcos Discovery Village South

Specific Plan

FINAL PLAN
January 2018

Acknowledgments

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A. Purpose

The San Marcos Discovery Village South Specific Plan ("Specific Plan") provides for a new residential neighborhood not to exceed up to 230 single-family homes in a pedestrian-friendly, inviting and attractive living environment with a unique sense of place and a strong connection to its surrounding community and physical setting.

B. Legal Authority

The San Marcos General Plan is a long-term and comprehensive policy document that sets forth a city's long-range planning policies that reflect the aspirations and values of residents, land owners, businesses, and organizations within the community. As stipulated in Sections 65450 through 65454 of the California Government Code, cities may prepare Specific Plans for the systematic implementation of the General Plan for all or part of the area covered by the General Plan. The emphasis of this and all Specific Plans is on standards and development criteria intended to supplement and assist in implementing those of the City's General Plan. Its contents address the planning and funding of necessary infrastructure and facilities as well as land uses.

To attain the objectives of this Plan, the entire project area has been re-designated "Specific Plan Area" (SPA). A Mitigated Negative Declaration (MND 16-001) evaluating the impacts of this plan has been prepared by the City of San Marcos for the project area.

C. Scope

The Specific Plan provides for a new residential neighborhood in the City of San Marcos on approximately 40 acres of vacant land. Discovery Village South is on the site of the Scripps Health Care Campus Specific Plan and amends that specific plan to change the use from medical office and services to single-family residential uses.

D. Public Participation

The land use and design themes that guided the preparation of the San Marcos General Plan, the San Marcos Creek Specific Plan, University District Specific Plan and other specific plans in the area were largely developed through an extensive public outreach process, which included multiple community workshops, meetings and hearings. The public outreach for the Scripps Health Care Campus Specific Plan included similar outreach, although using less technology, given the era in which it was adopted. Similarly, the Discovery Village South Specific Plan includes a comprehensive outreach program outlined in the Draft Discovery Village Community Outreach Plan, dated December 2016. Community outreach efforts will target residents and property owners of neighboring communities including the Discovery Meadows, Discovery Hills and neighboring commercial and residential neighborhoods (such as the Creekside Marketplace, University District, Kaiser Health and Cal State University San Marcos representatives). Communication with these stakeholders will include one-on-one courtesy meetings with key representatives, a project website, presentations and public workshops all to be held prior to public hearings for the project.



Figure 1 - Location Map

A. Location, Access and Setting

The San Marcos Discovery Village South Specific Plan ("Specific Plan") is located directly southeast of Bent Avenue and Discovery Street. It is bounded on the west by Craven Road and the north and east boundaries are defined by the proposed Discovery Street alignment (see Figure 1). The south project boundary is defined by the Discovery Meadows development and to the east by the Kaiser Permanente Medical Center. Access to the site will be taken directly from the proposed Discovery Street.

The property is in the Barham/ Discovery Community of San Marcos and surrounded by the San Marcos Creek Specific Plan area to the west, Discovery Hills to the south, and the University District Specific Plan area to the north, the Cal State University San Marcos campus and the Heart of the City Specific Plan area to the east.

B. Planning Context

In 1991, the City of San Marcos adopted the Scripps Health Care Campus Specific Plan. The existing specific plan calls for a hospital/ health care campus on 80 acres of vacant land. The plan envisioned a development in phases, including a hospital with up to 450 beds, 250,000 square feet of medical office space, a 100 bed mental health center/ chemical dependency hospital, a 150 bed skilled nursing facility, a health education center, child care center, fitness center, special treatment clinic and research buildings. The total anticipated buildout is 1,240,000 square feet with 3,102 parking spaces in non-structured, surface parking. The buildings range in height from one to seven stories across the site. The current specific plan anticipated several signalized intersections/ entrances on Barham/ Discovery Street and Craven Avenue.



View of the specific plan area looking west



View of the specific plan area looking east



Figure 2 - Planning Context and Project Boundary

The Discovery Village South Specific Plan replaces the Scripps Health Care Specific Plan in its entirety to change the use from medical/ hospital to single-family residential. The scale, density and height of the development proposed will be significantly reduced, and the land use standards, design standards and architecture are revised as appropriate to correspond with the proposed new use. The circulation design is also revised to serve the proposed residential use. The Discovery Village South Specific Plan replaces the Scripps Health Care Specific Plan boundary as shown on Figure 2.

Relationship to City of San Marcos General Plan

The San Marcos General Plan was recently updated in 2012 and includes policies and standards to guide the development of the city. See Section 6 of this plan for a detailed consistency analysis.

Relationship to Barham/Discovery Community

The Barham/Discovery Community is located in the central portion of the City, south of State Route 78. Barham/Discovery Community contains a wide variety of land uses, including residential, commercial, park, open space, and California State University San Marcos (CSUSM). Multiple residential types are located within the neighborhood, including rural and estate residential, single-family neighborhoods, and higher density apartment and condominium complexes in proximity to CSUSM.

Relationship to San Marcos Creek Specific Plan

The San Marcos Creek District Specific Plan was adopted by the City of San Marcos on August 14, 2007. The Creek District is a 214-acre site located immediately across the San Marcos Creek, north/west of the project site. It is envisioned as an active pedestrian-oriented and mixed-use commercial center for the downtown area of San Marcos. The Discovery Village South will connect to the Creek District through Bent Avenue and an extension of Discovery Street, along with trails and bike paths.

Relationship to California State University San Marcos

California State University San Marcos was founded in 1989 on a 304-acre hillside overlooking the Heart of the City of San Marcos. The campus is located approximately half a mile east of the Discovery Village South Specific Plan area. CSUSM maintains a growing student population, with combined undergraduate and graduate program enrollment of over 10,000 students.

Relationship to University District Specific Plan

The University District is located directly north of the Discovery Village South and encompasses approximately 195 acres with several legal parcels, including the Fenton/ Scripps parcel which is directly north of the Discovery Village South. The University District Specific Plan was first adopted in 2009 and amended in 2014 and serves as an amendment to the Heart of the City Specific Plan. The primary goal of the specific plan is to create a "university village" atmosphere, with a pedestrian-friendly, mixed-use center and a variety of housing types.

Relationship to Discovery Hills Specific Plan

The Discovery Hills Specific Plan area is a built, predominantly single-family residential master-planned community located directly south and west of the Discovery Village South.

Relationship to Heart of the City Specific Plan

The Heart of the City Specific Plan was first adopted in 1988 and encompasses 1,331 acres and five geographic planning areas (each with their own specific plan), including the University District Specific Plan area. The planning area is directly southeast of the Discovery Village South. The Cal State University San Marcos campus is in the Heart of the City Specific Plan. The village is adjacent to and outside the Heart of the City Specific Plan.



Figure 3 - Concept Illustrative*

*This map is conceptual and is shown for illustrative purposes only; see Figure 4 for Land Use Map and Site Development Plan SDP-17-006 for additional detail

Type A - Single Family Detached	Existing and Planned Bus Stop
Type B - Motor Court	Existing and Planned Public Trail
Site Boundary	

A. Overall Concept and Vision

The Discovery Village South neighborhood is envisioned as a compact, well-connected and context-sensitive residential community nestled between the Creek District and University District in the City of San Marcos. Homes are clustered and oriented around open space amenities as the development follows the knolls and valleys that characterize the site. Paseos and Greenways connect residents to their homes, common areas, each other and to nature. Defined entrances and corners of the community accentuate a sense of arrival and the clear circulation design of the village connects residents to all parts of the community and back to Discovery Street. Trails, bicycle facilities and pedestrian paths provide access to the Creek District Specific Plan and University District Specific Plan. The key organizing elements of Discovery Village South are illustrated and described in detail on the following pages.

B. Project Objectives

The Specific Plan implements the goals of the City of San Marcos General Plan through the following objectives:

- Provide residential uses in the City, near and within walking distance to community resources (such as transit, medical, educational, employment and commercial uses);
- Focus residential development around open space amenities to establish a clear sense of place and a community spirit;

- Provide a choice of housing products and a variety of building architecture for greater visual diversity and to establish distinct areas within the village;
- Balance development with a respect for the topographic and natural resources of the site;
- Provide pedestrian trails, paseos, and bicycle facilities that link homes with common amenity spaces, open space and the surrounding community;
- Establish clear entry gateways into the village from Discovery Street, and align the main entrances of the village with planned intersections in the University District Specific Plan;
- Allow access and views to the San Marcos Creek from the northwest corner of the village, creating defined edges and an open space connection through the site;
- Provide a clear circulation network of private drives that connect directly to a pedestrian-friendly central loop road and to the two primary gateways to the village;
- Respect adjacent medical and residential uses existing in the area to the south of the village with landscape buffers, building setbacks and enhanced fencing along the southern edge of the village;
- Maximize the potential for surrounding valley and mountains views from the village.

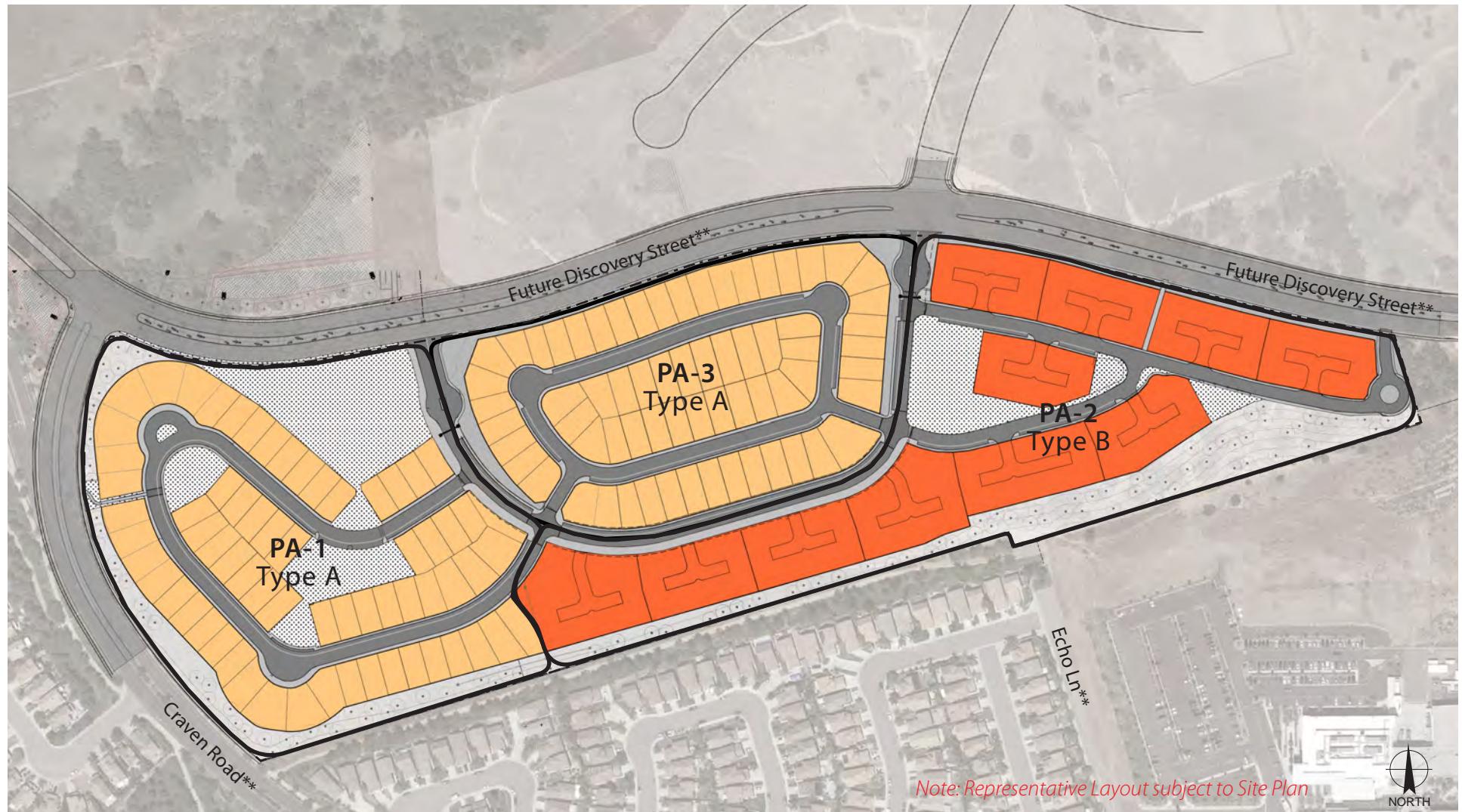


Figure 4 - Land Use Map

*This map is conceptual and is shown for illustrative purposes only; see Site Development Plans - SDP-17-006 for additional detail.

** Discovery St., Echo Ln. and Craven Rd. are not a part of the Discovery Village South Specific Plan Development.

- Type A - Single Family Detached
- Type B - Motor Court
- Proposed Main Open Space

C. Land Use

The vision for the Specific Plan is to develop a residential community with a unique sense of place and a natural connection to its surrounding environment. A mix of two housing types are proposed for the area. Type A is compact single-family on small lots. Type B is motorcourt single-family arranged around shared driveways (see Figure 4). The distribution of land uses is based on the concept of neighborhood clusters, centered around open space amenities and connected by a loop road and pedestrian paseos. Topography and natural features help to further define distinct areas within the Specific Plan, with the concentration of Type A uses in the central areas of the site, and Type B uses on the two ends of the community. Type B – motorcourts are deliberately located close to higher intensity areas, where a strong connection can be made to the University District, the Cal State University San Marcos campus, and transit. Other uses include natural open space, recreation space, and community amenity space, dispersed evenly throughout the community.

Land Use Development Intensity

The Specific Plan allows a maximum of up to 230 residential dwelling units across the entire village (See Table 1). For permitted, prohibited and conditional uses in the village, see Table 2 on page 29. For a detailed breakdown of acreage and density by Type, see Table 3 on page 29.

Land Use Policies

The following land use policies shall apply to future development within the Discovery Village South:

- Organize Type A and Type B uses into clusters, focused on open space and village amenities and a clear circulation system;
- Provide landscaped buffer and setback between Type A and Type B uses and adjacent residential communities;
- Site open space and village amenities such that they are centrally located to each residential cluster and easily accessible to all residents in that cluster;
- Locate prominent village spaces close to the primary entrance gateways to the Discovery Village South;
- Focus higher density, Type B uses on the eastern portion of the Discovery Village South.

Table 1 - Planning Areas

Planning Area	Specific Plan Land Use	Gross Acreage	Dwelling Units
PA-1	Type A - Single Family	13.80	66
PA-2	Type B - Motorcourt	14.74	89
PA-3	Type A - Single Family	10.47	65
Project Totals		39.01	220*

* Max of up to 230 allowed and consistent with MND

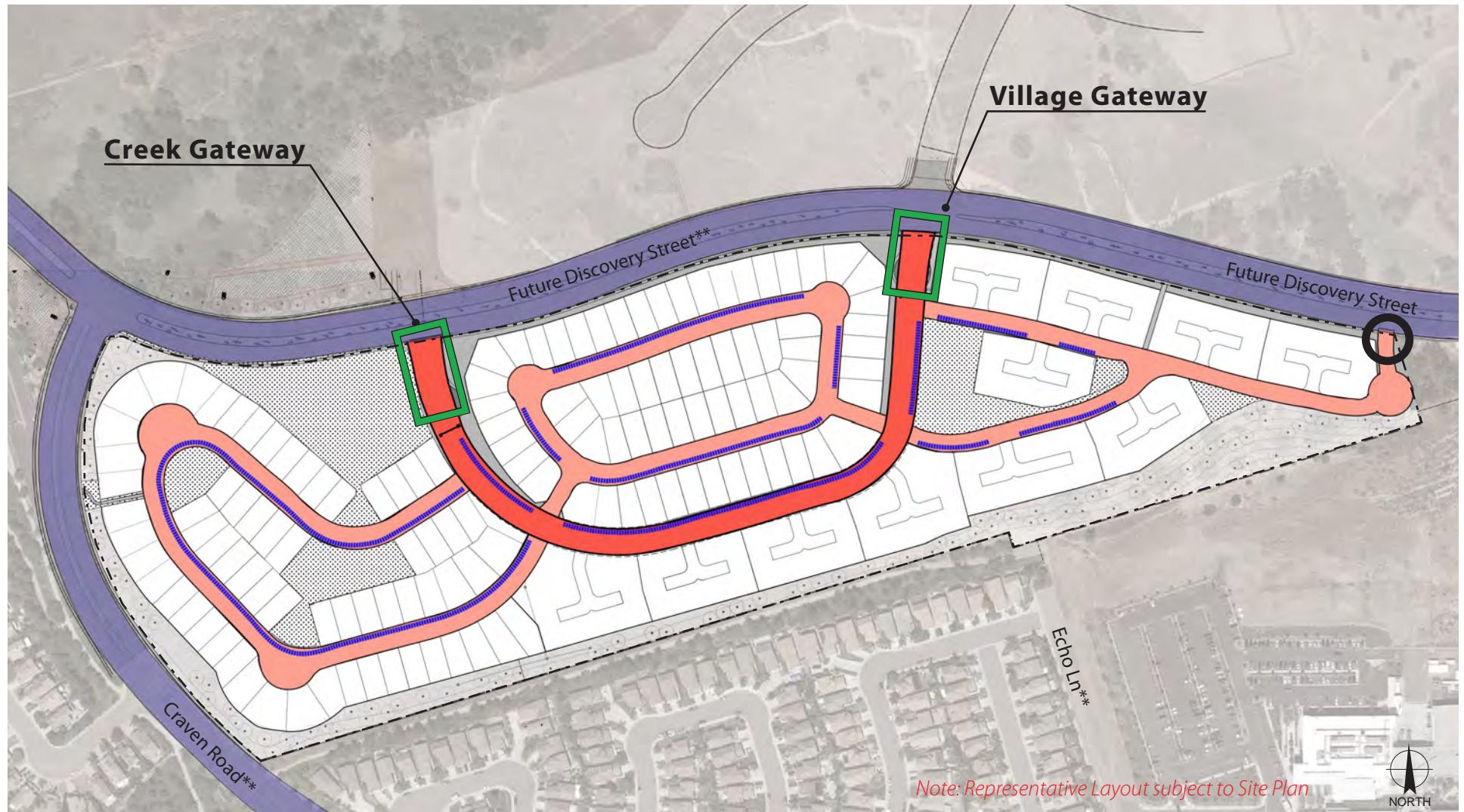


Figure 5 - Street Designations and Parking Plan

*This map is conceptual and is shown for illustrative purposes only; see Site Development Plans - SDP-17-006 for additional detail.
** Discovery St., Echo Ln. and Craven Rd. are not a part of the Discovery Village South Specific Plan Development.

	Public Road		Loop Road - Private
	Residential Street - Private		Potential Street Parking
	Main Gated Entry and Emergency Access		Emergency Access and Exit Gate
	Proposed Main Open Space		

D. Circulation

The Specific Plan shall be accessed via two street connections to Discovery Street, an unbuilt section of the City's circulation element, which will be constructed concurrent with the grading of this development. Discovery Street is a four lane major arterial that begins at Twin Oaks Valley Road, and when built, will continue west to Craven Road.

The regional circulation to and from the Specific Plan begins with Discovery Street. When built concurrent with this project, it will extend east to connect to the existing Discovery Street at Rush Drive. To the west, Discovery Street (new) will join existing Discovery Street at the Intersection of Bent Ave, and Craven Road. From that point west, Discovery Street will be constructed to a four lane road by the adjacent Creek District Project.

The Specific Plan envisions a clear circulation system of private streets, defined by a primary Loop Road that provides a backbone of access and connectivity to the community from Discovery Street, and secondary Residential Streets that stem from the Loop Road and, in turn, connect back with it.

On site, circulation will be provided on a system of private streets (See Figure 5; the exact location and design is depicted on the approved Site Development Plans - SDP-17-006). In general, these on-site streets will have on-street parking, provided at 0.33 spaces per residential unit. Streets will include street trees, pedestrian connections and other features as shown on Figures 5, 6, and 9. Bicycle facilities are provided in the community and connect to bicycle infrastructure on Craven Road and Discovery Street. NCTD Bus service is provided on Craven Road, connecting to the LRT station at CSUSM. In addition, Discovery Street is envisioned in the General Plan and the University District Specific

Plan to be included in an Intra-City Shuttle service that would connect Discovery Village South with CSUSM, the University District and the San Marcos Creek District. These circulation components will allow Discovery Village South to offer multiple modes of transportation and mobility connections to the key resources and destinations in the City of San Marcos.

Discovery Street & Craven Road

Discovery Street and Craven Road are identified in the General Plan as Four-Lane Arterial Roadways with Class II or III Bicycle Facilities and Sidewalks.

Defined Entrances

Access to Discovery Village South is provided off Discovery Street, from a primary and secondary entrance, aligned with entrances to the University District and a future planned Grand Avenue bridge/road extension. These entrances are envisioned as gateways to the community, with enhanced landscape, entry signage and direct access to open space and community amenities (see figure 5). The west entrance will lead to natural open space and provide a view corridor to the surrounding environment. The east entrance will lead to a community amenity and convey a more formal feel.

Loop Road

The Loop Road is a private residential street, designed in accordance with Figure 5. The Loop Road serves as the primary east-west connector in Discovery Village South and provides access to and from Discovery Street. It is designed to accommodate on-street parking, a Class 1 bicycle path, non-contiguous sidewalks and tree-lined parkways.

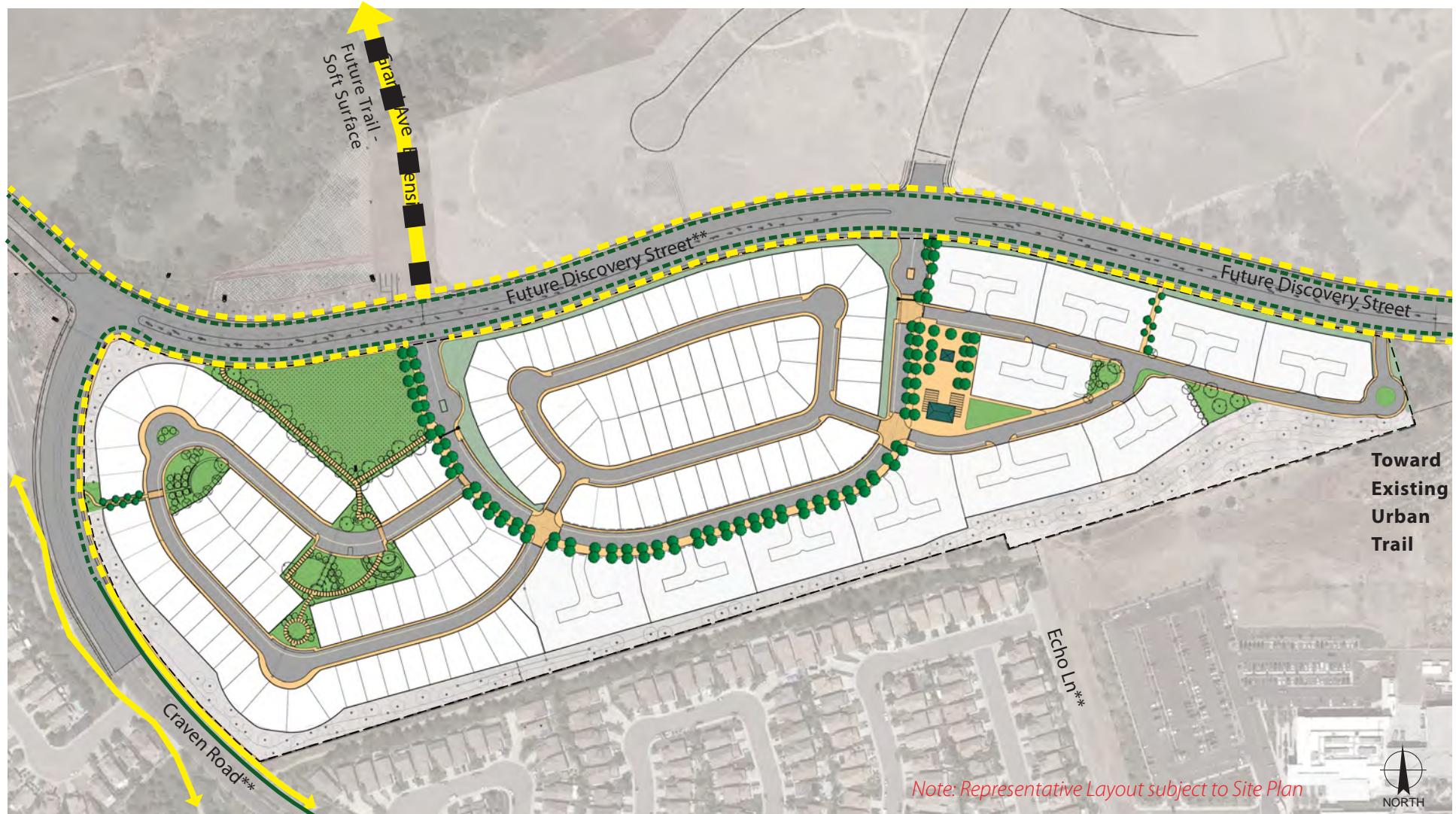
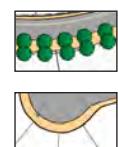


Figure 6 - Pedestrian and Bicycle Paths and Trails

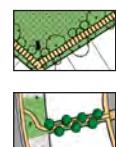
*This map is conceptual and is shown for illustrative purposes only; see Site Development Plans - SDP-17-006 for additional detail.

**Discovery St., Echo Ln. and Craven Rd. are not a part of the Discovery Village South Specific Plan Development.

- Future Pedestrian Trail
- Existing Pedestrian Trail
- Future Bicycle Facilities
- Existing Bicycle Facilities



Proposed Bike & Pedestrian Path



Proposed Trail



Proposed Sidewalk



Proposed Paseo

Pedestrian and Bicycle Linkages

Discovery Village South provides a connected, pedestrian and bicycle-friendly community with links to surrounding communities, city amenities and transit (see Figure 7 & 8). Class 1 Bicycle facilities are integrated into the design of the Loop Road, connecting the residential clusters to Class 1 facilities planned for Discovery Street. Pedestrian access is provided through non-contiguous sidewalks along the Loop Road and contiguous sidewalks on Residential Streets. In addition, pedestrian paseos located between Motorcourts and at key points in the community link residents to an expanded network of trails that lead to the creek and to transit. A greenway connects the through the community from Craven Road to the secondary entrance on Discovery Street and the creek.

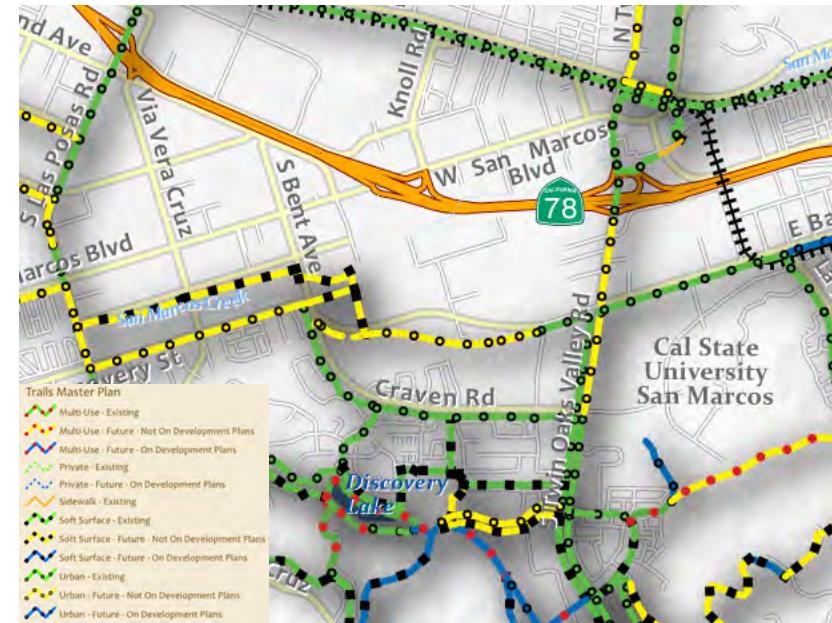


Figure 7 - General Plan Bicycle Facilities

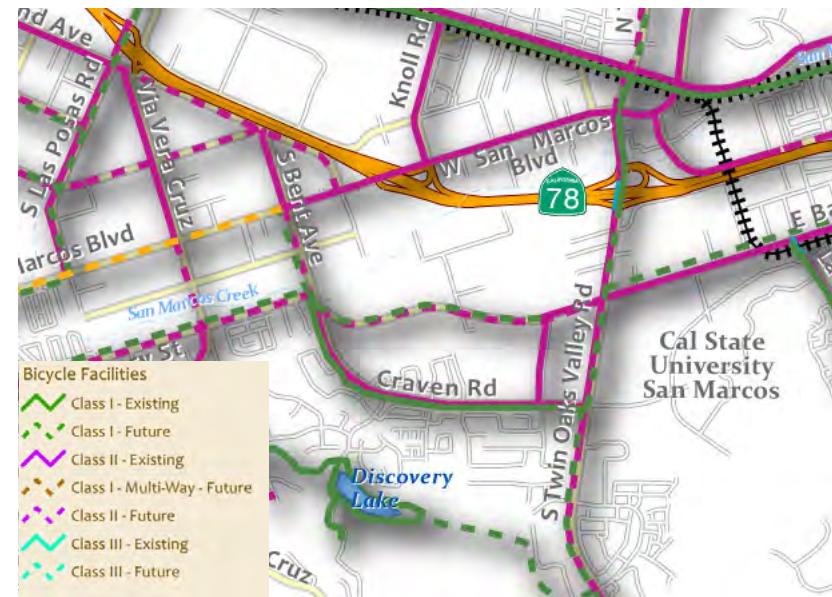


Figure 8 - General Plan Trails

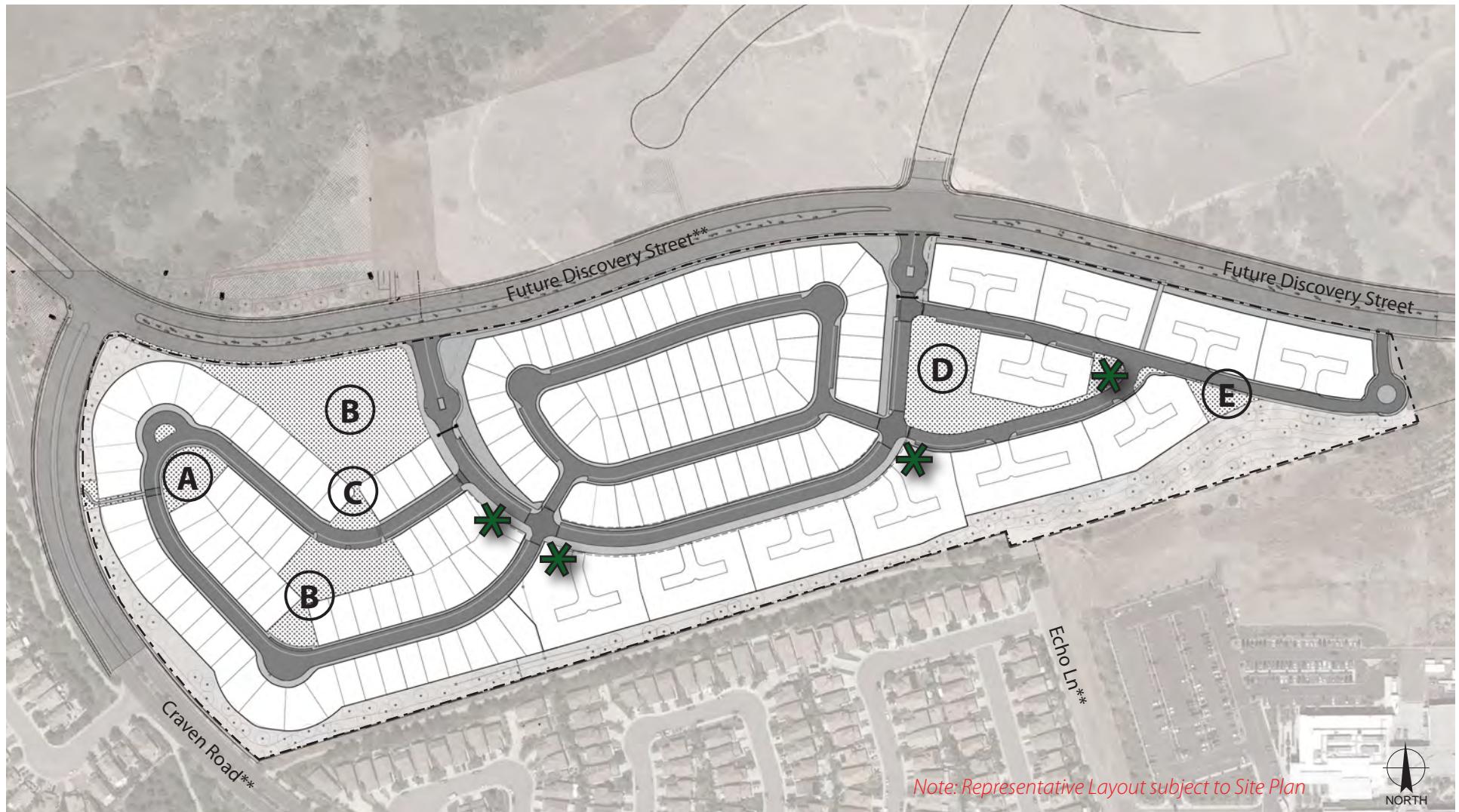


Figure 9 - Park and Open Space Locations

*This map is conceptual and is shown for illustrative purposes only; see Site Development Plans - SDP-17-006 for additional detail.

**Discovery St., Echo Ln. and Craven Rd. are not a part of the Discovery Village South Specific Plan Development.

A-Passive Open Space
0.2 AC Min.

B & C- Recreation Open Space
1.9 AC approximately (incl. Retention Basin)

D- "Ceremonial" Entry Open Space
0.7 AC Min.

E- Active Open Space
0.15 AC Min.

* Streetscape Open Space
Less than 0.15 AC

E. Open Space

This chapter describes the Discovery Village South open space concept and provides policies that further that concept. The Discovery Village South open space locations are shown on Figure 9 and include a variety of community open space areas anticipated in the Specific Plan area, along with supporting amenities in the community.

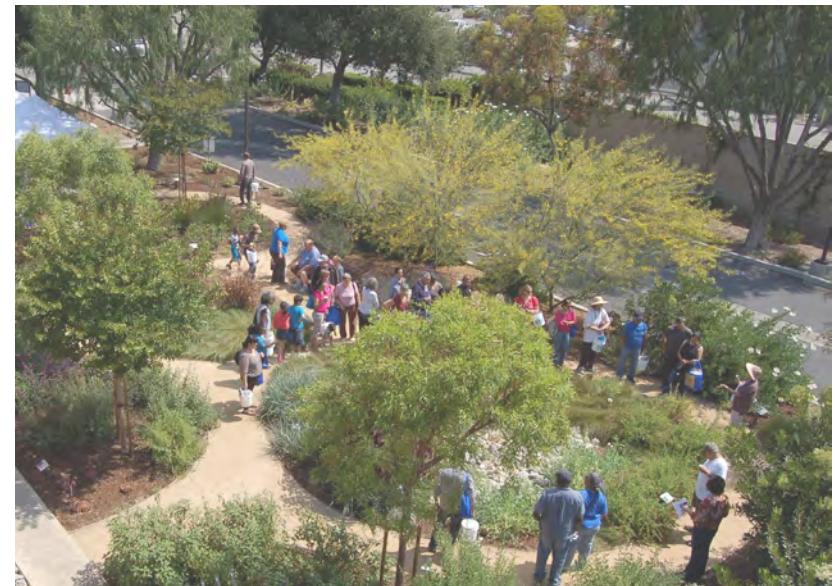
Open Space Concept and Descriptions

Discovery Village South is designed to provide no less than 2 acres of common passive and active open space distributed throughout the village. As shown on Figure 9, a diversity of open spaces and community amenities will be made available within walking distance from every home. The acreages noted in Figure 9 are approximate estimates and the bio retention area may be counted towards passive open space in the village, if features are provided to enjoy the passive area (such as benches, tables, paths, etc.). Green corridors weave into the community and provide storm water treatment and a connection to the surrounding environment. A Central Commons serves as the ceremonial community amenity space, with a shaded plaza and recreational amenities, including a swimming pool. At either end of the community, pocket playgrounds and green spaces provide a place for neighbors to gather and a visual relief and place of respite.

Future Parks in the surrounding area include the future Knoll, East Creek and West Creek parks that will be constructed with the University District, west of Twin Oaks Valley Road, on the north side of Discovery Street.

A. PASSIVE OPEN SPACE

- Intimate and quiet space for passive play area
- Natural Landscape character
- Preferred location for: Community flower/ vegetable garden / citrus grove / butterfly and hummingbird garden
- Art Opportunities
- Furniture Type: trellis and shaded benches, individual chairs, picnic table, park BBQ grills, trash receptacles, dog waste station



Example of Passive Open Space

B & C. RECREATION OPEN SPACE WITH "NATURAL" CHARACTER

- Primary Open Space of the Community
- Provides a view corridor toward the creek and hills and echoes the Creek Landscape
- Integrates storm water facilities and retention basins
- Primarily passive open space with nature trails
- Allows small scale play area, yoga and meditation lawn
- Furniture Type: Benches, trellis shaded benches, picnic tables, individual chairs, BBQ grills, trash receptacles, dog waste station



Example of Recreation and Natural Open Space

D. "CEREMONIAL" ENTRY OPEN SPACE

- Primary formal Open Space of the Community and part of the "Village Gateway" experience
- Plaza Character with shaded structure and mature tree canopy
- Active Open Space suitable for community gathering and Play Area
- Preferred location for Community Recreation Facilities (swimming pool, club house, group activities room, open lawn play area, tot-lot..)
- Art Opportunities
- Furniture Type: large shade trellis with group seating, picnic tables and park BBQ grill, trash receptacles, dog waste station



Example of Ceremonial Entry Space

E. ACTIVE OPEN SPACE

- Preferred location for a Dog Park
- Mature trees
- Fenced Area (fencing around Dog Park shall provide a black vinyl coating/ finish)
- Furniture Type: Benches, trash receptacles, dog waste station



Example of Active Open Space

STREETSCAPE OPEN SPACE

- Small scale open space connected to the sidewalk that enhance the street-scape and provide pedestrian halts
- Passive lawn play area
- Tot-Lot play area
- Furniture Type: Benches, shaded seat walls, shade trellis with bench seating, picnic tables



Example of Streetscape Open Space

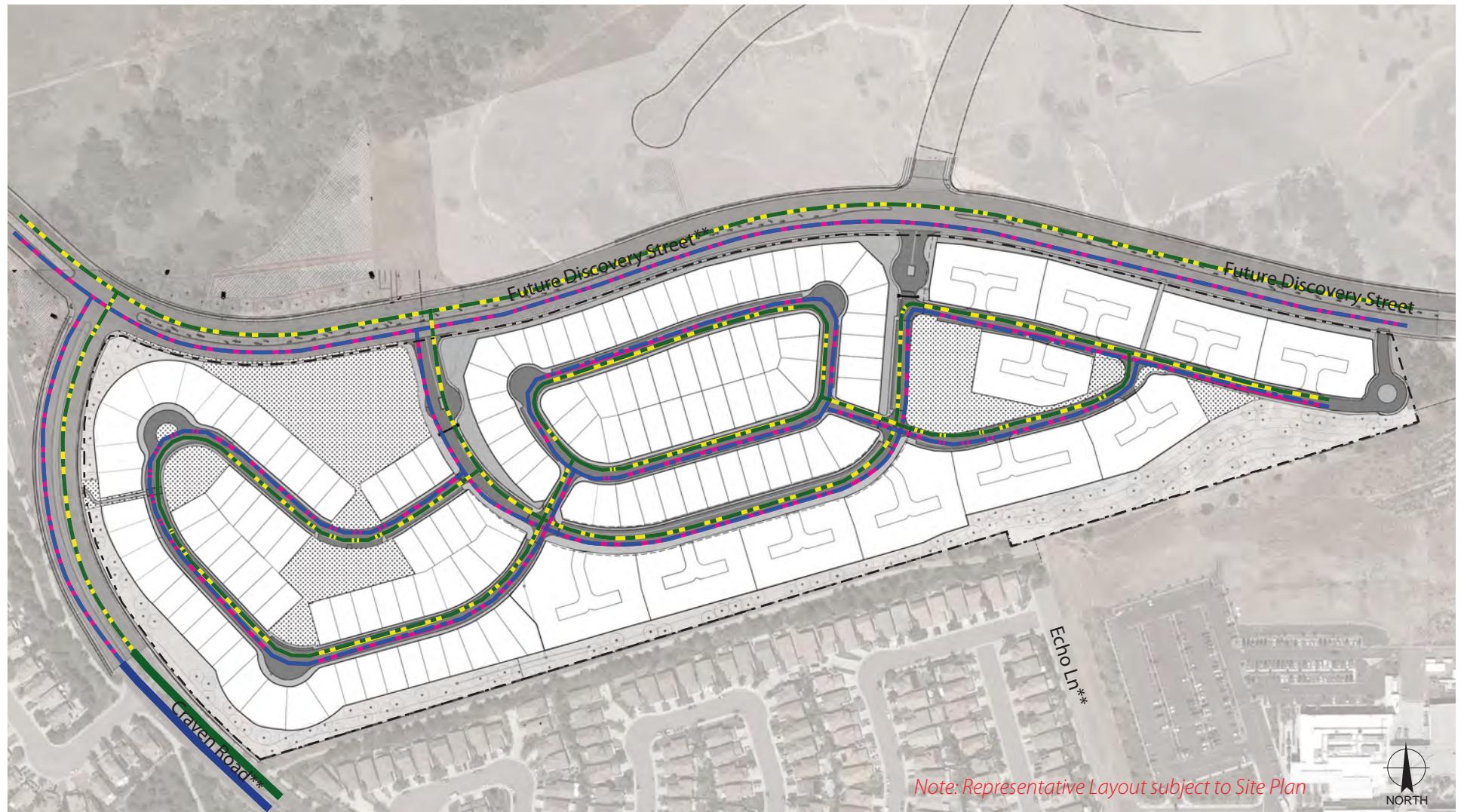


Figure 10 - Main Water and Sewer Network Diagram

*This map is conceptual and is shown for illustrative purposes only;

see Site Development Plans - SDP-17-006 for additional detail.

** Discovery St., Echo Ln. and Craven Rd. are not a part of the Discovery Village South Specific Plan Development.

F. Public Facilities

Introduction and Applicability

Infrastructure improvements necessary within the Specific Plan Boundary and surrounding area include extensions of existing water, sewer, and roadways. New storm drains, and associated drainage improvements are also planned.

These improvements are intended to implement the concepts shown in City Master Plans, the General Plan, as well as planned facilities of adjacent developments. The infrastructure outlined within this subsection are conceptual, and show how water, sewer and drainage systems will be incorporated into the development area of the SPA, as well as adjacent existing and planned development to assure adequate levels of service, as well as points of connection for future developments in the area. The concepts shown in this subsection are subject to revision, based on Tentative Map phasing, and specific needs as may be identified in final design engineering.

Water

Water service to the site will be provided by Valecitos Water District (VWD). As shown on Figure 10, there is existing "backbone" facilities on both the east and west, both of which will serve as points of connection (POC's). Water will be extended to serve the site within the extension of Discovery Street, which fronts the Specific Plan. Tee's will be provided at the two project entrances from Discovery Street, and will also provide point of connection for the Discovery Village North (within the University District), on the north side of Discovery Street.

Specific line sizes will be dependent on future engineering studies, but are expected to be in the 8 to 12 inch line size range.

Sewer

Sewer service to the site will be provided by Valecitos Water District (VWD). As shown on Figure 10, there is existing

"backbone" facilities to the west, within Bent Ave, north of Discovery Street. Sewer will be extended east, uphill, to gravity serve the site within the extension of Discovery Street, which fronts the Specific Plan. Manhole stubs will be provided at the two project entrances from Discovery Street, and will also provide point of connection for the Discovery Village North, on the north side of Discovery Street.

Specific line sizes will be dependent on future engineering studies, but are expected to be in the 8 to 12 inch line size range.

Water and Sewer Design Standards

Both Water and Sewer line will be designed in accordance with the standards and specifications of VWD.

- The proposed lines will be built within existing and proposed rights of way, or within easements, in the case of on site private streets.
- Water and sewer service will be in place and operational, within the portion of Discovery Street that fronts the Specific Plan, prior to occupancy of any buildings. On site water and sewer may be phased, depending on the buildout of the site, but no building shall be occupied without water and sewer capacity to the building.

Police Service

The City of San Marcos contracts the County Sheriff to provide police protection, which will also cover the project site. The San Marcos Station will provide police protection for the project and is located approximately 2 miles from the project site.

Fire Protection

The San Marcos Fire Department (SMFD) provides fire protection services and emergency first response services to the project site and to approximately 85,000 people within the San Marcos Fire Protection District (SMFPD). The Fire Department currently operates four fire stations and a regional emergency

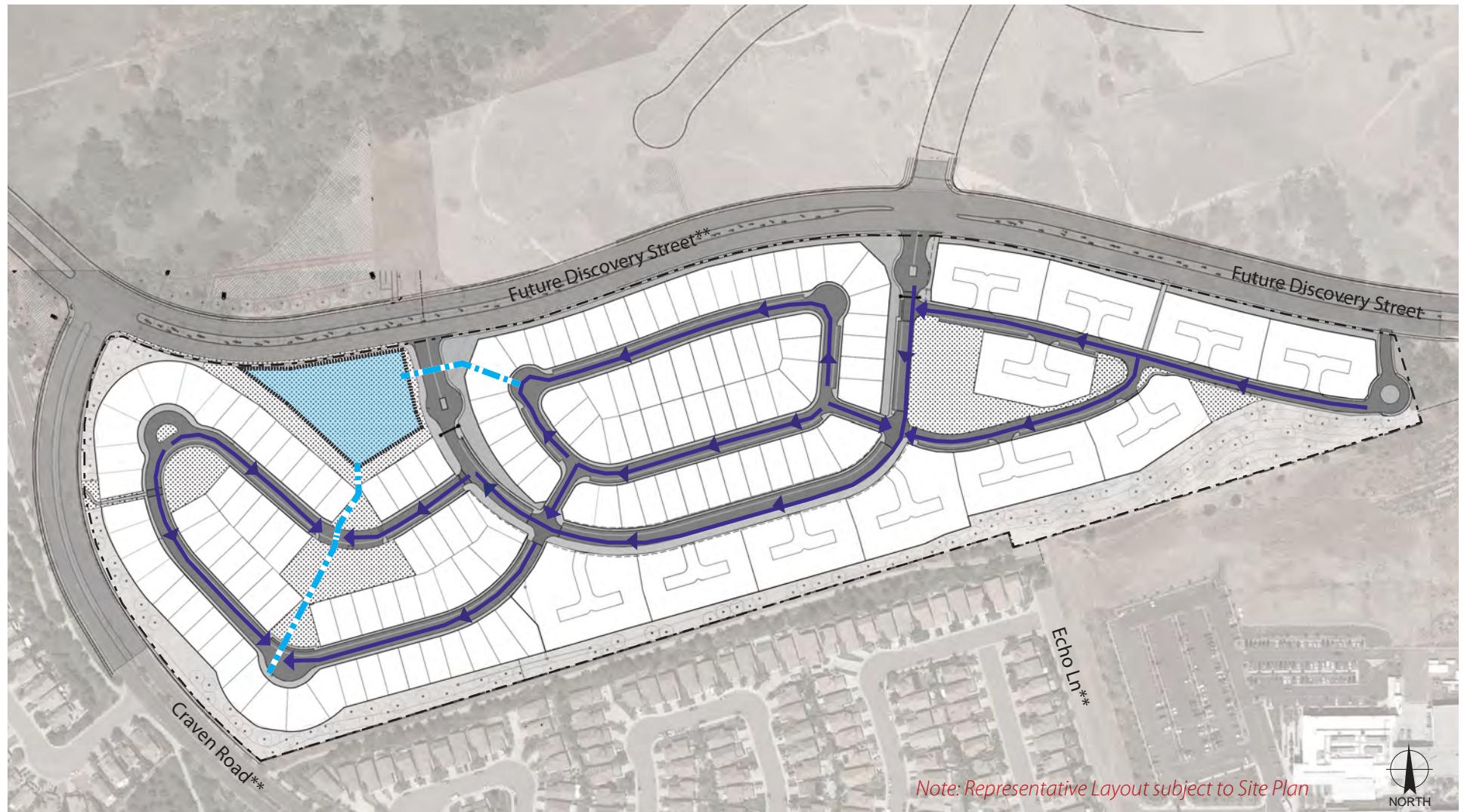
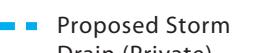
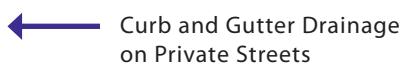


Figure 11 - Main Drainage Network Diagram

*This map is conceptual and is shown for illustrative purposes only; see Site Development Plans - SDP-17-006 for additional detail.

**Discovery St., Echo Ln. and Craven Rd. are not a part of the Discovery Village South Specific Plan Development.

-  Proposed Treatment Basin (Private)
-  Proposed Storm Drain (Private)
-  Curb and Gutter Drainage on Private Streets

services training facility. All stations are within approximately 2.5 miles of the project site, with the nearest station within one mile at W. Mission Rd.

Gas & Electric

Within the project vicinity, gas and electric services are provided through San Diego Gas and Electric facilities. Gas and electric service will be extended to serve the site within the extension of Discovery Street, which fronts the Specific Plan Area. All electric distribution facilities serving the project will be underground.

Schools

The project area is served by the San Marcos Unified School District, with Discovery Elementary, San Marcos Elementary, San Marcos Middle, Mission Hills High School and San Marcos High School all within close vicinity of the project site. It is anticipated the specific plan area will be served by existing facilities within the San Marcos Unified School District.

Public Parks

The project area is served by Discovery/ Lakeview Park, with 24 acres of open spaces, a playground, picnic area, 5 acre lake, 4 miles of trails and a splashable fountain. In addition, the Specific Plan envisions the village will provide village open space with a variety of amenities, including a swimming pool, playground and picnic areas for the village residents.

G. Drainage

A preliminary drainage study has been prepared for the specific plan, and is included with the Tentative Subdivision Map submittal (TSM 16-003). The general location of major, offsite, regional drainage facilities are shown on Figure 11. Onsite storm drain facilities shall be private, the locations of which are generally shown, but subject to revision when separate, site plans are processed which show more development detail.

All drainage facilities are located based on existing drainage

patterns, and are intended to compliment proposed drainage facilities planned (but not yet built) by adjacent developments.

The drainage facilities are designed in consideration of the following goals:

- Incorporate LID / water quality features onsite, through a combination of site specific and regional methods.
- Water quality features will include a combination of controls within each lot or home-site, as well as the downstream area of the project(s) where a regional treatment facility will be implemented.
- Water quality features are to include swales, bio-retention basins, and mechanical treatment

Drainage Design Standards

Drainage design will be in conformance with the City of San Marcos' drainage master plan, and in concert with master drainage plans for the down stream proposed Creek District as well as the planned drainage of the upstream planned University District. There will be no increase in flows discharged into the San Marcos Creek.

- Detention basins, used for bio-retention, will be developed on the downstream side of each development area, to maintain pre developed flow conditions.
- The water quality system shall be consistent with the policy and goals of the City, and the Regional Quality Water Control Board permits.
- Water quality features of the development shall feed into regional basin (s), located on the downstream side of each planned development area.
- Incorporate Best Management Practices (BMP's) into all future development in a comprehensive manner, consistent with a master drainage study.

A. Land Use and Development Standards

Development in the village shall be governed by this section and by Tables 2 & 3 - Permitted Uses and Development Standards. The standards in this specific plan shall replace and take precedence over the base zone regulations of the City of San Marcos Zoning Ordinance for the subject property. Where the regulations of this specific plan are silent, the comparable regulations of the city zoning ordinance, and all adopted ordinances, regulations, standards, and guidelines of the City of San Marcos shall prevail, as deemed appropriate by the Planning Manager.

Where the development standards contained in the Discovery Village South Specific Plan conflict with development standards of the City of San Marcos Municipal Code, the standards contained herein shall apply.

Land uses in the village are divided into two zones: Type A provides for single-family detached homes on small lots. Type B provides for single-family detached arranged around a motorcourt (See Land Use Map - Figure 4).

Due to the physical constraints of the lots, accessory dwelling units shall be prohibited (See Site Development Plan - SDP-17-006 - for additional detail).

B. Design Objectives

This chapter describes the design standards that apply to circulation, parking, buildings and landscape in Discovery Village South. The intent of the design standards and guidelines is to ensure that implementing development projects are consistent with the following design goals:

- Buildings, landscape and open spaces support environmental sustainability.
- Buildings, open spaces, parking and circulation are designed to provide an orderly and visually pleasing environment with a sense of place.
- Development of the Discovery Village South results in a safe pedestrian environment, protects the privacy and security of adjacent residential uses, and is compatible with the character of existing residential neighborhoods.
- Buildings and landscape amenities are of a high design quality.
- On-site village amenities and facilities adequately serve the needs of the development's residents.



Recessed garage doors, enhanced paving and landscape help reduce the impact of garage doors

Table 2 - .

Permitted, Conditional and Prohibited Uses	Type A (PA 1 & 3)	Type B (PA 2)
Single-Family Dwellings	P	P
Courtyard Housing	-	P
Temporary Subdivision Sales Office Per Development Code	P	P
Group Care Facilities (more than 7 persons)	-	-
Nursery Schools	-	-
Churches	-	-
Clinics, Hospitals, Sanitariums, & Nursing Homes	-	-
Perennial & Private Schools	-	-
Private, Nonprofit Libraries, Art Galleries, & Museums	-	-
Private, Noncommercial Clubs & Lodges (fraternity, sorority homes, service clubs & similar uses)	-	-
Public Utility & Public Service Structures and Installations	-	-
Home Occupations (Office Use Only)	P	P
Family Care Facilities for Six Persons or Less	P	P
Incidental & Accessory Structures & Uses ¹	P	P
Keeping of Horses & Farm Animals	-	-
Commercial & Industrial Uses	-	-
Accessory Dwelling Units	-	-

P Permitted Use

- Prohibited Use

C Conditionally Permitted Use

1. Incidental and Accessory Structures and Uses include barbecues, fire pits, water features, detached shade structures, gazebos, cabanas, storage sheds, pool and/or spa and related equipment or workspaces.

2. Lot width and depth on **Type A** configuration may be increased or decreased when street design constraints such as: street bulbs, corners and/or curves, demonstrate that a lot width or depth is not feasible, however, min. lot area, setbacks and other development standards apply. These deviations to be shown on a Site Development Plan and are subject to the Planning Division Manager's determination. Minimum lot width and lot depth in **Type B** configuration is based on a 8-plex module. Modules may vary in some locations, however, min. lot area, setbacks and other development standards apply as depicted on Figure 15.

Table 3 - .

Development Standards	Type A (PA 1 & 3)	Type B (PA 2)
Configuration	Front Loaded Single-Family Detached	Motorcourt Single-Family Detached
Acreage/ Number of Dwelling Units	24.27/131	14.74/89
Gross Density	5.40	6.04
Min. Lot Area	4,050 SF	2,776 SF
Min. Lot Width ²	45'	229'
Min. Lot Depth ²	90'	128'
Min. Front Setback from Back of Sidewalk or Property Line	10'	10'
Min. Street Side Setback from Back of Sidewalk or Property Line	10'	10'
Min. Side Setback from Property Line	5'	7.5'
Min. Front Garage Setback from Back of Sidewalk ³	16'/18'	16'/18'
Min. Rear Setback from Property Line	10'	7.5'
Height Limit	35'	35'
Min. Setback from Enhanced Architectural Projection to Back of Sidewalk, Rear Property Line or Adjacent Structure ⁴	7.5'	7.5'
Min. Setback from Incidental & Accessory Structures & Uses to Property Line	5'	5'

3. Minimum garage area shall be 20'x20' free and clear of any obstructions. The front yard setback for Type A is 16' from the back of sidewalk for garage facade and 18' from back of sidewalk for the garage door. The front yard setback for Type B is 16' from the fire lane/ access drive for garage facade and 18' from the fire lane/ access drive for the garage door. These setbacks shall not impede ADA access.

4. Enhanced Architectural Projections may include: projected roofs, chimneys, bay windows, front porches and other architectural pop-outs, pending approval by the Planning Division Manager.

Figure 12 - Type A Single-Family - Standard Layout and Maintenance

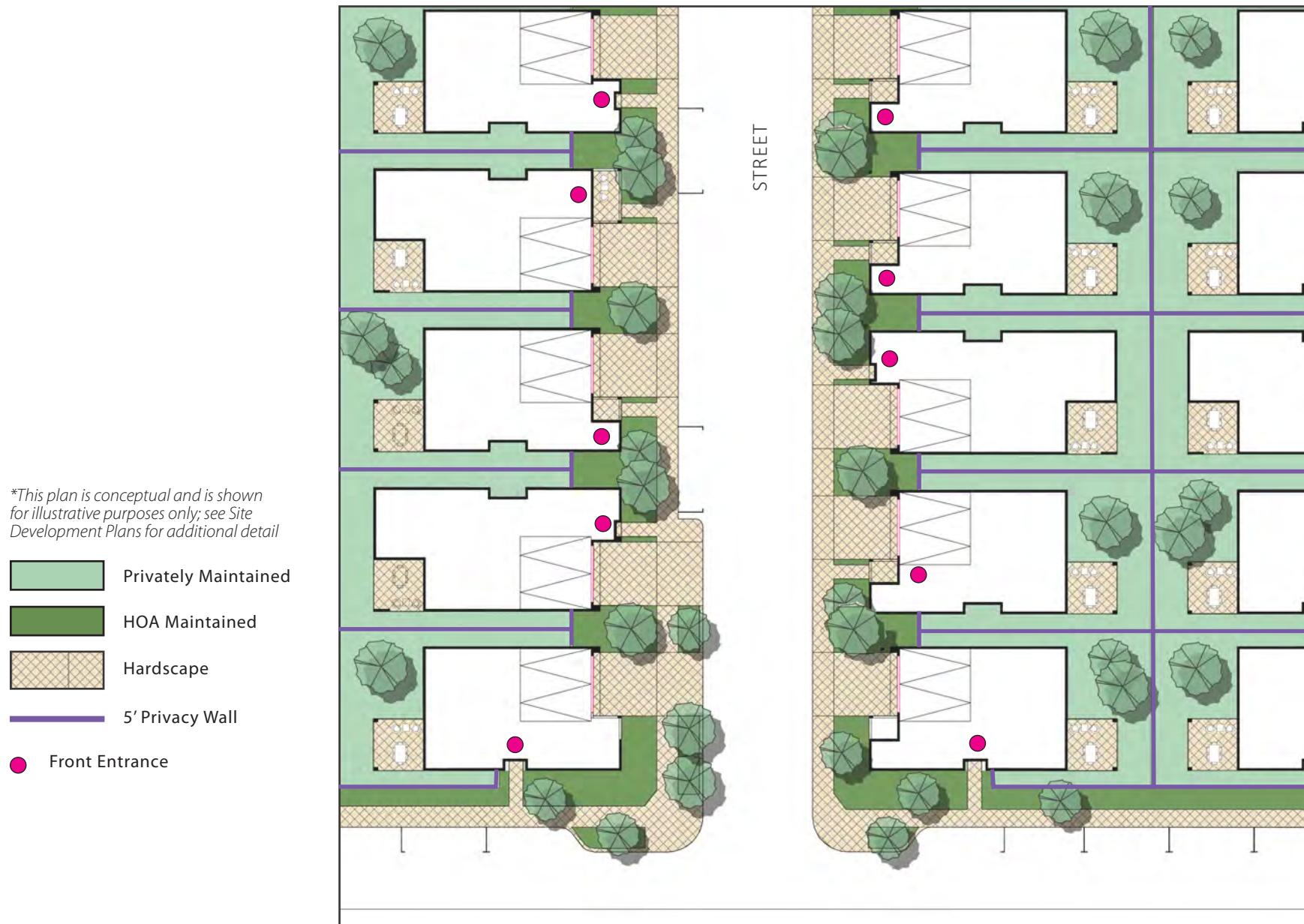


Figure 13 - Type A Single-Family - Standard Lot Plan and Minimum Setbacks

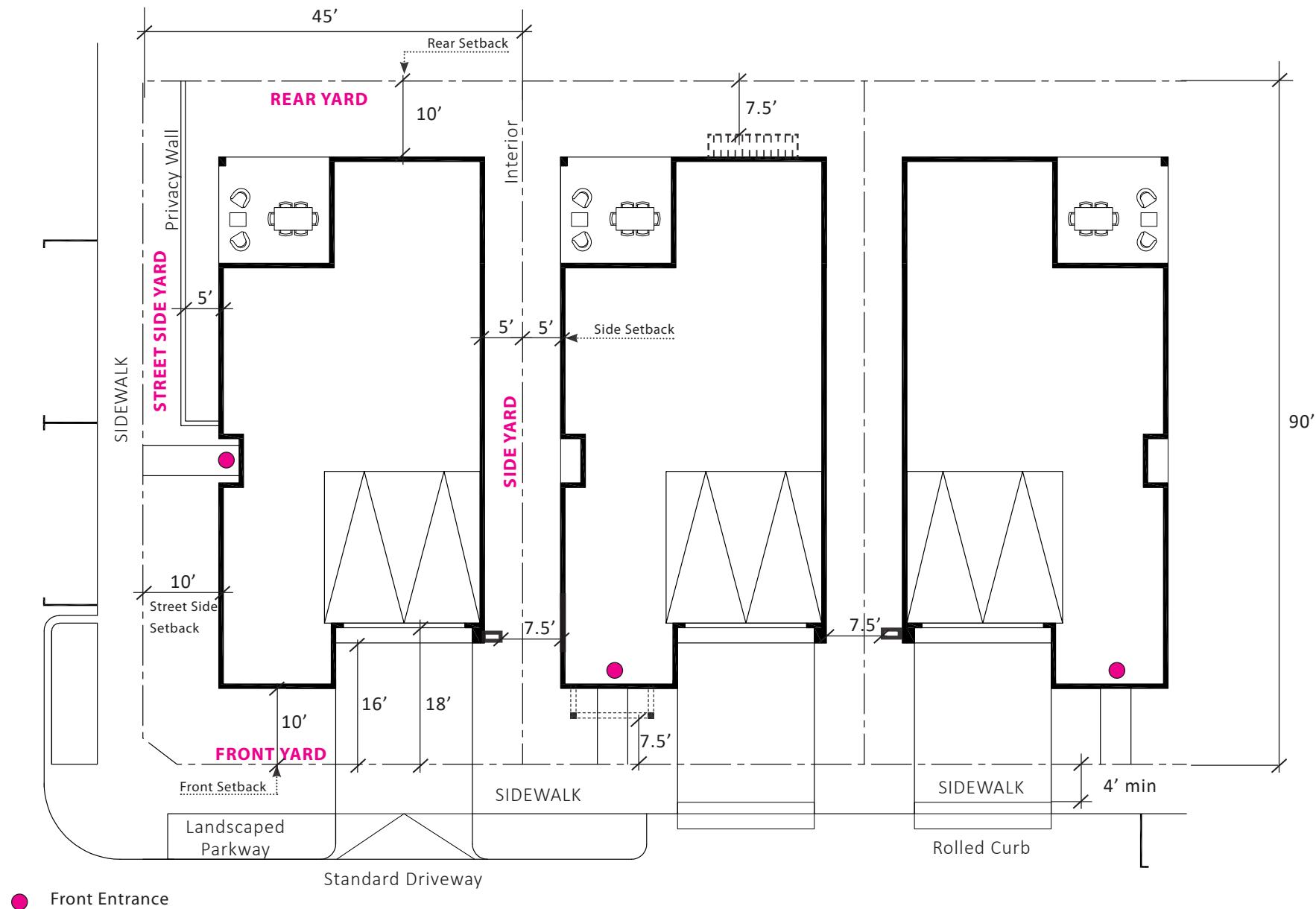
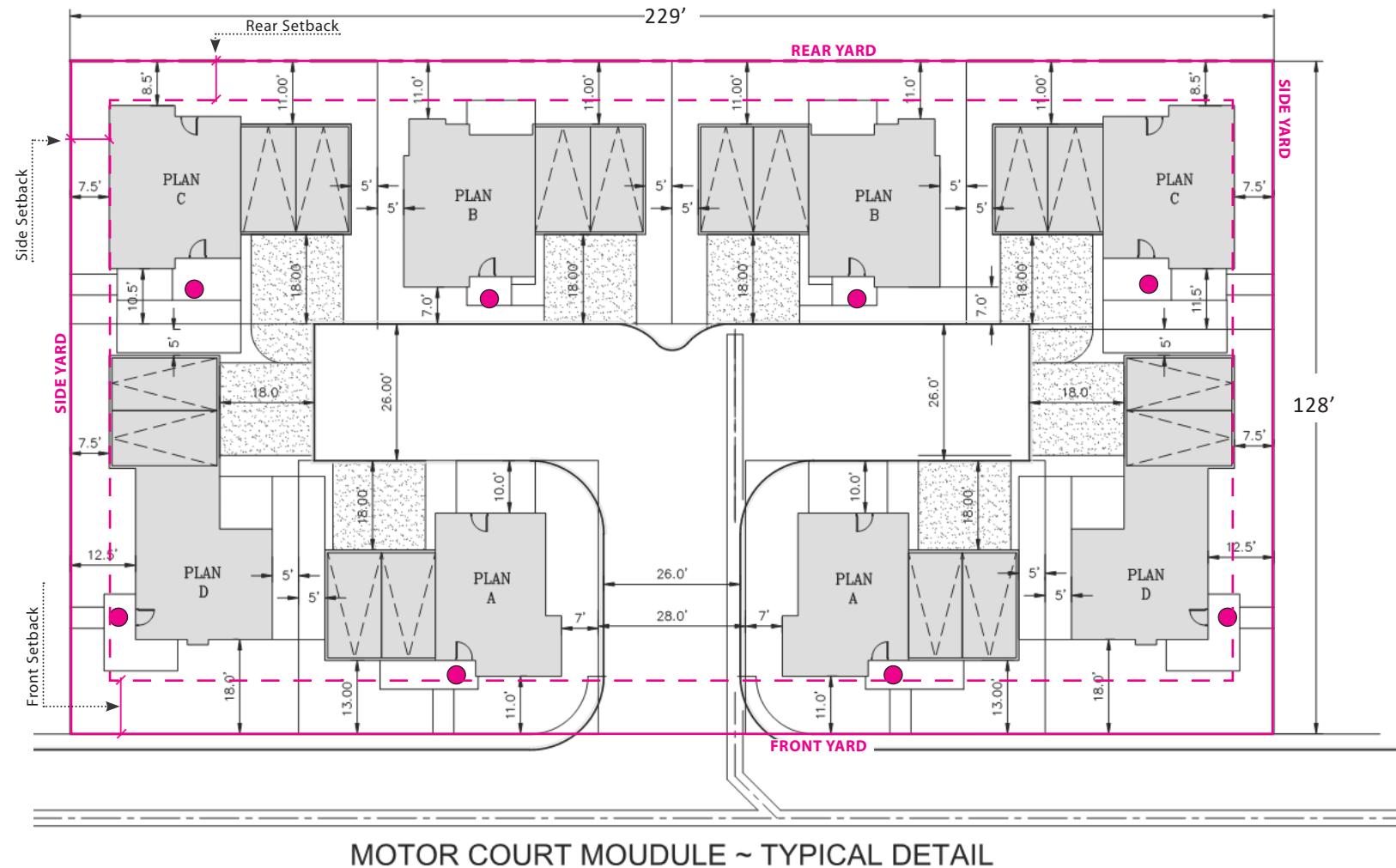


Figure 14 - Type B Motorcourt - Standard Layout and Maintenance



Figure 15 - Type B Motorcourt - Standard Lot Plan and Setbacks



- Front Entrance / Front Elevation

C. Architecture

This chapter describes the design standards that apply to architectural design in Discovery Village South. The intent of the design standards and guidelines is to ensure that implementing development projects are consistent with the design goals of the Discovery Village South Specific Plan .

Building Siting & Orientation

1. Houses should be oriented and relate directly to streets, internal drives and the surrounding neighborhood and generally create an attractive presence.
2. Doors and windows should face and be visible from paseos and internal streets to allow residents to have "eyes on the street" for natural surveillance.
3. Houses should be designed and arranged on site so as to create well-defined open spaces and common areas. For example, buildings can be clustered around courtyards, greenways, paseos and plazas.
4. Communal open space and recreational areas should have a minimum width of 20 feet. Paseos should have a minimum width of 15 feet as shown on SDP 17-006.
5. Houses should be designed to maximize equal access to daylight, views, open space, and other amenities.
6. Informal outdoor gathering areas and pedestrian nodes that can function as community gathering spaces should be created and incorporated into the overall site design. These areas should relate to the development's common facilities, such as the play areas, paseos, barbecue area, and community buildings.

Building Form, Character & Articulation

1. Houses shall incorporate architectural elements, such as bay windows, porches, projecting eaves, awnings, and similar elements, to add visual interest and reduce the scale and mass of the building.
2. All houses shall incorporate detailed elements, such as recessed windows, decorative panels, color accents, offsets and framed openings to reduce their visual bulk and scale.



Single-family homes oriented toward the street with windows & entrances directly facing the street contribute to a more positive street experience



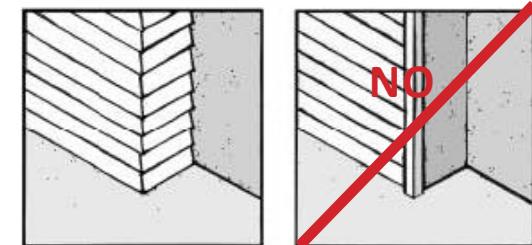
Single-family homes oriented toward a paseo/ common open space

Building Mass

1. Masses shall be derived from proportionally varied rectangular or spherical volumes.
2. Long, unbroken faces without offsets are not allowed. Offsets and breaking up of building mass shall be provided and articulated.
3. Unit depths should be varied to provide interesting front and rear setbacks, especially at corners.
4. Entries shall be individualized and identifiable elements of the building massing.
5. One-story plans and one-story elements of two-story buildings are encouraged to soften building massing.
6. Massing should be made up of simple bold forms with interior spaces relating to the form of the exterior elevations.

Materials and Colors

1. The homes, village facilities, and other structures in the village should be unified by complementary building materials, textures, and colors. Exterior columns or supports for site elements, such as trellises and porches, should utilize materials and colors that are compatible with the rest of the development.
2. Building materials should be durable, require low maintenance, and be of high quality.
3. Color should be used as an important design element in the village's appearance. The predominant colors for main buildings and accessory structures should be limited, should match, and should be generally consistent with an overall color theme for the development. Compatible accent colors are encouraged to enhance important building elements.
4. The color of relief, decorative trim, and wood frames should be distinctive yet compatible with the overall building color.
5. Materials such as brick, stone, copper, etc. should be left in their natural colors. Such materials should not appear thin and artificial. Veneer should turn corners and avoid exposed edges.
6. Finishes should be non-reflective. The use of reflective glass should be restricted. Mirrored glass should be prohibited.
7. Applicant/ Developer will be required to submit a materials board for review and approval under the Site Development Plan prior to issuance of a building permit.



Veneer materials should turn corners and avoid exposed edges

Roofs

1. Buildings in each planning area should incorporate a variety of roof forms, such as hip, gable, etc. Roof lines should be broken up and varied within the overall horizontal plane. Combinations of roof heights that create variation and visual interest are encouraged.
2. Roofing material shall consist of a variety of colors from unit to unit, while complimenting the predominant color palette of the primary structure.
3. Roofs of village amenity buildings and accessory structures should be compatible with the overall architectural design of the remainder of the development.
4. Tile and shingle roofs should be of high-quality, durable materials.
5. Flat roofs and asphalt shingle roofing tiles are prohibited.

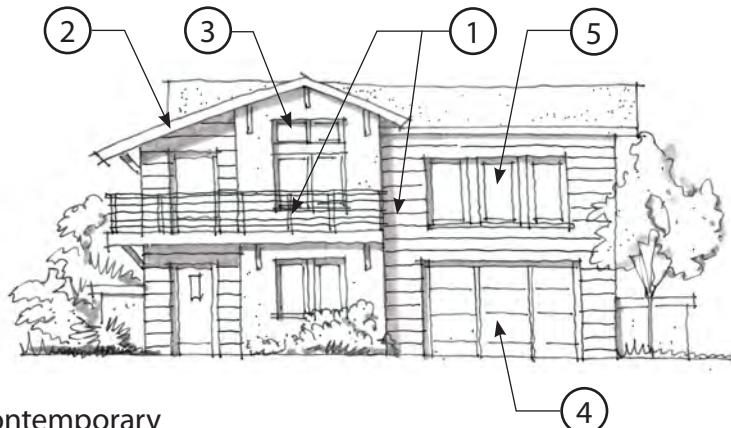
Architectural Character

1. A minimum of three different floor plans shall be provided for each planning area.
2. A minimum of three alternative elevations treatments shall be provided for each floor plan type during site design review.
3. Additional enhanced elevations may be identified by the Planning Manager during detailed review of the site development plans for PA1, PA2, & PA3.
4. Front yard setbacks shall be varied to prevent a monotonous street scene.
5. When possible, single-story plans or two-story plans with single story elements shall be sited on the street side of corner lots.
6. Offsets, pop-outs, overhangs, recesses and porches shall be used to avoid large unbroken expanses of building planes.

DEVELOPMENT PLAN GUIDELINES

Single-family lots should incorporate a variety of architectural styles and character defining elements to provide visual diversity and richness to the Discovery Village South. The following architectural styles are appropriate for single-family residential lots. Additional styles may be requested at the time of Site Development Plan review, subject to approval by the Planning Manager.

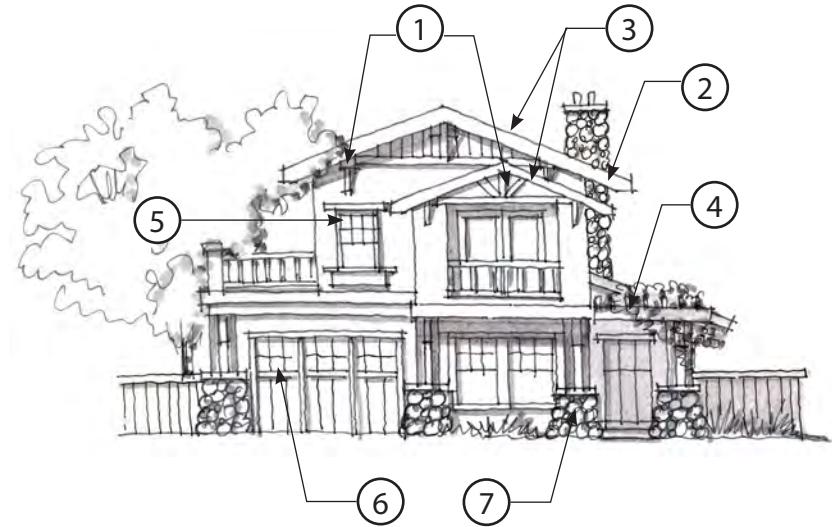
1. A minimum of three different floor plans shall be provided for each planning area.
2. A minimum of three elevation treatments shall be provided for each floor plan type during site design review.



Contemporary

Contemporary character emphasizes simple lines and horizontal planes and a projecting roof at the entrance. Railings, doors, windows and roof lines are simple and relatively unadorned if compared to other styles. Materials include horizontal siding, stucco and flat clay shingle roofing.

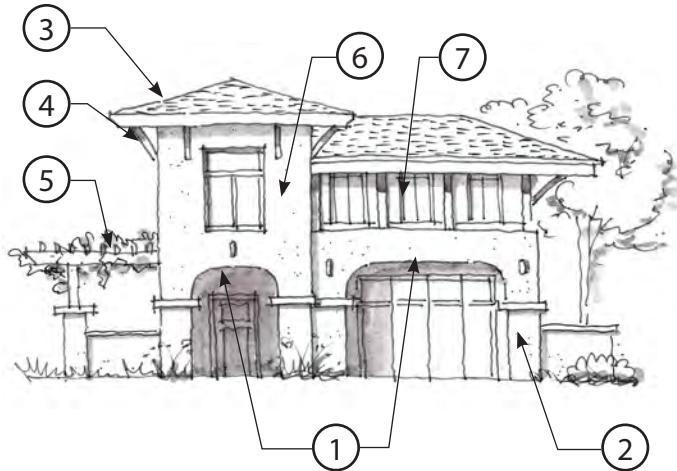
1. Horizontal Siding and Railing
2. Projecting Roof at Entrance to the House
3. Clerestory Window
4. Flat Panel Garage Door Treatment
5. Grouped Casement Windows (Ribbon Windows)



Craftsman

Craftsman character celebrates traditional craftsmanship and natural materials by emphasizing the details of structural connections, roof, window and door frames, and materials. Stone is used at the base of pilasters and foundations, wood siding defines roof gables, and stucco or shingles make up the primary walls of the house. Defining details include knee braces, exposed tie beams and projecting rafters, eaves and rakes.

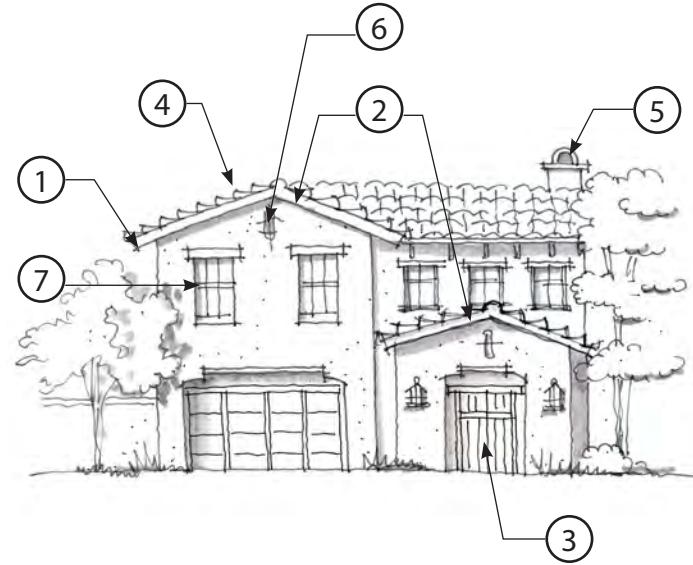
1. Exposed Knee Braces and Tie Beams
2. Projecting Eaves, Rafters and Rakes
3. Multiple Gable Roof Forms
4. Entry Trellis
5. Casing, Sill Apron, Stiles and Muntins at Windows
6. Paneling Details at Garage Door and Entry Door
7. Articulated Pier Bases, Columns and Railings



Irving Gill

The characteristic elements of this type are influenced by the architecture of Irving Gill, which emphasized tower elements, simplified arches, simple lines and horizontal planes and projecting roofs. The entrance to the house is defined with a simple archway. The first floor is anchored with "heavier" and solid forms while the second floor is lighter and mostly enclosed with a continuous band of windows. A trellis defines the side yard.

1. Arches
2. Defined Base
3. Projecting Roofs
4. Simple Knee Braces
5. Covered Patio with Trellis
6. Smooth Stucco Finish
7. Windows are Recessed and with Simple Frames



Spanish

Spanish character provides a universal Mediterranean appeal that includes traditional elements, such as clay tile roofs, stucco finish, recessed entrance and decorative iron motifs and lanterns. A double-gable is provided to define the entrance and the primary roof line. Windows and doors are articulated with muntins, stiles, rails and panels. Rafter tails are exposed and project beyond primary roof lines.

1. Exposed and Projecting Rafter Tails
2. Double Gable Roofs
3. Recessed Entry Door
4. Barrel Clay Tile Roof
5. Decorative Flue Cap at Chimney
6. Decorative Metal Work
7. Recessed Windows

D. Circulation and Streets Standards

Circulation & Parking

1. Cross circulation between vehicles and pedestrians should be minimized. A continuous, clearly marked walkway should be provided from the street to main entrances of each home. The use of enhanced paving for paseos and entries is encouraged (such as brick, terra-cotta or stone pavers).
2. Pedestrian walkways should be made safe and attractive through the use of hardscape design, landscaping and lighting.
3. Blank walls with rows of garage doors that face common areas and other residential units should be avoided. Garages should be set back from the front facade of the house, and landscaped areas should be provided around garages, including a few large areas to accommodate trees.
4. Driveways should have an adjacent pedestrian path. Special accents that define the main entrance, create territorial reinforcement, and provide visual interest are strongly encouraged. Examples include architectural detailing, specialty lighting, textured paving, a hardscape decorative border strip along the driveway, and accent plant materials such as specimen trees and flowering plants.
5. Garages should be designed as an integral part of the house's architecture and should incorporate a private storage area separate from the parking area.
6. The main entry to each dwelling unit should be clearly visible from the nearest public circulation walkway. A porch, covered stoop, recessed area or similar entry feature should be provided at each unit's front entry.
7. Provide parking for residents primarily through private garages; all dwelling units shall provide a minimum of two parking spaces per garage.
8. Make on-street parking available for guests on the Loop Road and Residential Streets; provide a minimum of 0.33 on-street parking spaces per dwelling unit.

Circulation Policies

- Discourage a disconnected street pattern that results in dead-end or cul-de-sac streets with little to no connectivity to the Loop Road and village amenities.
- Encourage pedestrian and bicycle connections to village open space, trails, amenities and transit services on Discovery Street and Craven Road.
- Align the primary entrances into the village from Discovery Street with planned intersections and adjacent planned land uses.

Residential Streets

Residential Streets are classified in the General Plan as Neighborhood Streets and designed in accordance with Figures 16, 17 and 18. They stem from the Loop Road and connect residents to their homes, to open space and to community amenities. On-Street parking is provided on Residential Streets.

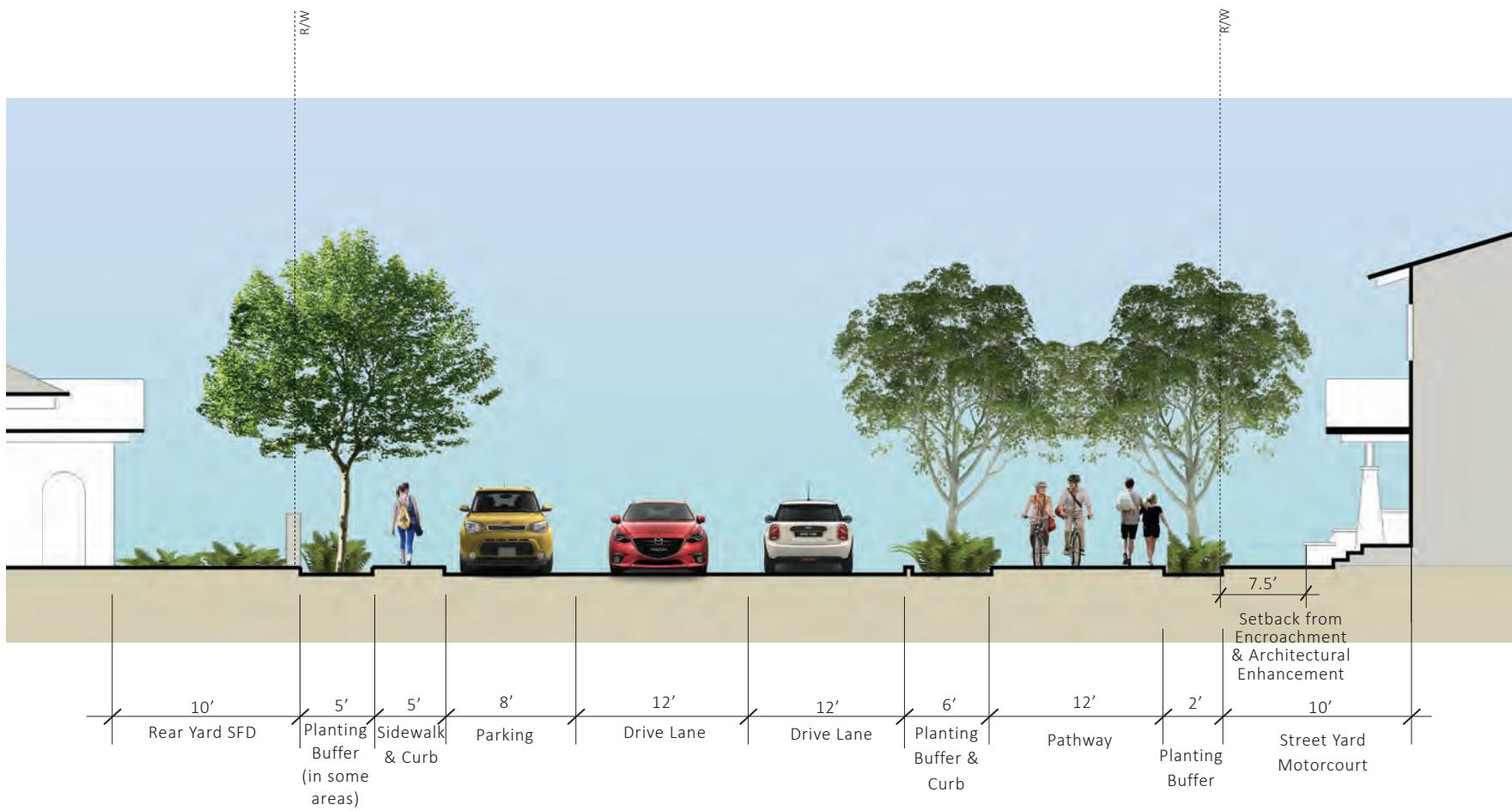


Figure 16 - Loop Road Section

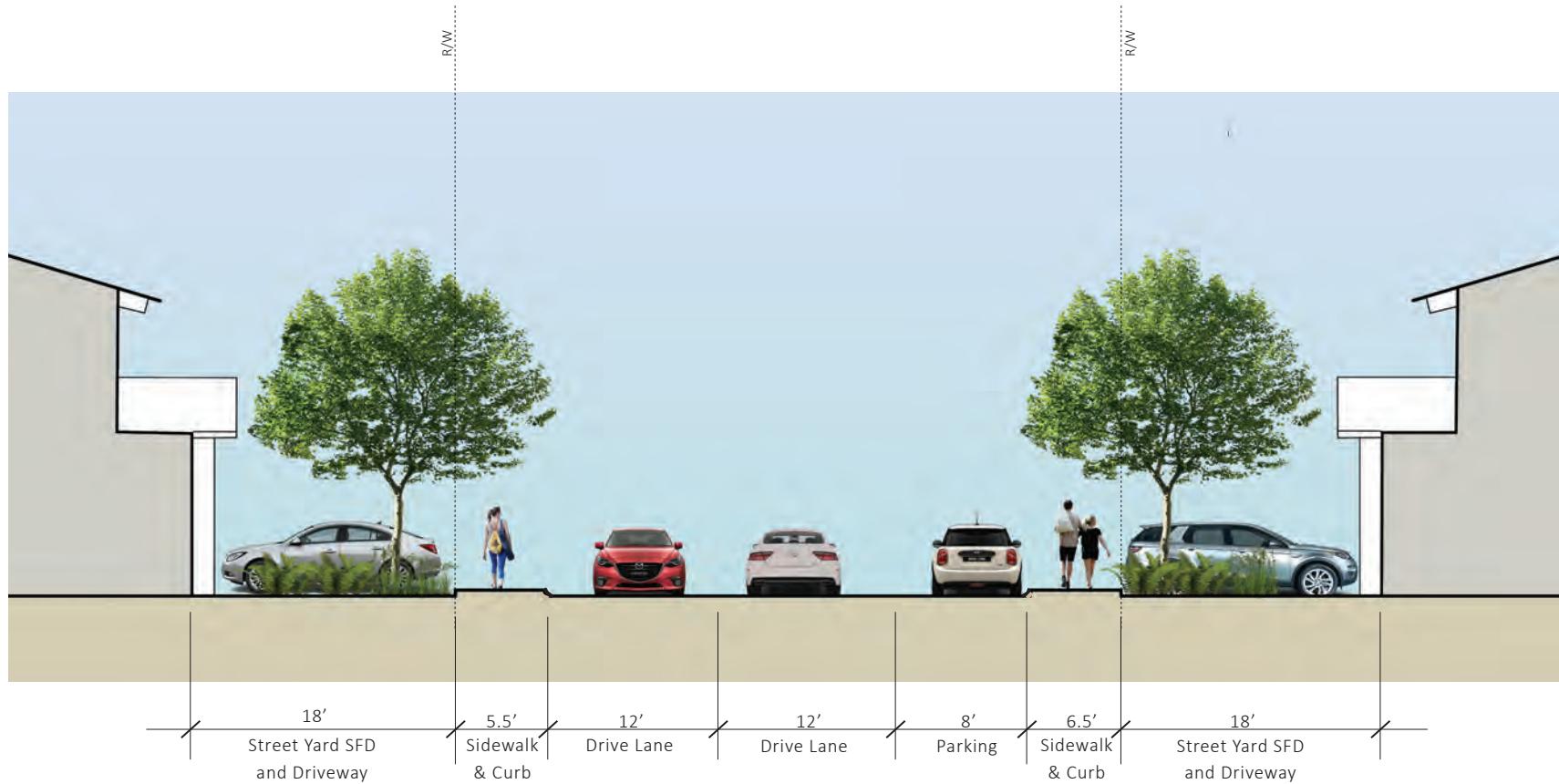


Figure 17 - Residential Street - Type A - Single Family Detached

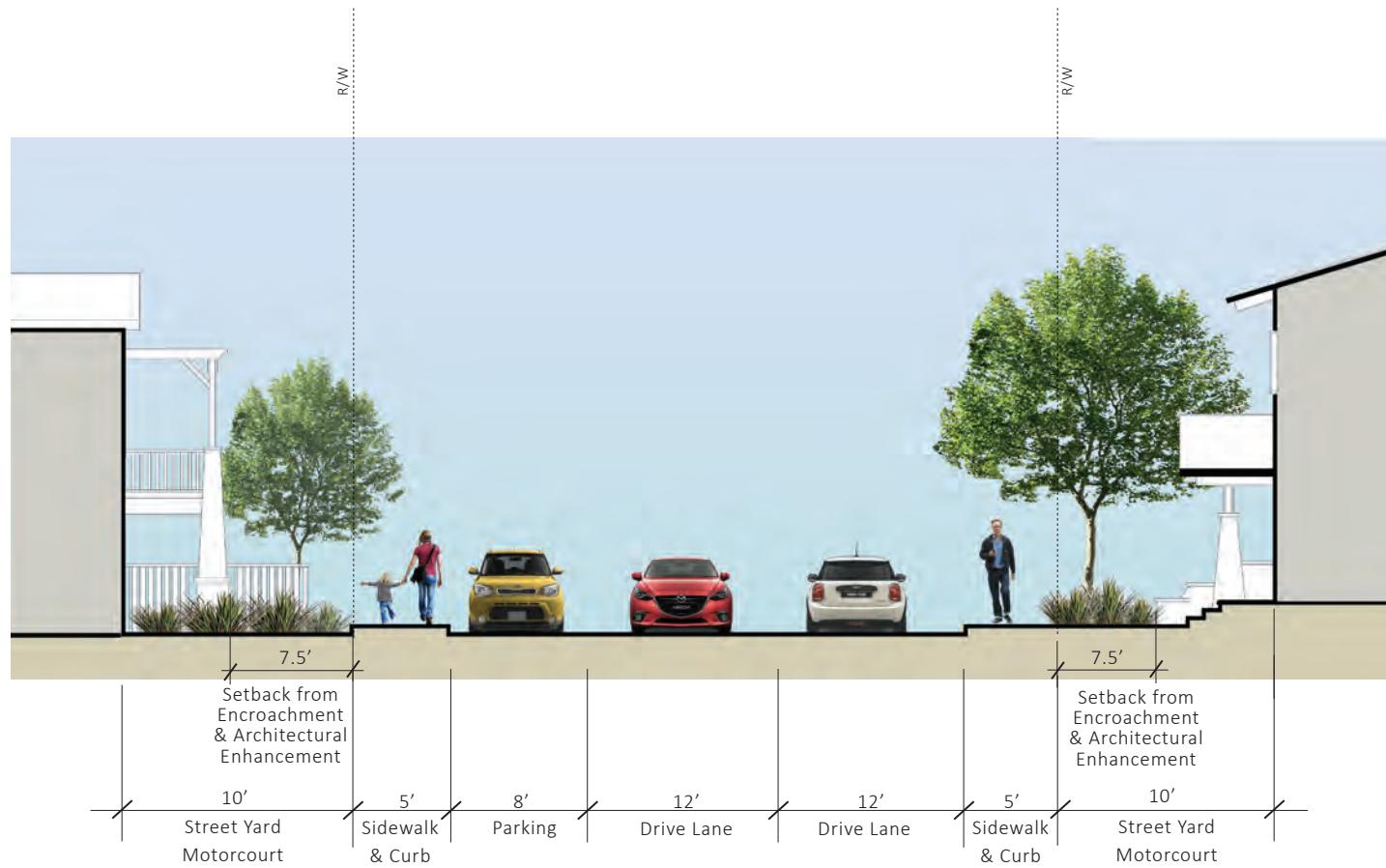


Figure 18 - Residential Street - Type B - Motorcourt

E. Landscape Design

1. Landscape should be used to create an attractive appearance, unify elements within the development and help the development fit within or complement its surroundings.
2. Use of landscape is encouraged to define and accentuate specific areas, such as building entrances and the main walkways to common facilities.
3. Hardscape materials should be consistent with the architectural design or style of the development. The use of interlocking pavers, scored concrete, or rough-textured concrete to define site entries is strongly encouraged.
4. Specimen trees and accent plant materials should be used at major focal points, such as the main entrances to the development or where major walkways intersect with open spaces, plazas, and common areas.
5. Dense landscape planting should be used to buffer the village from the existing adjacent residential, the Kaiser Permanente Medical Center and major arterial roadways.
6. Strategically locate landscape elements to define and accentuate different areas of the village:

(a) Edges around the Village

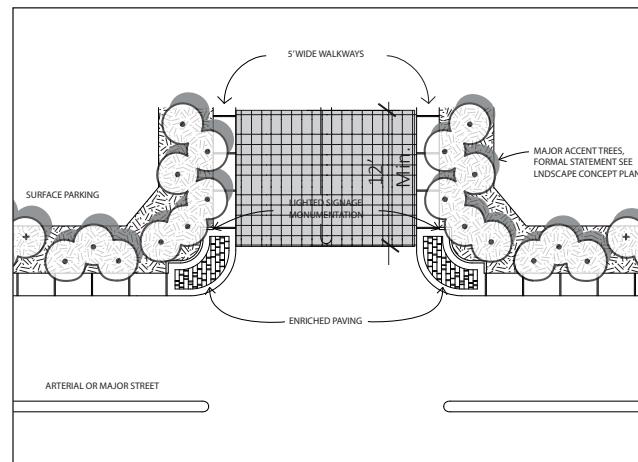
- The perimeter of the village should present a unifying and three-tiered system of formal and mature trees, dense rows of shrubs and groundcover within the setback area.

(b) Gateways into the Village

- The project entrances should be framed with corner markers, low garden walls, gateway signage, perennial color accent landscape, and signature trees.
- Enhanced paving should be provided to accentuate the entrance.
- All gateway elements should comply with line of sight constraints



Accent landscaping and enhanced paving to accentuate a development's entrance



Entrances to the development should be well-marked and framed by accent landscaping and special paving

(c) Entrances to Motorcourts

- The shared driveway entrances to motorcourt homes should be framed by accent trees and shrubs that flank both sides of the entrance and define the entrance path.
- Enhanced paving should be provided to accentuate the entrance.

(d) Internal Drives

- Internal drives should be landscaped with a consistent species of low-level shrubs and groundcover between bays of garage doors and on-street parking spaces, with accent landscape planted at all corners and bends.

(e) Paseos, Greenways & Courtyards

- The spaces between buildings that are not dedicated to parking and drives should be designed as landscaped paseos and courtyards, with highly connected paths and planting schemes that match the size, character and activity envisioned for the space.
- Continuous greenways should connect the residential clusters to each other and to the surrounding area.

7. Landscape materials, such as vines, hedges, shrubs, berms or garden walls should be used to help screen mechanical equipment, garages, maintenance areas, and utilities so that these are not exposed to view from the street, major walkways, or residences within the development.

8. The design of walls and fences, as well as the materials used, should be consistent with the overall development's design. Fence and wall color should be compatible with the development.

9. All signage should be professionally designed, creative, and consistent across the village, especially for internal directions and building identification.

10. Clear, legible entry signage should be provided to identify the village. Internal circulation signage and visitor parking areas should also be clearly indicated. A directory/ map that shows the location of village buildings and neighborhoods within the village is encouraged.

F. Lighting

1. Adequate lighting should be provided for all village amenity areas, pedestrian walkways, paseos, greenways, courtyards, building entrances and common areas.
2. LED lighting should be installed wherever possible to maximize efficiency and long-term durability
3. Low-level, pedestrian scaled lighting and step and path lighting should be provided at all pedestrian walking paths.
4. Lighting should be used to accentuate building entrances, site entrances, landscape and building volumes.



Internal walkways encourage socialization and natural surveillance

G. Common Amenities and Open Space



Figure 19 - Passive Open Space

A- Passive Open Space (0.2 AC min.)

Small scale Open Space located in the heart of the Residential areas. Offers green pockets of landscape and intimate sitting areas (not suitable for party gathering or group meetings)

1. Landscaped buffer with the street and residential lots
2. Sitting Area (bench or fixed chairs)
3. Paseo connecting to public trail
4. Pedestrian crosswalk

**This plan is conceptual and is shown for illustrative purposes only; see Site Development Plans for additional detail*



Figure 20 - Natural Open Space

B&C- Recreation Open Space (1.9 AC approx. including Bio-retention Basin)

Contemplative and Natural open space with a natural character echoing the Creek landscape. The Retention Basin is integrated to the open space and designed to provide limited passive uses where possible, such as pedestrian trails, benches and tables around the perimeter of the basin.

1. Bio-Retention Basin (1.15 AC approx.)
2. Pedestrian Trail
3. Proposed Children Play Area
4. Pocket of Parking Spaces
5. Picnic Area



Figure 21 - Ceremonial Entry Space

D- Ceremonial Entry Open Space (0.7 AC min.)

The Ceremonial Entry Open Space is designed as a Plaza with a predominant hardscape character and mature trees. It is the main gathering and meeting area of the new district.

1. Kiosk or Shaded Structure
2. Mature Trees Canopy
3. Sitting Areas (bench, chairs) under shade
4. Interaction with the Motorcourts (pedestrian path, patio...)
5. Potential Common Facility (Community Center, Swimming Pool, Gym Room or Club House)
6. Proposed Children Play Area



Figure 22 - Active Open Space

E- Active Open Space (0.15 AC min.)

Preferred location for a dog park

1. Fenced Area
2. Mature Trees
3. Landscaped Buffer with Residential Lot
4. Paseo connecting to public trail

H. Grading

Given the topography of the project area, the development of The San Marcos Discovery Village South will require site specific grading regulations.

The overall goal should be:

- Promote contoured slopes that allow undulation and strategic planting of trees and ground cover.
- Minimize slope maintenance and water consumption.
- Provide for stable slopes and building pads.
- Express the per-development low and high points of the site.
- Preserve and enhance views to the mountains and open space.
- Express the open space, landscaped areas of the village.

I. Walls and Fencing

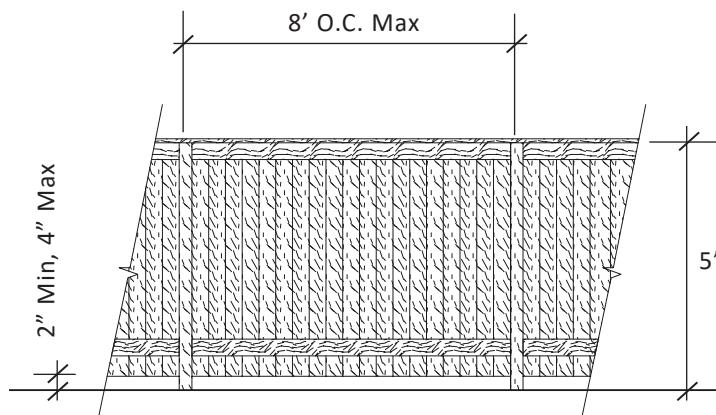
The wall and fence system of the village will be an extension of the community theme or character. Continuity of building materials and details will provide a cohesive architectural theme throughout highly visible areas of the community.

Walls and Fencing will be designed according to the Architectural Character of the residential units. Finishes and colors will be consistent with the buildings.

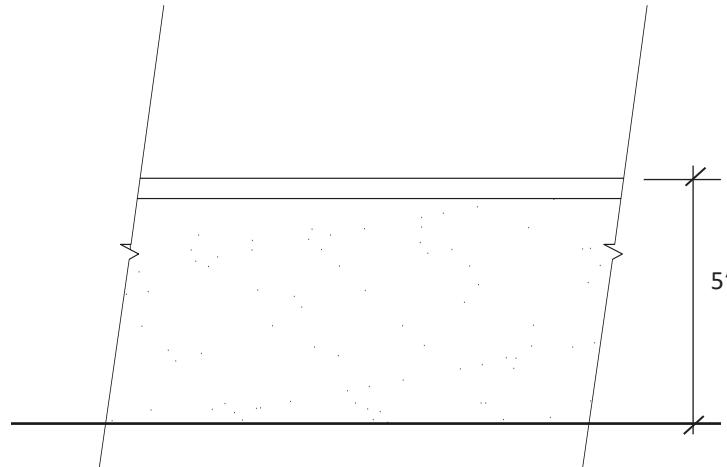
Additional styles and final design, texture and color will be determined at the time of Site Development Plan review, subject to approval by the Planning Manager.

Wall and fence types have been developed to provide one or more of the following typologies (see opposite page for material, finish, height and other dimensional qualities):

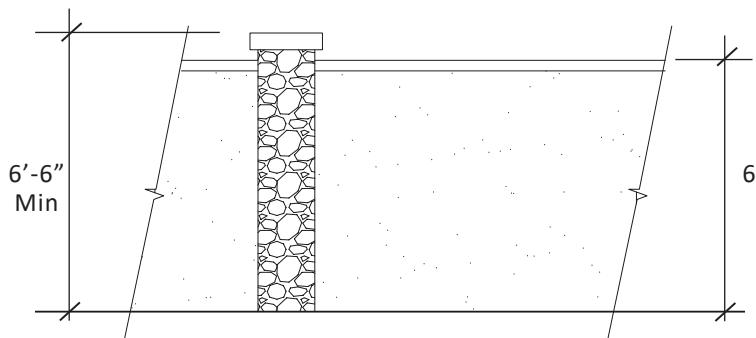
- A. Privacy Fence - Wood/Vinyl Fencing
- B. Privacy Wall - Stucco Wall
- C. Boundary Wall - Stucco Wall with Pilaster



A. Privacy Wall - 5' Wood / Vinyl Fencing
Separating wall between lots



B. Privacy Wall - 5' Stucco Wall
Boundary Wall on private streets



C. Boundary Wall - 6' Stucco Wall with Pilaster
Boundary wall on public Street

J. Sustainability

Sustainability is a central guiding principle of the Discovery Village South neighborhood. First and foremost, the location of the development sets it apart from other residential communities and fulfills the location and connectivity goals of sustainable design and Smart Growth. Discovery Village South is at the geographic center of the city, at a strategic crossroads between Restaurant Row and the Creek District and the Heart of the City, with the University Village and CSUSM campus at its doorstep. Community services are abundant in this area, with retail, restaurant, grocery, education, parks and other community services within a mile radius of the site. It is an area rich with transit services, including the Sprinter Station at CSUSM and bus service on Craven Road.

Neighborhood connectivity is another key goal of the Specific Plan. The plan takes advantage of the ideal location by building in strong pedestrian, bicycle and vehicular connections to surrounding districts, trails, bicycle infrastructure and transit services. Mobility is supported internally through a loop road, connected residential streets, pedestrian paseos and trails, and bicycle paths, ensuring that all uses are integrated and accessible to residents of the district.

The change from medical to residential uses results in minimized impacts and a greater respect for the natural topography of the area. Open space has been integrated in the development in a deliberate and prominent way as an entry feature, a storm water capture area, and a critical open space amenity for the village. Views to the creek, mountains and valley are preserved and made a feature of the village.

1. All proposed buildings should be constructed with high-quality and durable building materials to minimize the replacement costs and construction waste that result from periodic renovations. Where possible, developments should incorporate materials with recycled content to divert the amount of waste generated by construction and demolition.
2. Developments are encouraged to use regional materials (locally harvested, manufactured and/or appropriate to local climate) and rapidly renewable materials for interior finishes.
3. Where possible, developments should reduce the amount of site paving; provide paving material that stays cool and allows water to filter through the soil; increase landscaped areas; and provide shade throughout the site in order to reduce ambient temperatures and solar heat gain on constructed surfaces.
4. Exterior lighting should be directed and designed to prevent direct glare into adjacent dwelling units and onto neighboring uses/properties.
5. All buildings should be designed to increase shade and to protect residents from wind, sun and rain with architectural features (such as, recessed windows and entrances).
6. New construction should incorporate non-polluting and non-toxic materials and finishes with zero or low VOC's (volatile organic compounds).
7. Insulating materials and landscaping should be used to attenuate the noises generated within and outside the project site.
8. The Loop Road should accommodate bicycle traffic within the development by incorporating bike lanes or wide circulation paths to facilitate bicycle movement.
9. To maximize water efficiency, new landscape designs should incorporate landscape material that is drought tolerant, native, and/or water efficient. The use of California-friendly plants, shrubs and trees is also encouraged. See San Marcos Water Efficiency Landscape Ordinance.
10. Promote curbside recycling programs in the village to divert residential refuse from landfills.

A. Development Plan Review

All development proposals within the boundaries of this specific plan shall submit for Site Development Plan Review, as set forth in Chapter 20.515 of the Zoning Ordinance. Each project shall be evaluated administratively by the City's Site Development Review Committee for compliance with the terms and intent of this plan, both expressed and implied.

B. Severability

All regulations, conditions, standards and guidelines contained in this Specific Plan shall be deemed distinct and independent provisions of the Specific Plan. If any section, clause, phrase or portion of this document is for any reason determined to be invalid by the decision of any federal or state court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Specific Plan.

C. Administration and Review Process

The standards and other requirements of this Specific Plan shall be administered and enforced by the City of San Marcos Development Services Department and other City departments in the same manner as the provisions of the Municipal Code. Unless specified otherwise, where the provisions contained herein differ from those in the City of San Marcos Municipal Code, the provisions of this Specific Plan shall take precedence.

D. Specific Plan Amendments

Approval of this Specific Plan signifies acceptance by the City of San Marcos of a general framework and specific development standards for the Discovery Village South. It is anticipated that certain modifications to the Specific Plan text and exhibits may

be necessary during the life of the project. Any modifications to the Discovery Village South Specific Plan shall occur in accordance with the amendment process described herein and pursuant to Chapter 20.530 and Chapter 20.535 of the City Municipal Code. These amendments, should they occur, are divided into two categories. Administrative amendments allow for minor changes to the Specific Plan (as enumerated below) and may be approved by the Planning Division Manager. All other proposed changes (not enumerated below) are considered formal amendments and are required to be reviewed for approval by the Planning Commission and City Council. In all cases, amendments must be found to be consistent with the goals and policies of the Discovery Village South Specific Plan.

Administrative Amendments:

Upon determination by the Planning Manager, certain minor modifications to the Specific Plan text and graphics may not require formal amendments (i.e. through public hearing) to the Specific Plan as approved. The Planning Manager has the authority to approve modifications to the Specific Plan as follows:

1. Expansions or reductions of the geographic area covered by a given Planning Area.
2. Realignment or modifications of internal streets serving the project, lot lines, easement locations and grading adjustments, with concurrence from the City Engineer.
3. Minor adjustments in allocation of density, size and location of residential lots and common amenities, provided the number of dwelling units in the village do not exceed up to 230 residential units.

4. Modification of design criteria specified in this Specific Plan, such as paving treatments, architectural details, landscape treatments, fencing, lighting, and entry treatments.
5. Final sizing and precise location of water, sewer, storm drainage, and other like infrastructure improvements with concurrence of the City Engineer.
6. Change in utility and/or infrastructure servicing agencies.
7. Landscape, wall material, wall alignment and streetscape design modifications, which substantially conform to the intent of the design guidelines contained in this Specific Plan as determined by the Director of Planning or his/her designee.
8. Modifications of a similar nature to those listed above, which the Director of Planning or his/her designee deems minor, which are in keeping with the intent of the Specific Plan.
9. Additional environmental review shall not be required for administrative amendments to the Specific Plan, provided such changes are determined to be in accordance with the overall intent of the Specific Plan and do not represent (a) a substantial change in the project which would require major revisions to the previous Adopted Environmental Document due to the involvement of new significant environmental effects, a substantial increase in the severity of previously identified significant effects, (b) a substantial change in the circumstances under which the project is being undertaken that will require major revisions in the previous Adopted Environmental Document, (c) new information of

substantial importance, which was not known and could not have been known with the exercise of reasonable diligence to the project, at the time the previous Adopted Environmental Document was certified.

Formal Amendments:

All Specific Plan modifications which do not meet the criteria for an Administrative Amendment noted in this chapter shall be deemed to require a Formal Amendment of the Specific Plan. These amendments shall be processed pursuant to Chapter 20.100 of the San Marcos Zoning Ordinance. All Formal Amendments shall be reviewed for approval by the Planning Commission and City Council. To process a Formal Amendment, it shall be the responsibility of the amendment applicant to demonstrate that:

1. the proposed amendment meets the goals and objectives of the San Marcos General Plan and the Barham/ Discovery Community Plan; and
2. any impacts to the Specific Plan resulting from the amendment can be satisfactorily addressed.

It shall also be the applicant's responsibility to update any Specific Plan studies and/or provide additional studies when determined necessary by the Director of Planning.

E. Maintenance

All access roadways in the Specific Plan area shall be private facilities. Maintenance and operation of the Discovery Village South roadways, community landscaped areas and common amenities shall be provided through a combination of Home Owner's Association and a Community Financing District as appropriate.

Relationship to City of San Marcos General Plan

The San Marcos General Plan was recently updated in 2012 and includes policies and standards to guide the location, density and distribution of various land use activities within each of the eight community planning areas identified in the city. Land use policies may be further detailed and defined through specific plans. The City of San Marcos General Plan identifies 48 specific plan areas, and the Discovery Village South Specific Plan is in the Scripps Health Care Campus Specific Plan area. The Discovery Village South Specific Plan will require an amendment to the San Marcos General Plan.

General Plan Consistency

In accordance with California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457), cities are authorized to adopt Specific Plans in order to implement their General Plan. The City of San Marcos will adopt the Discovery Village South Specific Plan by ordinance, requiring public hearings by both the Planning Commission and City Council.

The Discovery Village South Specific Plan is a regulatory plan constituting the development concept and zoning for the subject properties. Site Development Plans, tract or parcel maps, development agreements, local public works projects, zoning ordinances (Government Code Sections 65455, 65867.5(b)), and any action requiring ministerial or discretionary approval related to the University District project must be consistent with the final adopted Discovery Village South Specific Plan.

While Specific Plans are not required to rigidly conform to the City's General Plan, they must demonstrate consistency with the goals and policies set forth in the General Plan to demonstrate that the specific plan and General Plan are in general harmony.

Table 4 in the following pages outlines the key policies and goals of the General Plan that relate to the Discovery Village South Specific Plan and demonstrates specific plan consistency with those goals and policies.

Table 4 - City of San Marcos General Plan Consistency

Land Use Element	
Goal LU-1: Achieve a balanced distribution and compatible mix of land uses to meet the present and future needs of all residents and the business community.	Consistent: The proposed project will provide up to 230 new residential units and the proposed project will be close to current and future employment opportunities in the vicinity.
Policy LU-1.1: Ensure that adjacent land uses complement one another by considering compatibility of activities, development patterns and architectural character elements and access to various mobility choices.	Consistent: The current land use anticipates medical and office buildings reaching heights of 3 to 7 stories, whereas the proposed project is limiting its building height to two story structures not exceeding 35 feet in height. The proposed residential use will be contiguous to existing residential to the south and to the west across Craven Road. The proposed project will contribute towards the improvements to the construction of Discovery Street, which will also be designed to include bicycle facilities and will comply with the City's Trail Master Plan.
Policy LU-1.3: Diversify land uses by providing mixed use land uses in strategic locations within the City that place housing adjacent to employment.	Consistent: The proposed residential units will be located on the south side of Discovery Street, with opportunities for future office, flats and commercial directly to the north, within the University District Specific Plan, and providing convenient employment opportunities for the residential of San Marcos.
Goal LU-2: Promote development standards and land use patterns that encourage long-term environmental sustainability.	Consistent: The village will be designed under the City's Water Efficiency Landscape Ordinance, resulting in reduced water demand. Private park and open space areas of the village will provide opportunities to establish community gardens for the residents within the village. The proposed project will provide more housing inventory for the residents of San Marcos, within close proximity to transit and mixed-use options.
Policy LU-2.5: Promote landscaping (e.g., native, drought-tolerant plants) that minimizes demands on water supply.	Consistent: Discovery Village South Specific Plan includes landscape design and sustainability guidelines in Section 4 that comply with the San Marcos Water Efficiency Ordinance and promote use of native and drought-tolerant landscaping that minimizes demands on water supply.
Policy LU-2.7: Promote the installation of trees to reduce the urban heat-island effect and green infrastructure to reduce storm water runoff.	Consistent: The village includes street trees as well as multiple open space areas with bio-swales, planting and trees to reduce the urban heat-island effect.
Goal LU-3: Develop land use patterns that are compatible with and support a variety of mobility opportunities and choices.	Consistent: The Specific Plan provides for new roadway, bicycle and pedestrian connections to existing transit facilities in the community; compact residential is connected to open space amenities and to the commercial district via Discovery Street.

Policy LU-3.1:Require that new development and redevelopment incorporate connections and reduce barriers between neighborhoods, transit corridors, and activity centers within the City.	Consistent: The village provides for a network of interconnected trails, paths, sidewalks and paseos that connect to the General Plan pedestrian network planned for the surrounding area.
Policy LU-3.8: Require new development and discretionary actions to annex into a Congestion Management Community Facilities District.	Consistent: Project will be conditioned to annex into the Congestion Management Community Facilities District.
Goal LU-5: Promote community design that produces a distinctive, high-quality built environment with forms and character that create memorable places and enrich community life.	Consistent: The Specific Plan envisions a compact, walkable and interconnected residential community with views to the northern hills, adjacency to the creek and a distinctive architectural character and form. Paseos, greenways and paths connect residents to community amenity spaces and a clear circulation design provides a sense of place and organization.
Policy LU-5.6: Require a specific plan for strategic areas/ properties that require high-quality design, orientation and development due to their location or visibility within the community.	Consistent: The Discovery Village South Specific Plan satisfies this requirement by providing architectural design guidelines for high-quality design, a clear and strong physical plan framework that guides the development of streets, paseos, trails, open spaces, community amenities and adequate public facilities and drainage for the project site.
Policy LU-5.7:Architecture shall be enhanced with high-end building materials, varied roof lines, and decorative details.	Consistent: The Discovery Village South Specific Plan provides architectural design guidelines that require high-end building materials, varied roof lines, and decorative details for all development in the village. A minimum of three different floor plans shall be provided for each planning area in the village to create a variety of architectural design. In addition, a minimum of three elevation designs shall be provided for each floor plan type during Site Development Plan review.
Goal LU-7: Direct and sustain growth and expansion in areas of San Marcos that can support a concentration of a variety of uses and are particularly suitable for multimodal transportation and infrastructure expansion and improvements.	Consistent: The Specific Plan provides for new residential in close proximity to employment and education uses and transit, with a walkable and connected environment that supports transit connections.
Policy LU-7.2: Coordinate pedestrian, transit and infrastructure upgrades with infill and redevelopment opportunities.	Consistent: The village provides for a network of interconnected trails, paths, sidewalks and paseos that connect to the General Plan pedestrian network and infrastructure upgrades planned for the surrounding area.

<p>Goal LU-8: Ensure that existing and future development is adequately serviced by infrastructure and public services.</p>	<p>Consistent: The Specific Plan provides adequate infrastructure for new roads, common amenities, utilities and storm water facilities. The Vallecitos Water District (VWD) conducted a water/sewer demand study for this project to determine proper size for water/sewer connections.</p>
<p>Policy LU-8.1: New development shall pay its fair share of required improvements to public facilities and services.</p>	<p>Consistent: Discovery Village South will be required to pay its fair share in Public Facility Fees towards circulation, streets, State Route 78 Interchanges, stormwater, tech improvements, parks and habitat conservation.</p>
<p>Policy LU-8.2: Promote development timing that is guided by the adequacy of existing and/or expandable infrastructure, services, and facilities.</p>	<p>Consistent: Existing infrastructure, services and facilitates are adequate to support the development proposed by the Discovery Village South Specific Plan. Additional roadway and utility infrastructure required by the specific plan will be funded by the development.</p>
<p>Goal LU-9: Community Facilities: Establish and maintain community facilities that enhance the quality of life for residents in San Marcos, such as community and senior centers.</p>	<p>Consistent: The Specific Plan provides for new community amenities and open spaces for all residents, including a variety of passive and active open spaces, trails, and paths. Project will contribute to Public Facilities Fees for citywide facilities.</p>
<p>Goal LU-10: Fire Protection, Emergency Services, and Law Enforcement: Provide effective, high-quality and responsive services.</p>	<p>Consistent: The proposed project will need to pay an in-lieu fee or annex into CFD 98-01 IA#1 (Police) and CFD 2001-01 (Fire).</p>
<p>Goal LU-11: Schools: Ensure all residents have access to high-quality education.</p>	<p>Consistent: The Discovery Village South is adjacent to the Cal State University San Marcos, the University District and within a one mile radius of more than 10 schools.</p>
<p>Policy LU-11.2: Work with San Marcos Unified School District and developers to ensure adequate school facilities are funded as required by State law and through developer mitigation agreements between the school district and the developer. The City shall require a "will serve" letter substantiating that the developer has paid fees to the satisfaction of the school district prior to issuance of building permits.</p>	<p>Consistent: The project area is served by the San Marcos Unified School District, with Discovery Elementary, San Marcos Elementary, San Marcos Middle, Mission Hills High School and San Marcos High School all within close vicinity of the project site. It is anticipated the specific plan area will be served by existing facilities within the San Marcos Unified School District.</p>

<p>Goal LU-13: Water Service and Supply: Manage and conserve domestic water resources by reducing water usage and waste on a per capita basis, to ensure an adequate water supply for existing and future residents.</p>	<p>Consistent: The Discovery Village South manages water resources by requiring new landscape designs to include drought tolerant and water efficient landscape. The Vallecitos Water District (VWD) conducted a water/sewer demand study for this project to determine proper size for water/sewer connections. The project will comply with the San Marcos Water Efficiency Landscape Ordinance.</p>
<p>Policy LU-13.1: Work closely with local and regional water providers to ensure high quality water supplies are available for the community.</p>	<p>Consistent: The village is served by the Vallecitos Water District (VWD), with existing backbone facilities to the west of the village, within Bent Ave., north of Discover Street. Both Water and Sewer line will be designed in accordance with the standards and specifications of VWD. The proposed lines will be built within existing and proposed rights of way, or within easements, in the case of on-site private streets.</p> <p>Water and sewer service will be in place and operational, within the portion of Discovery Street that fronts the Specific Plan, prior to occupancy of any buildings. On site water and sewer may be phased, depending on the buildout of the site, but no building shall be occupied without water and sewer capacity to the building.</p>
<p>Goal LU-14: Wastewater: Ensure an adequate wastewater system for existing and future development.</p>	<p>Consistent: The Discovery Village South provides adequate new wastewater facilities that will meet the demand of new residential proposed on the site.</p>
<p>Policy LU-14.1: Work closely with local service providers to ensure an adequate wastewater system for existing and future development is in place.</p>	<p>Consistent: The village is served by the Vallecitos Water District (VWD), with existing backbone facilities to the west of the village, within Bent Ave., north of Discover Street. Both Water and Sewer line will be designed in accordance with the standards and specifications of VWD. The proposed lines will be built within existing and proposed rights of way, or within easements, in the case of on-site private streets.</p> <p>Water and sewer service will be in place and operational, within the portion of Discovery Street that fronts the Specific Plan, prior to occupancy of any buildings. On site water and sewer may be phased, depending on the buildout of the site, but no building shall be occupied without water and sewer capacity to the building.</p>

<p>Policy LU-14.2: Ensure development approval is directly tied to commitments for the construction or improvement of primary water, wastewater, and circulation systems.</p>	<p>Consistent: Both Water and Sewer line will be designed in accordance with the standards and specifications of VWD. The proposed lines will be built within existing and proposed rights of way, or within easements, in the case of on-site private streets.</p> <p>Water and sewer service will be in place and operational, within the portion of Discovery Street that fronts the Specific Plan, prior to occupancy of any buildings. On site water and sewer may be phased, depending on the buildout of the site, but no building shall be occupied without water and sewer capacity to the building.</p>
<p>Goal LU-15: Flood Control and Storm Water Drainage Facilities: Ensure adequate flood control and storm water drainage is provided the community.</p>	<p>Consistent: The Discovery Village South provides adequate Storm Water Drainage Facilities and adequate flood control and storm water drainage.</p>
<p>Policy LU-15.1: Implement activities, practices, procedures, or facilities that avoid, prevent, or reduce pollution of the San Marcos Storm Water Conveyance System and Receiving Waters.</p>	<p>Consistent: There will be no increase in flows discharged into the San Marcos Creek. Detention basins, used for bio-filtration, will be developed on the downstream side of each development area, to maintain pre-developed flow conditions. The water quality system shall be consistent with the policy and goals of the City, and the Regional Quality Water Control Board permits. Water quality features of the development shall feed into regional basin (s), located on the downstream side of each planned development area. The village will incorporate Best Management Practices (BMP's) into all future development in a comprehensive manner, consistent with a master drainage study.</p>
<p>Policy LU-15.3: Avoid, to the extent possible, development in floodplain and flood prone areas.</p>	<p>Consistent: The Discovery Village South Specific Plan proposes no development within a floodplain and flood prone area as the project will not move forward until Discovery Street is built effectively removing the floodplain limits out of the development area.</p>

<p>Policy LU-15.4: Retain drainage courses in their natural condition, to the extent possible. Consider smaller-scale drainage improvements to protect the environment and avoid disturbing natural drainage courses; consider detention areas and raised building pads.</p>	<p>Consistent: All drainage facilities are located based on existing drainage patterns, and are intended to compliment proposed drainage facilities planned (but not yet built) by adjacent developments. The drainage facilities are designed in consideration of the following goals:</p> <ul style="list-style-type: none"> • Incorporate LID / water quality features onsite, through a combination of site specific and regional methods. • Water quality features will include a combination of controls within each lot or home-site, as well as the downstream area of the project(s) where a regional treatment facility will be implemented. • Water quality features are to include LID features and bio-filtration basins.
<p>Goal LU-16: Solid Waste: Reduce the amount of waste material entering regional landfills with an efficient and innovative waste management program.</p>	<p>Consistent: The Discovery Village South reduces the amount of waste material entering regional landfills with an efficient and innovative waste management program and by requiring all proposed buildings to be constructed of high-quality and durable building materials to minimize the replacement costs and construction waste that result from periodic renovations.</p>
<p>Policy LU-16.1: Work closely with local service providers to ensure adequate solid waste disposal, collection, and recycling services.</p>	<p>Consistent: Development in the village will coordinate with local service providers to ensure adequate solid waste disposal, collection and recycling services are provided to the project site.</p>
<p>Goal LU-17: Utilities and Communications: Encourage provision of power and communication systems that provide reliable, effective and efficient service for San Marcos.</p>	<p>Consistent: The Discovery Village South encourages provision of power and communication systems that provide reliable, effective and efficient service.</p>
<p>Policy LU-17.1: Coordinate with all communications and utility companies (electrical, gas, telephone, cable, satellite, and future utilities) in the provision of services throughout the community and the installation and maintenance of facilities in their respective franchise areas.</p>	<p>Consistent: The village will coordinate with all communications and utility companies (electrical, gas, telephone, cable, satellite, and future utilities) in the provision of services throughout the community and the installation and maintenance of facilities in their respective franchise areas.</p>

<p>Policy LU-17.3: The City shall prohibit above ground utility equipment within any of the pedestrian pathway and street frontage areas. All above ground utilities shall be placed either within; “wet closets” within the buildings, underground vaults, or behind buildings where they are not visible. The developer shall be responsible to contact the applicable utility agencies in advance to coordinate utilities prior to approval of the final street improvement plans for both public and private street frontages and prior to submittal of building permits.</p>	<p>Consistent: Above ground utility equipment will not be allowed within any of the pedestrian pathways and street frontage areas in the village where they would obstruct the flow of pedestrian movement in the village. The utility agency will be contacted in advance prior to approval of street improvements. In cases where utilities cannot be undergrounded, they will be screened to the satisfaction of the Planning Manager.</p>
<p>Policy LU-17.4: Require utility location to be shown on all site development plans at the time of development/project application.</p>	<p>Consistent: Proposed site development plans show utility locations.</p>
<p>Mobility Element</p>	
<p>Policy M-1.2: Require new development to finance and construct internal adjacent roadway circulation and City-wide improvements as necessary to mitigate project impacts, including roadway, transit, pedestrian, and bicycle facilities.</p>	<p>Consistent: All roadways and pedestrian and bicycle facilities will be private and constructed as part of the village.</p>
<p>Policy M-1.6: Work to improve connectivity within the City by closing gaps in the existing bicycle, pedestrian, trail, transit, and roadway network. Work with new development to provide connectivity and redundancy in the mobility network.</p>	<p>Consistent: Discovery Village South provides a connected, pedestrian and bicycle-friendly community with links to surrounding communities, city amenities and transit. A Class I bicycle path will be constructed on the internal, private loop road of the village, as well as internal trails and paseos connecting to the General Plan trail network. While the village is a gated community, these connections will be provided for the of the project's residents.</p>
<p>Goal M-2: Protect neighborhoods by improving safety for all modes of travel and calming traffic where appropriate.</p>	<p>Consistent: The Specific Plan provides for a compact, walkable environment with new roadways, detached multi-use trails, pedestrian and bicycle linkages, sidewalks, paseos and greenways all connected to the city's transportation network.</p>
<p>Policy M-2.1: Work with new development to design roadways that minimize traffic volumes and/or speed, as appropriate within residential neighborhoods; while maintaining the City's desire to provide connectivity on the roadway network.</p>	<p>Consistent: Roadways in the village are designed to minimize traffic volumes and/or speed with narrow right-of-way widths, and on-street parking to calm traffic and increase pedestrian safety. The circulation network of the village is designed to provide adequate and enhanced connectivity to all areas of the village.</p>

<p>Goal M-3: Promote and encourage use of alternative transportation modes, including transit, bicycle, neighborhood electric vehicles(NEVs), and walking, within the city.</p>	<p>Consistent: The specific plan promotes the use of alternative transportation modes, including transit, bicycle, neighborhood electric vehicles(NEVs), and walking, within the city by providing a compact, walkable environment, pedestrian paths and trails through the development, non-contiguous sidewalks with landscaped parkways and better connections to transit on Discovery Street.</p>
<p>Policy M-3.2: Improve safety conditions, efficiency, and comfort for bicyclists and pedestrians through design, maintenance, and law enforcement. Install wider sidewalks and curb extensions at pedestrian crossings (bulb outs) where appropriate.</p>	<p>Consistent: Roadways in the village are designed to minimize traffic volumes and/or speed with narrow right-of-way widths and on-street parking to calm traffic and increase pedestrian safety. The circulation network of the village is designed to provide a Class I separated bicycle path, with landscaped parkways as buffers to the street to increase pedestrian and bicycle safety.</p>
<p>Policy M-3.3: Provide a pedestrian and bicycle network in existing and new neighborhoods that facilitates convenient and continuous pedestrian and bicycle travel free of major impediments and obstacles.</p>	<p>Consistent: Discovery Village South provides a connected, pedestrian and bicycle-friendly community with links to surrounding communities, city amenities and transit. A Class I bicycle path will be constructed on the internal, private loop road of the village, as well as internal trails and paseos connecting to the General Plan trail network. While the village is a gated community, these connections will be provided for the of the project's residents.</p>
<p>Policy M-3.6: Establish an intra-city shuttle system that connects the central development nodes of the City with Palomar Community College, California State University San Marcos, and the urban core of the community.</p>	<p>Consistent: The Specific Plan area will be annexed to the Congestion Management Community Facilities District which may contribute funding and through that CFD may contribute to funding an intra-city shuttle system.</p>
<p>Policy M-3.9: Create a pleasant walking environment for roadway typologies where pedestrian travel is prioritized. This includes providing shade trees, landscaping, benches, pedestrian-scale lighting, way finding signage, transit shelters, and other appropriate amenities.</p>	<p>Consistent: The village provides a pleasant walking environment with roadway typologies that include single and double rows of street trees, continuous and unobstructed non-contiguous and contiguous sidewalks, landscaped parkways, curb extensions (pop-outs), on-street parking, pedestrian scaled lighting, signage and bicycle facilities all within the right-of-way (See Specific Plan Figure 14 – Loop Road and Figure 15 and 16 – Residential Street Typologies for details).</p>
<p>Policy M-5.2: Maintain truck route designations on appropriate facilities as shown in the Truck Route Plan within this Mobility Element.</p>	<p>Consistent: The specific plan has no affect on truck route designations.</p>

Conservation and Open Space Element	
Policy COS-1.1: Support the protection of biological resources through the establishment, restoration, and conservation of high quality habitat areas.	Consistent: No high-quality habitat areas have been identified on the project site. The project will annex into CFD 98-02 and pay a fair share towards Open Space Preservation and Maintenance.
Policy COS-4.3: Participate in regional efforts to reduce greenhouse gas emissions.	Consistent: The Specific Plan is consistent with the City's Climate Action Plan, and through compliance with the policies of the plan fulfills efforts to reduce greenhouse gas emissions.
Goal COS-5: Reduce water consumption and ensure reliable water supply through water efficiency, conservation, capture and reuse.	Consistent: The Discovery Village South manages water resources by requiring new landscape designs to include drought tolerant and water efficient landscape.
Policy COS-5.1: Support the consideration and implementation of a broad range of strategies to ensure the long-term sustainability of water supply, including strategies related to conservation, reclamation, recharge, and diversification of supply.	Consistent: The village supports a broad range of strategies to ensure the long-term sustainability of water supply through the use of drought tolerant and water conserving landscape and through implementation of storm water management practices that retain and recharge storm water on site.
Policy COS-6.1: Reduce pollutant loads and flows that adversely impact ground water and surface water integrity in each subwatershed. For each subwatershed, coordinate development with existing watershed management plan.	Consistent: There will be no increase in flows discharged into the San Marcos Creek. Detention basins, used for bio-filtration, will be developed on the downstream side of each development area, to maintain pre-developed flow conditions. The water quality system shall be consistent with the policy and goals of the City, and the Regional Quality Water Control Board permits. Water quality features of the development shall feed into regional basin (s), located on the downstream side of each planned development area. The village will incorporate Best Management Practices (BMP's) into all future development in a comprehensive manner, consistent with a master drainage study.
Policy COS-10.1: Promote the curbside recycling program to divert residential refuse from the landfills.	Consistent: The specific plan envisions curbside recycling will be provided to all residential units in the village to divert refuse from landfills (see Section J – Sustainability in Discovery Village South Specific Plan).

Safety Element	
Policy S-1.1: Reduce the risk of impacts from geologic and seismic hazards by applying current and proper land use planning, development engineering, building construction, and retrofitting requirements.	Consistent: The village will reduce the risk of impacts from geologic and seismic hazards by applying current and proper land use planning, development engineering, building codes and construction techniques, and retrofitting requirements.
Policy S-3.3: Require development to provide additional access roads when necessary to provide for safe access of emergency equipment and civilian evacuation concurrently.	Consistent: The project has been reviewed by the City of San Marcos Fire Marshal and Engineering Department to ensure there is adequate access and turning movement through the proposed subdivision. The village provides access to emergency vehicles and for civilian evacuation at three access points spread apart equally along Discovery Street. The project will also provide gated emergency access.
Policy S-7.1: Record an overflight notification document in association with the approval of any new residential land use within the AIA overflight notification area consistent with the ALUCP. See Figure 6-5 McClellan-Palomar Airport Influence Area.	Consistent: An overflight notification document will be recorded in association with the approval of any new residential land use within the AIA overflight notification area consistent with the ALUCP. A disclosure will be provided to all homeowners and a statement will be recorded in the CC&R's making all homeowners aware of the flight path.
Parks, Recreation, and Community Health Element	
Goal PR-1: Plan for, acquire, develop, and maintain a system of local parks connected through an integrated network of trails and high quality recreational facilities.	Consistent: The proposed project is a gated community with a variety of private passive and active open space amenities on site with trails, paths, greenways and paseos connecting community facilities with development. The project will contribute its fair share towards the construction of public trails along Discovery Street and along the south-easterly corner of the site. The project will pay Public Facility Fees that contribute towards the construction of community parks.
Policy PR-1.5: Require new development to be designed and constructed in accordance with the approved MasterTrails Plan to meet or exceed the City's parkland standard of 5 acres per 1,000 residents.	Consistent: The village will contribute towards community parks through payment of Public Facility fees.

Noise Element	
Policy N-1.1: Address the potential for excessive noise levels when making land use planning decisions in accordance with Table 7-3 Land Use Compatibility Noise Standards.	Consistent: Existing noise levels in the village do not approach 60 CNEL per General Plan Figure 7-1. According to Table 7-3, for residential single family uses, a noise level below 60 CNEL is acceptable. Therefore, the specific plan complies with General Plan noise level policies.
Policy N-1.3: Incorporate design features into residential land use projects that can be used to shield residents from excessive noise. Design features may include, but are not limited to: berms, walls, and sound attenuating architectural design and construction methods.	Consistent: An acoustical analysis will be conducted to determine if sound walls and additional sound attenuation measures will be required for the village. The village may incorporate landscaped buffers, berms and walls along Discovery Street and Craven, as well as along the adjacent property to shield residents from excessive noise.
Policy N-1.5: Require an acoustical study for proposed developments in areas where the existing and projected noise level exceeds or would exceed the Normally Acceptable levels identified in Table 7-3.	Consistent: An Acoustical Analysis was conducted for the project and concludes that existing noise levels in the village do not approach 60 CNEL per General Plan Figure 7-1. According to Table 7-3, for residential single family uses, a noise level below 60 CNEL is acceptable. Therefore, the specific plan complies with General Plan noise level policies.
Policy N-2.2: Promote coordinated site planning and traffic control measures that reduce traffic noise on noise-sensitive land uses.	Consistent: Through use of traffic calming techniques and reduced right-of-way widths, and continuous street tree and landscape planting, the village promotes site planning and traffic control measures that reduce traffic noise on noise-sensitive land uses.
Policy N-3.1: When adjacent to noise sensitive receptors, require developers and contractors to employ noise reduction techniques during construction and maintenance operations.	Consistent: An Acoustical Analysis was conducted and concludes that the site is not adjacent to identified sensitive receptors?
Policy N-3.2: Limit the hours of construction and maintenance operations located adjacent to noise-sensitive land uses.	Consistent: Construction hours and maintenance operations will be limited to municipal code regulations

Housing Element	
Goal 1: Provide a broad range of housing opportunities with emphasis on providing housing which meets the special needs of the community.	Consistent: The Discovery Village South Specific Plan will provide up to 230 residential units to meet the housing demand of the community, consisting of single-family and motorcourt residential product.
Policy 1.1: Designate land for a variety of residential densities sufficient to meet the housing needs for a variety of household sizes and income levels, with higher densities being focused in the vicinity of transit stops and in proximity to significant concentrations of employment opportunities.	Consistent: The Discovery Village South Specific Plan provides densities that range from 5.40 to 6.04 du/ac and two housing types, consisting of single-family and motorcourt configurations. The proposed residential project is near transit stops and close to significant concentrations of existing and future employment opportunities.