

RESOLUTION PC 18-4689

A RESOLUTION OF THE CITY OF SAN MARCOS PLANNING  
COMMISSION RECOMMENDING THE CITY COUNCIL  
APPROVE SPECIFIC PLAN TITLED "MURAI SPECIFIC  
PLAN" IN THE COLLEGE AREA NEIGHBORHOOD

SP 15-009  
(P15-0068)  
ColRich California LLC

WHEREAS, on September 16, 2015 the City of San Marcos received an application from ColRich California LLC, the project applicant, requesting approval of a Specific Plan – Murai Specific Plan to provide for orderly development of the subject area, to develop a residential subdivision of 89 lots/single family residential units, four private parks, private streets, public trails and Open Space in conjunction with General Plan Amendment (GPA 15-005), Tentative Subdivision Map (TSM 15-007), Grading Variance (GV15-002), Conditional Use Permit (CUP 15-008), Site Development Plan (SDP 16-002), and Environmental Impact Report (EIR 16-001) on a 91.65 acre site located to the west of the northern terminus of N. Las Posas Road, more particularly described as:

Portions of Section 34, Township 11 South and Section 3 and Section 4, Township 12 south, all in range 3 west, San Bernardino Meridian, in the City of San Marcos, County of San Diego, State of California.

Assessor's Parcel Numbers: 184-241-03-00, 218-011-10-00, 217-050-36-00, and 217-050-38-00

WHEREAS, the Specific Plan (SP15-009) is being requested in conjunction with a General Plan Amendment (GPA 15-005) to amend the project site's designation in the Land Use and Community Design Element from "Specific Plan Area/Residential (89 lots)/OS/P" to "Murai Specific Plan Area/Open Space" and to remove the designation and description in the Park, Recreation and Community Health Element of the General Plan of a public park on the project site, Tentative Subdivision Map (TSM 15-007) for 89 single-family residential lots, access/ private street lots, open space lots, trails, and private park lots, Grading Variance (GV 15-002) to allow manufactured slopes to be higher than 20 feet, Conditional Use Permit (CUP 15-008) to allow for the temporary use of a rock crusher during grading operations and Site Development Plan (SDP 16-002) to address the design of residential units and plotting of floor plans and elevations within the subdivision; and

WHEREAS, a Notice of Preparation Scoping Meeting and public workshop was held with the general public on October 5, 2016; and

WHEREAS, the Planning Commission did consider and recommend approval to the City Council of an Environmental Impact Report (EIR 16-001, SCH #2016091054)) for said request

pursuant to the California Environmental Quality Act (CEQA); and

WHEREAS, the Development Services Department did study and recommend approval of said request; and

WHEREAS, the required public hearing held on March 5, 2018 was duly advertised and held in the manner prescribed by law; and

WHEREAS, the Planning Commission's recommendation is based on the following findings and determinations:

1. The proposed Murai Specific Plan complies with the goals, policies, and objectives of the adopted General Plan with approval of General Plan Amendment GPA15-005, and with the City-wide Land Use Policy Plan in that the project site is designated as Specific Plan Area (SPA)/Residential (89 lots)/Open Space/Parks. This designation requires approval and adoption of a Specific Plan for the orderly development of the site with up to 89 residential units, designated Open Space and other ancillary uses. The proposed project is consistent with the aforementioned General Plan land use designation, as the proposed Specific Plan for the subject property will establish development criteria for the proposed residential subdivision of 89 lots including private access streets, four (4) private parks, public trail connections, and preserved open space within the 91.65 acre Specific Plan Area (SPA).
2. The proposed Specific Plan will not be detrimental to the public health, safety, morals, and welfare in that the single-family subdivision will be conditioned through a Specific Plan for architectural treatment, high quality design, minimum lot size, setbacks, landscaping, height, parking, and adequate public facilities and infrastructure, including fire, police, water, sewer, and street improvements.

NOW, THEREFORE, the Planning Commission resolves as follows:

- A. The foregoing recitals are true and correct.
- B. This Murai Specific Plan SP 15-009 (Attachment A) is hereby recommended to the City Council for approval.
- C. This Specific Plan (SP 15-009) is recommended to the City Council for approval in conjunction with the General Plan Amendment (GPA 15-005), Tentative Subdivision Map (TSM 15-007), Grading Varian (GV15-002), Conditional Use Permit (CUP 15-008), Site Development Plan (SDP16-002), and Environmental Impact Report (EIR 16-001). All conditions of approval are hereby incorporated by reference herein.
- D. Site development shall occur in accordance with the approved Murai Specific Plan/SP15-009.
- E. Prior to submittal of grading, final map, and/or building permit application, whichever comes first, the applicant/developer shall submit the specific plan (in color) as an editable digital file on a CD and two (2) hard copies to the Planning Division for review and final approval.
- F. To the extent permitted by law, the applicant/developer shall defend and hold the City of San Marcos ("City"), its agents and employees harmless from liability from: (i) any and all actions, claims, damages, injuries, challenges and/or costs of liabilities arising from the City's approval of any and all entitlements or permits arising from the project as defined in the conditions of approval, or issuance of grading or building permits; (ii) any damages, liability and/or claim of any kind for any injury to or death of any person, or damage or injury of any kind to property which may arise from or be related to the direct or indirect operations of the applicant/developer or its contractors, subcontractors, agents, employees or other persons acting on applicant/developer's behalf which relate to the project; and (iii) any and all damages, liability and/or claims of any kind arising from operation of the project. applicant/developer further agrees that such indemnification and hold harmless shall include all defense related fees and costs associated with the defense of City by counsel selected by the City. This indemnification shall not terminate upon expiration of the conditions of approval or completion of the project, but shall survive in perpetuity.

PASSED AND ADOPTED by the Planning Commission of the City of San Marcos, State of California, at a regular meeting thereof, this 5<sup>th</sup> day of March, 2018, by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

ABSTAIN: COMMISSIONERS:

APPROVED:

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Kevin Norris, Chairman  
SAN MARCOS CITY PLANNING COMMISSION

ATTEST:

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Sandra Gallegos, Senior Office Specialist  
SAN MARCOS CITY PLANNING COMMISSION

Attachment: Exhibit "A" (Specific Plan text)

**EXHIBIT “A”**

# MURAI SPECIFIC PLAN



Project Applicant:  
Colrich



160 Industrial Street, Suite 200  
San Marcos, CA 92078



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## 1.0 INTRODUCTION

### 1.1 OVERVIEW OF THE SPECIFIC PLAN

The Murai Specific Plan (Specific Plan) provides the City of San Marcos a comprehensive planning document to guide the orderly development on 91.66 acres in the northern portion of the City of San Marcos (**Exhibits 1-1 and 1-2**). The Murai Specific Plan provides the City of San Marcos with a foundation for development parameters within the area including:

- Proposed land uses and their accompanying regulations and design standards (Chapter 2);
- A circulation plan to accommodate the free movement of vehicles, bicycles, and pedestrians through the plan area and connection to existing infrastructure (Chapter 3);
- An overview of, and guidelines for infrastructure facilities improvements including financing and phasing, to support the development of the Plan Area (Chapters 5, 6, and 7); and
- Mechanisms to implement development within the Specific Plan Area and the administrative processes required to approve development projects within the Plan Area (Chapter 8).

The Murai Specific Plan Area is designed as a residential development clustered on approximately 92 acres inclusive of park space and recreational opportunities. The Plan Area will include varied lot and home sizes to create a diversity of residential home designs within the neighborhood. Open space and recreational opportunities will also be included within the Specific Plan to help connect the neighborhood to the expansive San Marcos trail system. Approximately 76%, 71 acres of the site will remain as open space, which includes fire buffer area, common-area landscaping, parks, and 40.51 acres, of which will be dedicated biological conservation area. These aspects of the Specific Plan will help create a comprehensive and inclusive neighborhood for residents to enjoy.

The Murai Specific Plan will complement surrounding developments by adding valuable housing, trails and open space to the City of San Marcos. The documents framework will guide the development and install parameters for infrastructure, land use, public facilities, design standards, and the administrative processes to implement the development or to modify this Specific Plan. Future development will be contingent upon the execution of the standards set forth within this document.

### 1.2 PLANNING OBJECTIVES

A Specific Plan allows a developer to comprehensively plan the land uses and public facilities of a contiguous land area while maintaining a degree of design flexibility to respond to future conditions. The Specific Plan must be consistent with the policies and development objectives set forth in the City of San Marcos General Plan. The following planning objectives have been established to guide the development of the Murai Specific Plan Area:

- Provide a variety of housing opportunities through a range of unit sizes and number of different unit counts, including 4, 5, and 6-bedroom units, as well as a range of affordability to

accommodate a full spectrum of family demographics and the growing housing needs to the region;

- Create a clustered development thereby maximizing open space preservation within the Plan Area;
- Provide development standards to regulate the nature and appearance of all construction within the Murai Specific Plan Area through unification of land form use, architectural design, unified landscape theme, and recreation areas;
- Design a safe and efficient circulation system that adequately supports the appropriate level of traffic in and around the Plan area, including vehicular, bicycle, pedestrian, and equestrian modes of travel;
- Develop a financing plan that provides for the efficient and timely provision of infrastructure and public services prior to and as development occurs;
- Implement a maintenance program which will ensure all common areas are maintained to standards set forth in the City's General Plan; and
- Finance and/or contribute to all appropriate community and city-wide infrastructure.

### **1.3 SPECIFIC PLAN PURPOSE AND SCOPE**

The Murai Specific Plan establishes itself as the long-range development guide for the City of San Marcos for the Plan area. The document will serve as the primary land use, policy, and regulatory document for the Plan area by providing an efficient development planning and review process. The planning and review process emphasizes the direct and comprehensive correlation between land use, public services, and infrastructure necessary to support those land uses. When all elements of the Specific Plan are implemented together, they support the cohesive and rational development of the planning program that is better able to adapt to the opportunities and constraints of the area.

The Specific Plan serves as both a policy document and a regulatory document for the systematic implementation of a public agency's General Plan. As a policy document, the Murai Specific Plan encompasses the broad policy directives of the General Plan and applies those policies and goals by establishing specific objectives for the plan area. As a regulatory document, the Murai Specific Plan provides direction for the assignment of land uses and associated development, as well as the design and infrastructure capacity standards that must be met for the successful implementation of the plan. By incorporating the allowed land uses, development criteria, design standards, and infrastructure needs, the Specific Plan enables planners to create specific standards applicable to the Plan area. The Murai Specific Plan requires all subsequent development design and development documents, infrastructure, and financing plans to be consistent with the policies and regulations of the content provided herein.

### **1.4 SPECIFIC PLAN AUTHORITY**

California Government Code Section 65450, in conjunction with the City of San Marcos' Zoning Ordinance, Chapter 20.535, gives the City's legislative body the authority to prepare a Specific Plan for the systematic implementation of a General Plan for portions of or all of an area covered by the General

Plan. Per California Government Code Section 65451, a specific plan shall contain the following written and graphic information:

- A statement of the relationship of the Specific Plan to the General Plan;
- The distribution, location, and extent of the land uses, including open space;
- The proposed distribution, location, and extent and intensity of major components of public and private utilities, and facilities included in the plan area;
- Standards and criteria by which development will proceed, and the standards for the conservation, development, and utilization of natural resources, where applicable; and
- A program of implementation measures, including phasing, regulations, programs, public works projects, and financing measures.

## 1.5 CONTENTS OF THE SPECIFIC PLAN

To comply with the requirements identified in the section above, the Murai Specific Plan includes the following information:

- An introduction which includes the planning objectives for the Specific Plan that encompass the goals of, and is consistent with the General Plan, regarding land use, circulation, resource management, as well as public services and utilities (Chapter 1);
- Written descriptions and graphic illustrations of proposed land uses within the planning area, including clearly identified specific development patterns and design standards (Chapter 2);
- Written descriptions and graphic illustrations of proposed vehicular, pedestrian, and equestrian circulation systems for the Plan area and the connections to adjacent public and private circulation networks (Chapter 3);
- A public service and facility plan that identifies the specific agencies and extent of public services and facilities necessary to serve the Plan area (Chapter 4 and 6);
- A utility plan that includes the location and extent of utility services necessary to serve the Plan area (Chapter 5)
- A public facility financing and phasing plan that provides the general outline for the financing mechanisms proposed and the phasing of public improvements to the Plan area (Chapter 6); and
- An implementation and amendment program that provides the mechanisms available for project review procedures and regulations for specific development within the Plan area and any future amendments to the Specific Plan (Chapter 7).

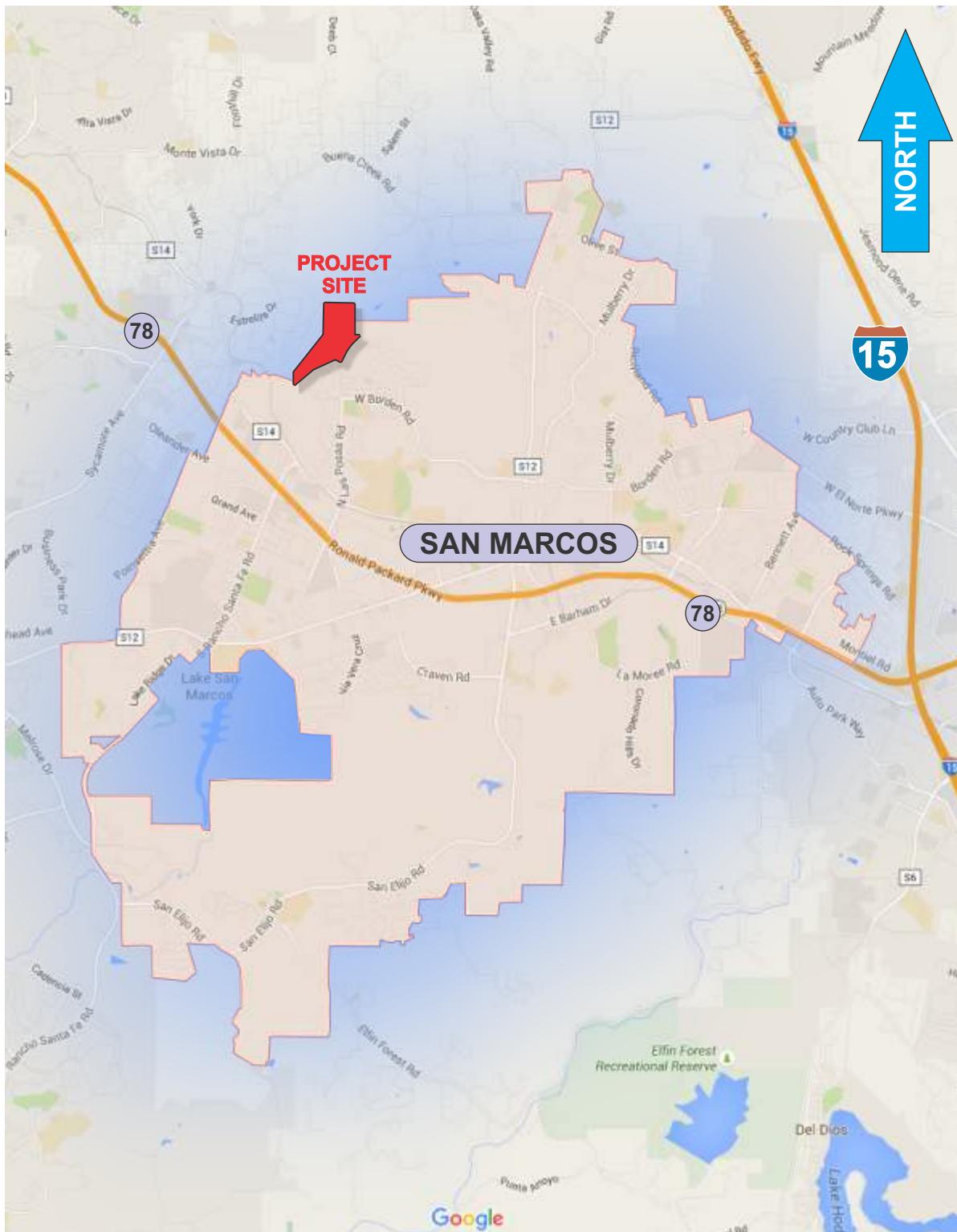
## 1.6 PLAN LOCATION AND SETTING

### 1.6.1 REGIONAL AND LOCAL SETTING

The Murai Specific Plan area encompasses approximately 91.66 acres in the north-west portion of the City of San Marcos (**Exhibit 1-1, and 1-2**), adjacent to the San Marcos Highlands Specific Plan Area, Santa Fe Hills residential neighborhood, unincorporated lands, and the City of Vista. Situated to the west of the northern terminus of Las Posas Road the Plan area generally follows Las Posas road from north to

south. The San Marcos Highlands Specific Plan area is situated to the northeast of the Murai Plan area. The Santa Fe Hills residential neighborhood borders the Murai Specific Plan area to the south-east stretching from approximately the bottom third of the Plan area in southerly and easterly direction. Unincorporated County of San Diego area borders the remainder of the Plan area to the west.

The Murai Specific Plan area is located in close proximity to major transportation, employment, education, health, and retail service centers located throughout North San Diego County. Transportation in North San Diego County is centered near two major highways (Interstate 15 and State Route 78). In addition to the two main vehicular transportation routes, there is also a SPRINTER station and BREEZE bus service located in close proximity to the Plan area. Numerous employment centers are located along the State Route 78 corridor in the cities of San Marcos, Vista, and Oceanside as well as other employment centers located along the Interstate 15 freeway in Escondido, Rancho Bernardo and connecting as far south as San Diego. Elementary, middle, and high schools are located within close proximity to the Plan area. In addition, there are two major higher education institutions; California State University San Marcos and Palomar Community College, within San Marcos, just a short trip from the Murai Specific Plan area. A new regional hospital recently opened approximately 7 miles from the Specific Plan area. The Plan area's location allows for easy transportation access to the entire North San Diego County and will become an attractive residential destination.



# Regional Map

## *Exhibit 1-1*

# MURAI SPECIFIC PLAN AREA



Vicinity Map

*Exhibit 1-2*

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## MURAI SPECIFIC PLAN AREA

## 1.6.2 PLAN AREA PHYSICAL CHARACTERISTICS

The Murai Specific Plan area covers four parcels, APN's 184-241-03, 218-011-10, 217-050-36, and 217-050-38, totaling gross 91.65 acres.

The Murai Specific Plan area has a varied topography covering many differing types of landforms **Figure 1-3** through **1-5**. The site generally slopes from the northern portion of the Plan area in a southerly direction. Elevations of the site are varied and range from approximately 743 feet above mean sea level (amsl) in northwest corner of the Plan area and sloping southerly to approximately 530 feet amsl at the southern portion of the Plan area. Several knolls



**Figure 1-3** View looking north from southeast corner of the Specific Plan Area



**Figure 1-4** County Water Authority Trail looking north

reside in the upper portion of the Specific Plan area to the center and west portion of the upper most parcels. Those knolls are approximately 743 feet amsl for the northern central knoll and 795 feet amsl at the north-eastern knoll. There is an existing man-made pond which was formed by a constructed man-made dam, located in the center of the site approximately 560 feet amsl.

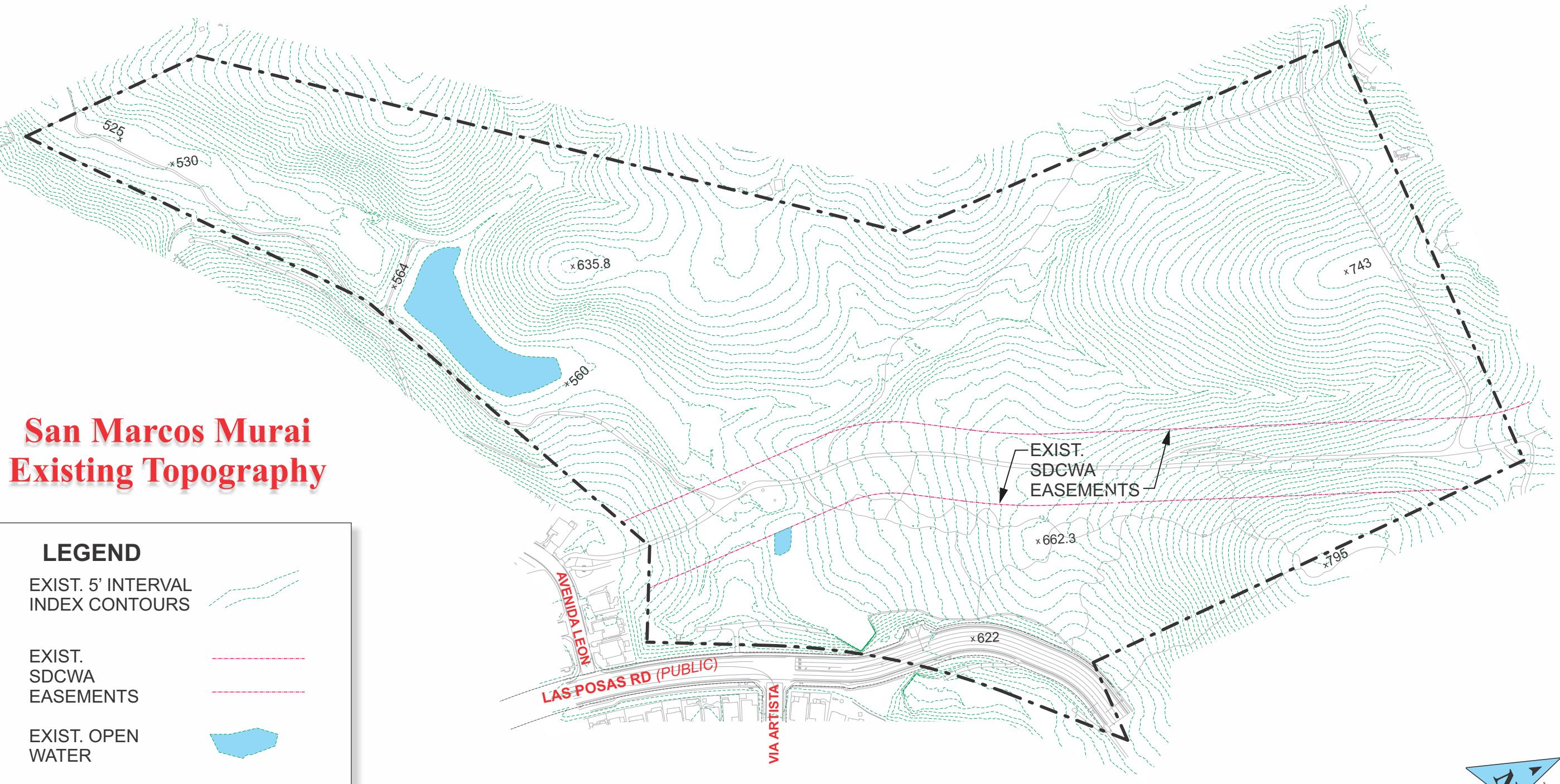
Natural vegetation covers approximately 85 percent of the Specific Plan area including 13.09 acres, which is the San Diego County Water Authority trail easement area and are considered impact neutral. Impact neutral easement areas do not count for or against biological impacts. Several vegetation communities are found on the site including fresh water marsh habitat located along the Agua Hedionda Creek which flows under Las Posas Road and through the site to a man-made dam and pond. Coastal sage, non-native grasslands, Southern Cottonwood-willow riparian forest, and Mule Fat scrub are also present on the site. A San Diego County Water Authority trail is the only existing access to the site and traverses the site in a north-south direction approximately in the center of the site and takes access from a gate located on Avenida Leon.

### 1.6.2.1 PROJECT MERITS

A Specific Plan should consider the inclusion of natural landforms and features, and recreational opportunities, such as parks and open space, and site constraints such as easements and emergency services access, which form core quality of life components for the community. The Murai Specific Plan area will include all of the aforementioned merits within the project area's design for residents' safety and for the enjoyment of the



**Figure 1-5** View of the southern pond area



Existing Topography Exhibit

**MURAI SPECIFIC PLAN AREA**

Exhibit 1-6

general public. The site was designed to flow with the natural topography which lends to a sense of cohesiveness with the surrounding nature and preserving scenic vistas for residents of the Murai

Specific Plan area as well as adjacent neighbors (**Figure 1-7**).



**Figure 1-7** Las Posas Road looking north at primary entry to the project site

This has been achieved through balancing soil quantities during grading and clustering the residential lots for a reduced project footprint. Natural features, such as wetland areas leading to an existing pond at the southern end of the site, will be retained for their scenic qualities and their abilities to facilitate wildlife. Internal private parks have been included, adding depth to the quality of life of the Murai Specific Plan area, which facilitate community character and neighborly interaction. Public trails have been included within the Plan area and public access easements further support the vision

of a City-wide trail network which provides healthy living and enjoyment opportunities for the public. The design of the site considered access for emergency service vehicles for enhanced public safety. The main entry serves the primary emergency access with a secondary access less than 500' from the main entrance. The San Diego County Water Authority Trail acts as a tertiary emergency access point which connects the project via Avenida Leon to the south. These project merits contribute to the quality of life for the residents of the Specific Plan area as well as the public and complete a project design with unique features within the City of San Marcos.

### 1.6.3 FACTORS THAT INFLUENCE THE SPECIFIC PLAN

Descriptions of the opportunities and constraints provided below are the driving force influencing the development of the Murai Specific Plan. In addition to the site's opportunities and constraints, the Specific Plan has incorporated input from the City of San Marcos staff, as well as the neighboring communities, who may have a stake in the development of the Plan area. All of these factors, when applied to the development, help to make a complete and comprehensive development for the Plan area.

#### General Location

Murai Specific Plan is located in an area near existing and proposed residential development ranging from (detached single-family residential neighborhood of Santa Fe Hills) to the rural residential homes located in the unincorporated County lands to the west. The Specific Plan design is consistent with the existing residential development in the surrounding area. The Plan's location allows for a symbiotic relationship between housing and employment along transportation corridors, and in close-proximity to the Palomar College NCTD Station which can provide various mobility options. Las Posas Road connects the Plan area to regional transportation, employment, shopping and services, thus creating a regional network in an area of rapid growth. The Murai Specific Plan area is in an ideal location to take advantage of existing infrastructure, employment opportunities, and commercial and retail services.

### **Topography**

The Murai Specific Plan area has varied topography consisting of rolling hills, slopes, valleys and wetland depressions. Topography is an important aspect of the design development of the Specific Plan area affecting land use, grading, and drainage. The northern portion of the site sits at the highest elevation and generally slopes to lower elevations toward the southern portion of the site. A man-made dam and pond exists in the central portion of the site which precludes development near the body of water. Landforms dictate the location of proposed neighborhoods generally isolating a clustered development to the flatter knolls and hills in the central portion of the Plan area, thereby reducing grading and disturbance and maximizing open space while avoiding the degradation of the wetlands.

### **Biological Resources**

Several sensitive plant communities exist within the boundary of the Murai Specific Plan area. Those communities have dictated the location of the development and the mitigation required to develop within the Plan area. The site is predominantly vegetated with Diegan Coastal sage (77.56 acres), however several smaller plant communities including freshwater marsh (2.02 acres), non-native grassland (1.91 acres), Southern Willow scrub (1.62 acres), and Mule Fat scrub (1.18 acres) can be found onsite (acreages determined per the Biological Technical Report Dated July 2017 by Everett and Associates). Approximately 1.049 acres are considered disturbed habitat from human activities on the site. The Agua Hedionda Creek runs through the site and into an existing man-made pond located in the central portion of the Plan area. The remainder of the site is mostly upland habitat of slopes and hills consisting of coastal sage and chaparral plant communities. Under the Specific Plan, 40.51 acres will be preserved in a biological conservation area easement.

## **1.7 RELATIONSHIP TO EXISTING PLANS AND REGULATIONS**

The Murai Specific Plan is correlated with several documents, which help guide the development of the Plan area. These documents have goals and policies, which together with the Specific Plan set forth the policies and regulatory groundwork that all development within the Plan area must meet to satisfy.

The Murai Specific Plan area is within the jurisdiction of the City of San Marcos. The City of San Marcos General Plan is the premier tool the City can use to guide development. The policies and goals outlined in the General Plan establish the framework for instituting all future development within the City of San Marcos.

### **1.7.1 CITY OF SAN MARCOS GENERAL PLAN**

The City of San Marcos's adopted General Plan (2012) sets forth long range planning policies for the City that were adopted after soliciting extensive input from the City's citizens, businesses, landowners and other stakeholders. The City has the authority to maintain and implement the goals and policies of the General Plan. The Murai Specific Plan is required to establish consistency with, and carry out the goals and policies set forth in the General Plan. The following discussion details the Murai Specific Plan's consistency with the City's adopted General Plan.

**Specific Plans** – The General Plan land use designation of the project site is “SPA/Specific Plan Area”. This designation requires that a Specific Plan be developed and adopted for the site before any development would be allowed to occur on-site. Chapter 20.250 of the San Marcos Zoning Ordinance establishes specific standards to regulate development by authority from the General Plan, describes specific plans as tools for the systematic implementation of the San Marcos General Plan. As a planning tool, the specific plan derives its authority from state and local law to provide a more precise framework for the distribution of land uses, infrastructure, development standards, resource conservation, and implementation measures necessary to carry out the goals of the General Plan. The Murai Specific Plan takes into account the unique physical characteristics, constraints, and resources of the Plan area to provide specific development guidelines for projects within the Plan area. According to Government Code Section 65454, a specific plan must be consistent with the adopted General Plan. The Murai Specific Plan’s consistency with the General Plan is described in more detail below.

**Land Use and Community Design Element** – The Murai development area is located in the College Area neighborhood and is designated as Focus Area 29/Specific Plan Area, Residential (89 lots)/Open Space/Park, in the City of San Marcos General Plan as Specific Plan Area. With a maximum yield of 89 residential units. The total density of the proposed project is approximately 1 unit per acre. Low density developments typically feature fewer units, provide recreation areas and open space, and related uses that support the smaller character development feel. The Plan would accommodate 89 residential units on 91.66 acres for a total of less than 1 unit per acre. Low-density developments often act as buffers to surrounding density, becoming a transition as density feathers out into less populated communities within a geographic area. In this case, the Murai Specific Plan area would buffer the rural residential County residences to the north and west from the single-family residential Santa Fe Hills neighborhood to the east. Clustering of the project along with the low density will allow for the maximization of open space area within the Plan area. The addition of 89 units, with accompanying open space and trails, will create a cohesive design and will add a diversity of unit and lot sizes and types near transportation options to the College Neighborhood.

**Mobility Element** – The Mobility Element of the General Plan establishes the structure for a comprehensive, multi-modal transportation network throughout the City of San Marcos. The Element examines the strategic locations of transportation modes and methods to better connect the City’s commercial and retail centers, industrial complexes, and residential neighborhoods, as well as connecting to the major regional transportation systems. When incorporated together, the components of the Mobility Element help provide a higher quality of life to residents by facilitating a cohesive network of transportation options that work to eliminate congestion and improve circulation throughout the City while also connecting the City of San Marcos to regional opportunities.

The Murai Specific Plan integrates into the City of San Marcos’ transportation network by establishing a circulation plan based on the goals outlined within the Mobility Element. The Plan area will include a multi-modal transportation network designed appropriately for the land uses and connecting to the City’s existing infrastructure. The Plan area meets the goals of the Mobility Element because of its location and proximity to SPRINTER and BREEZE stations, the SR-78 freeway, the inclusion of hiking, biking and equestrian trails, and an internal road circulation and access plan that allows for the safe and

free flow of vehicular, pedestrian, and bicycle traffic. When combined, these components help reduce greenhouse emissions because the location of the Plan area is near existing employment and retail centers such as Palomar Community College, Grand Plaza, employment opportunities along Mission Road all of which are in close proximity to the Palomar College NCTD Transit Station. All of the aforementioned components of the circulation plan, when met, help reduce emissions and satisfy the goals and policies of the San Marcos General Plan.

**Conservation and Open Space** – The Conservation and Open Space Element of the General Plan identifies natural, cultural, historic, and open space resources within the City of San Marcos. The goals provided within the Conservation and Open Space Element outline the policies and programs related to open space and resource conservation which must be incorporated into development and growth within the City of San Marcos. Key resources within the Plan area include biological and passive open space which must be preserved. Future development within the Plan area will be clustered, which intrinsically incorporates resource protection and conservation goals of the Conservation and Open Space Element. By clustering future development within the Plan area in a manner that preserves as much as possible natural land forms, vital infrastructure can be isolated to one portion of the Plan area, thereby minimizing impacts to natural open space and maximizing the amount of land that can be set aside for preservation. Additionally, any landscaping within the Plan area must conform to strict water and other resource conservation measures. Any future development must implement engineering plans to treat all water runoff on site. Waste and recycling services established by this Plan also contribute to pollution reduction and resource conservation. By tying future development to specific conservation and open space requirements the Murai Specific Plan is consistent with the Conservation and Open Space Element.

**Parks, Recreation, and Community Health Element** – The purpose of the Parks, Recreation, and Community Health Element of the General Plan is to provide recreational opportunities which contribute to the health and well-being of the residents of San Marcos. The goals of the Element outline the amenities future development must provide to satisfy the intent of the General Plan.

The City of San Marcos General Plan requirement is for developments to provide 5-acres of parkland for every 1000 residents. The Murai project proposes 89 single-family residential units and will contribute approximately 274 residents to the City of San Marcos, which will require a total of 1.37-acres of park space. The Murai project is providing 2-acres of private parks for its residents, as well as paying park in-lieu fees for public park space and maintenance elsewhere within the City of San Marcos thereby satisfying its park acreage requirement.

The City's General Plan, Parks, Recreation, and Community Health Element and the City of San Marcos Parks Master Plan both identify public park space within the Specific Plan Area. Specifically, Table 5-2 of the Parks, Recreation, and Community Health Element identifies a 20-acre public park on the property, and Figure 20 of the 1990 Parks Master Plan identified the Agua Hedionda Park, a 15-25-acre public park. The 2012 General Plan describes the park amenities to include a playground, tot lot, picnic tables, barbecue facility, trail staging area, fishing, wilderness area, on-site caretaker, concessions and a restroom.

However, the 1990 Parks Master Plan and subsequent 2012 General Plan update did not fully analyze current biological and landform constraints, and easements, or the impacts a 20-acre park would have on the biological communities on the property. The area selected in the 1990 Parks Master Plan and the General Plan update for the park could impact species including but not limited to Diegan Coastal Sage Scrub, freshwater marsh, Mule Fat Scrub, and non-native grassland. Federal and State wildlife agency requirements and setbacks would severely limit the scope of development of the proposed public park. Once the biological constraints were analyzed, the information revealed from those studies precludes development of a 20-acre public park. The requested project entitlements include a General Plan Amendment to remove the requirement of provision of a 20-acre public park on the project site.

The Murai Specific Plan will contribute to the system of trails within the City of San Marcos by improving a section of existing trail on the site. This improvement will offer the public the opportunity to connect with the City's vast trail system. An easement will be placed over the San Diego County Aqueduct Trail to allow the public access to the trail for recreational purposes. The trail lies in a roughly northern and southern direction through the center of the Specific Plan Area. In addition to the public trail, the Murai Specific Plan area will also offer private park space and passive open space which contribute to the health and well-being of residents. These amenities are in keeping with the goals of the Parks, Recreation, and Community Health Element and satisfy the intent of the General Plan.

**Safety Element** – The primary purpose of the Safety Element of the General Plan is to establish goals that promote the public health, safety, and welfare of residents and their property within the City of San Marcos. The Safety Element identifies and creates a plan for anticipated natural and human-caused safety concerns affecting city residents. The Murai Specific Plan Area partially lies with an Airport Overlay Zone. Future homeowners of the proposed development will be given proper disclosure prior to occupancy.

The Murai Specific Plan develops a plan for the implementation of public safety measures and first responders to help maintain the safety of the Plan area's residents, as well as its neighbors. A comprehensive fire safety and fuel modification plan will be developed concurrently to bring the Plan into full compliance with the Safety Element of the General Plan.

**Noise Element** – The purpose of the Noise Element of the General Plan is to identify potential problems and noise sources threatening community safety and comfort and to establish policies and programs that will limit or mitigate the community's exposure to excessive noise levels. It addresses both existing and foreseeable future noise abatement issues.

The Noise Element of the City of San Marcos General Plan has established a 60 CNEL limit for residential developments provided a noise analysis is conducted. Exterior noise level standards for residential development must not exceed 60 Community Noise Equivalent Level (CNEL), and the interior noise level standard for indoor habitable rooms shall be no more than 45 CNEL. Las Posas Road is the closest noise generating feature near the Specific Plan area, and has an existing noise contour of 70 CNEL at the lanes and reduced to 60 CNEL extending out. The current noise contour limits terminate at Borden Road.

Future noise contour levels will be extended to the terminus of Las Posas Road, which fronts the Specific Plan area.

The Murai Specific Plan area has been designed as a future residential development. The future development will separate, reduce, or mitigate noise using a variety of methods including walls to reduce noise and modern construction materials and methods. The Noise Assessment conducted for the project by LDN Consulting, December 2016, states conventional building standards will reduce second story noise impacts to below a level of significance. Therefore, the Murai project will be consistent with the City of San Marcos Noise Element.

***Housing Element*** – The Housing Element of the San Marcos General Plan seeks to balance existing housing and future housing development within the city to meet the housing needs of the region.

The Murai Specific Plan proposes a total of 89 units on 91.65 acres (1.0 unit per acre) in the City of San Marcos. The development plan for Murai will include a variety of unit bedroom counts, home square footage, and lot sizes thereby offering a range of economic opportunities to potential home buyers. The Developers of housing units within the Murai Specific Plan area will contribute an in-lieu fee toward the City of San Marcos' Affordable Housing Program.

### **1.8 COMPLIANCE WITH CEQA**

An Environmental Impact Report (EIR) has been prepared for and accompanies the Murai Specific Plan. The EIR is prepared in accordance with the California Environmental Quality Act (CEQA) and serves as a comprehensive environmental document for subsequent development within the Specific Plan area.

The EIR examines the relationship the Specific Plan implementation may have on potential environmental impacts to the Plan area and makes determinations for mitigation measures to reduce impacts to below levels of significance. The EIR will be considered concurrently with the Specific Plan by the decision-making body.

A Mitigation Monitoring and Reporting Program (MMRP) must be adopted in accordance with Public Resources Code Section 21081.6 to ensure the proper implementation of the mitigation measures outlined within the EIR. All future development within the Plan area is required to adopt and implement the mitigation measures specified in the MMRP.

## 2.0 LAND USE AND DESIGN

### 2.1 DESIGN OBJECTIVE

The Murai Specific Plan area is situated within a unique natural setting in northern San Marcos. The Plan area includes scenic features dotted with rolling sage covered hills and a wetland stream traversing the site. The Plan area's natural features provide an opportunity to create a smart residential development that cohesively integrates into the surroundings without sacrificing the character of the surrounding residential neighborhoods. The Plan area will incorporate natural land features and opportunities, location and transportation, infrastructure, and services into the design to help facilitate new development that meets or exceeds the goals of the San Marcos General Plan.

The Plan area will address community planning goals and concepts and will incorporate core conservation issues into the development design. Through careful engineering the site will present a residential design conscious of open space preservation and orderly circulation design thereby reducing the projects impacts and maximizing conservation of resources. These goals include:

- Create a sustainable development through careful balancing of land use, transit, open space preservation, and resource conservation;
- Design a series of roadways that safely link the development to the larger community;
- Establish a neighborhood linked to the community through a multi-modal transportation system to include roads, interconnected recreational trails, pedestrian, and bicycle mobility options;
- Create a series of built features that provide a distinct built environment that is pleasing to residents and neighbors alike;
- Maintain the feel of the community through the use of building materials that complement and enhance the surrounding environment and neighborhoods; and
- Create a distinct recreational environment thought the careful placement of trails and parks and preservation of natural land forms, features, and open space.

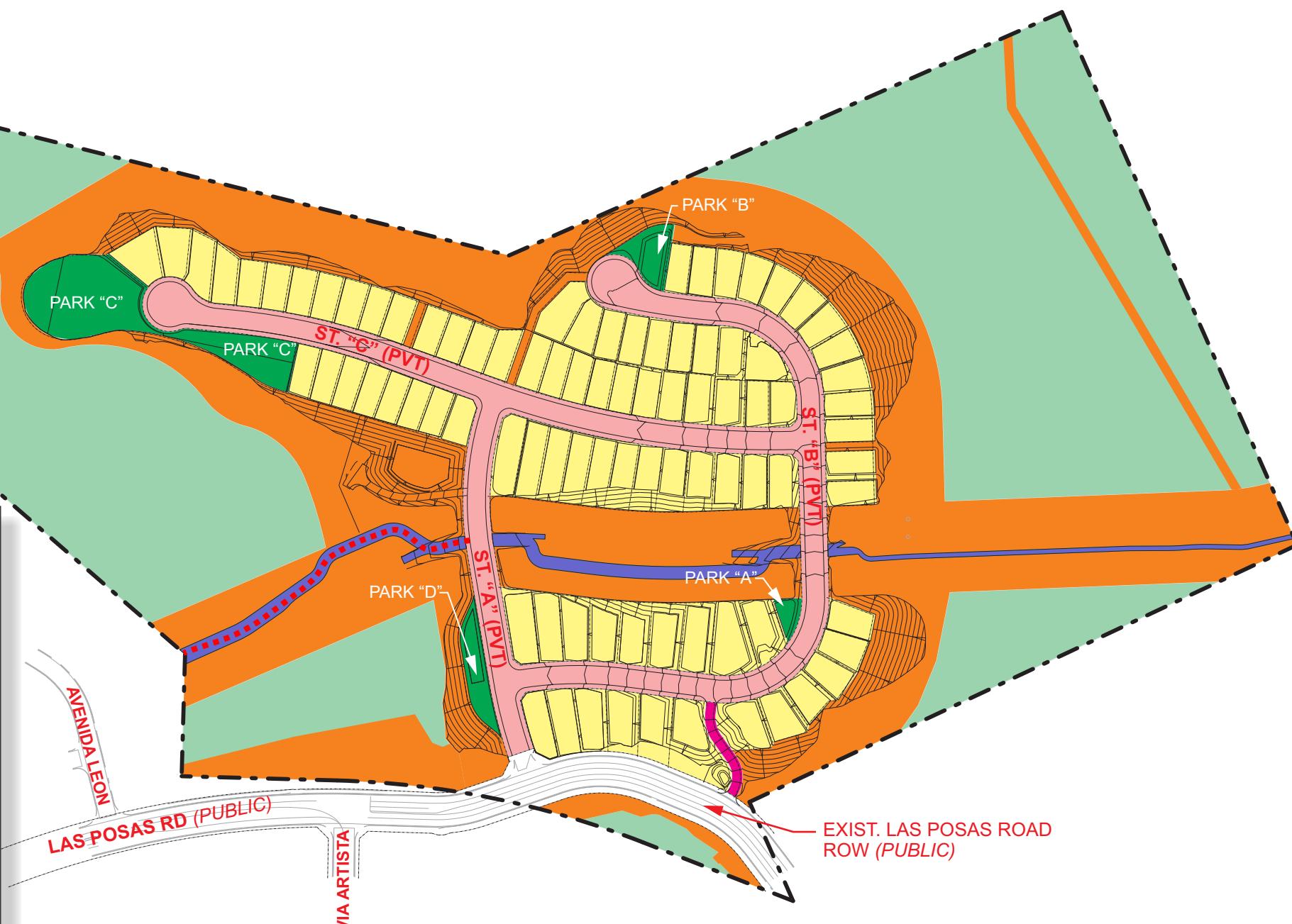
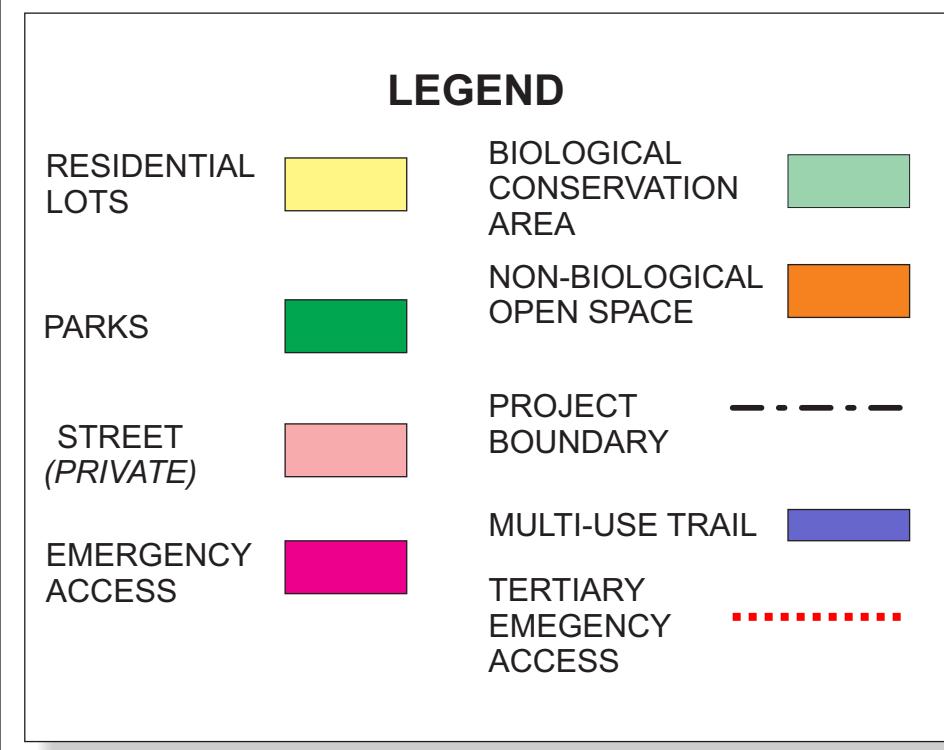
### 2.2 DESIGN ELEMENTS AND STANDARDS

#### 2.2.1 LAND USE PLAN

The Murai Specific Plan is a residential community on 91.66 acres in the City of San Marcos. The Plan area is inclusive of clustered residential neighborhood development, biological conservation area, street landscaping, parks, and streets (**Exhibit 2-1**). The land uses form a balanced site able meet the goals laid out for development within this Plan while also minimizing impacts and maximizing open space conservation.

The 91.66-acre residential development will include 89 units for a total of 1.0 unit per acre. The site design will place the entirety of the clustered residential neighborhood approximately in the center of the Specific Plan area.

## San Marcos Murai Land Use

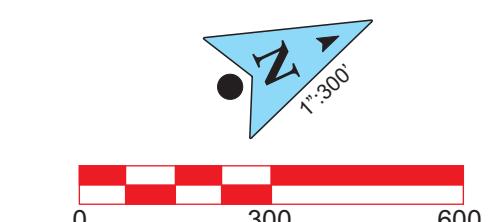
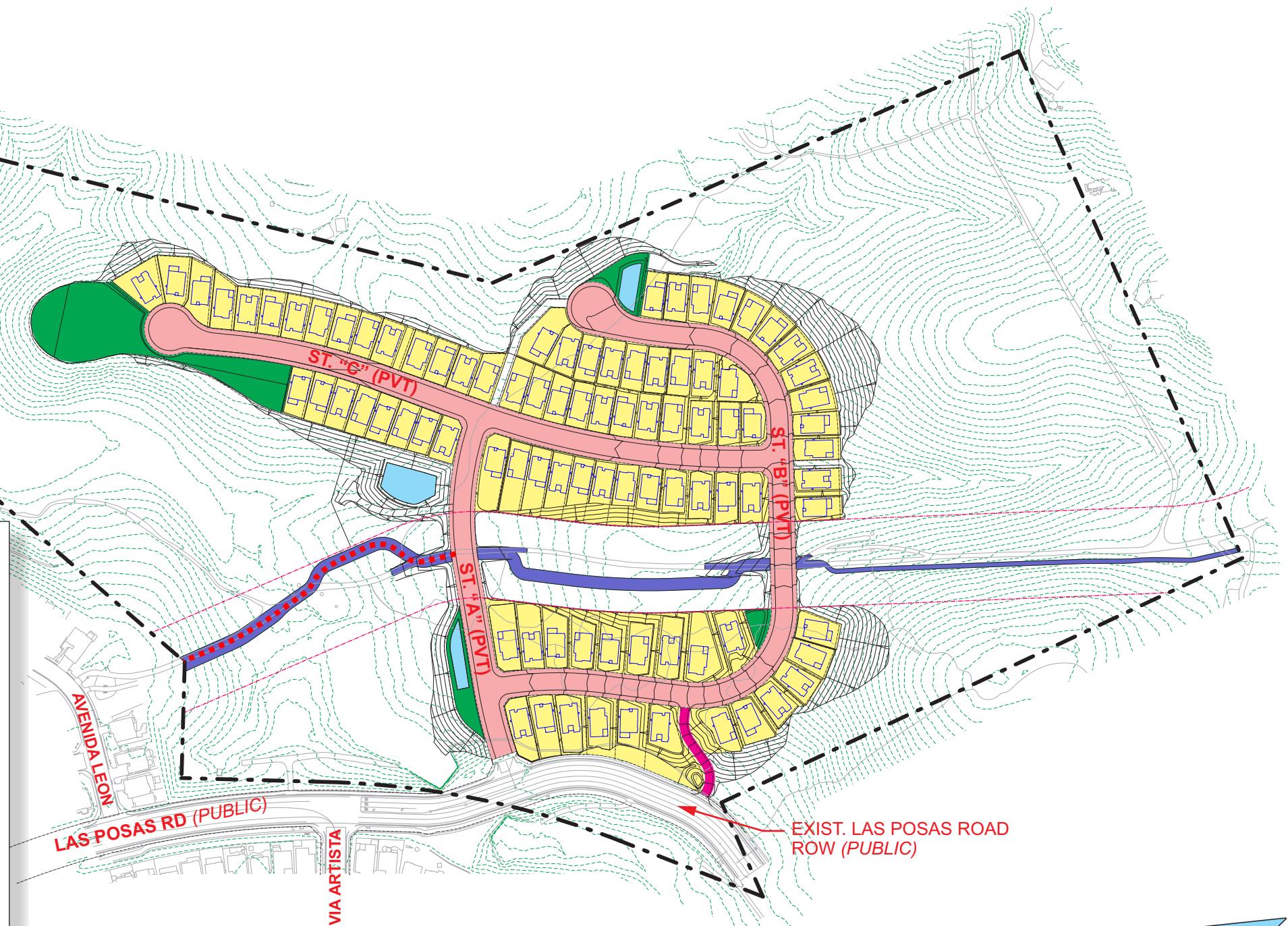
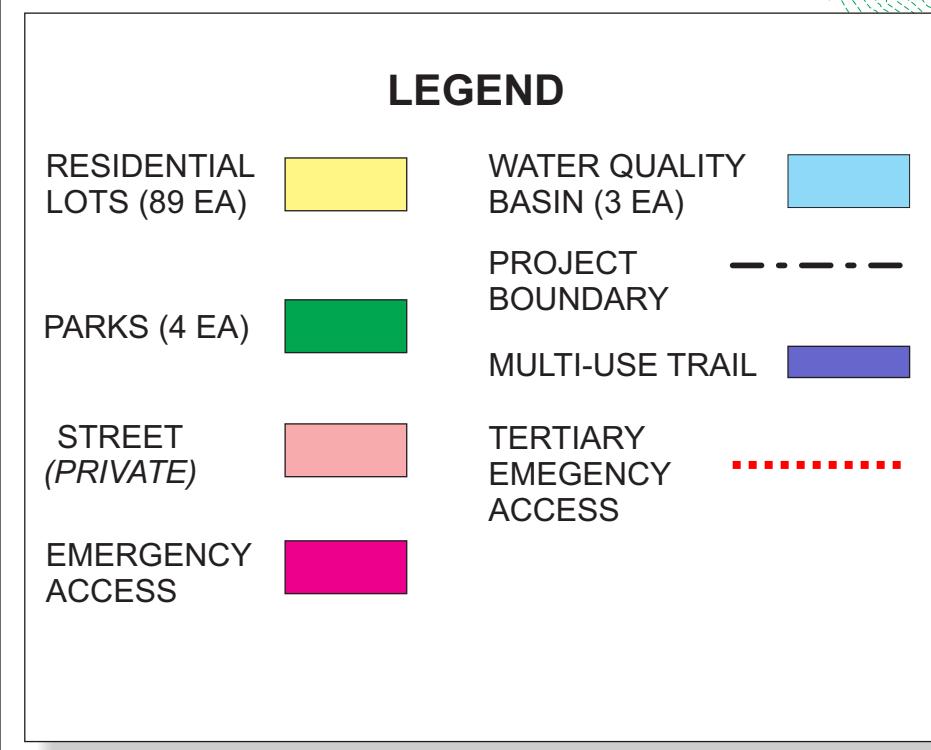


Land Use Exhibit

**MURAI SPECIFIC PLAN AREA**

*Exhibit 2-1*

## San Marcos Murai Site Plan



Site Plan Exhibit

Exhibit 2-2

**MURAI SPECIFIC PLAN AREA**

The Plan area considered access points, infrastructure location and design, and critical open space habitat to create a balanced land use plan that meets the goals of the San Marcos General Plan. By limiting the location of development and clustering residential units, the design footprint was reduced thus reducing the area of infrastructure needed to serve the site which increased the amount of land available for preservation of biological conservation area (**Exhibit 2-2**).

### **2.2.2 RESIDENTIAL DEVELOPMENT**

The Murai Specific Plan residential development consists of 89 single family homes clustered on 91.66 acres located at the terminus of Las Posas Road in the City of San Marcos. Residential development includes a range of 2 story unit plans, sizes, and styles on a variety of lot sizes. Homes visible from roadways and public spaces shall be architecturally enhanced. Homes are clustered on a disturbed development footprint of 35.20-acres, inclusive of slopes and fire buffer zones, on minimum 5,000 square foot (sf) lots (**Table 2-1**). The proposed average lot size within the development area will be approximately 7,252 sf. Providing a variety of home sizes and types on varying lot sizes broadens the appeal of the Plan area and increases homeownership opportunities to buyers from a broad range of income levels.

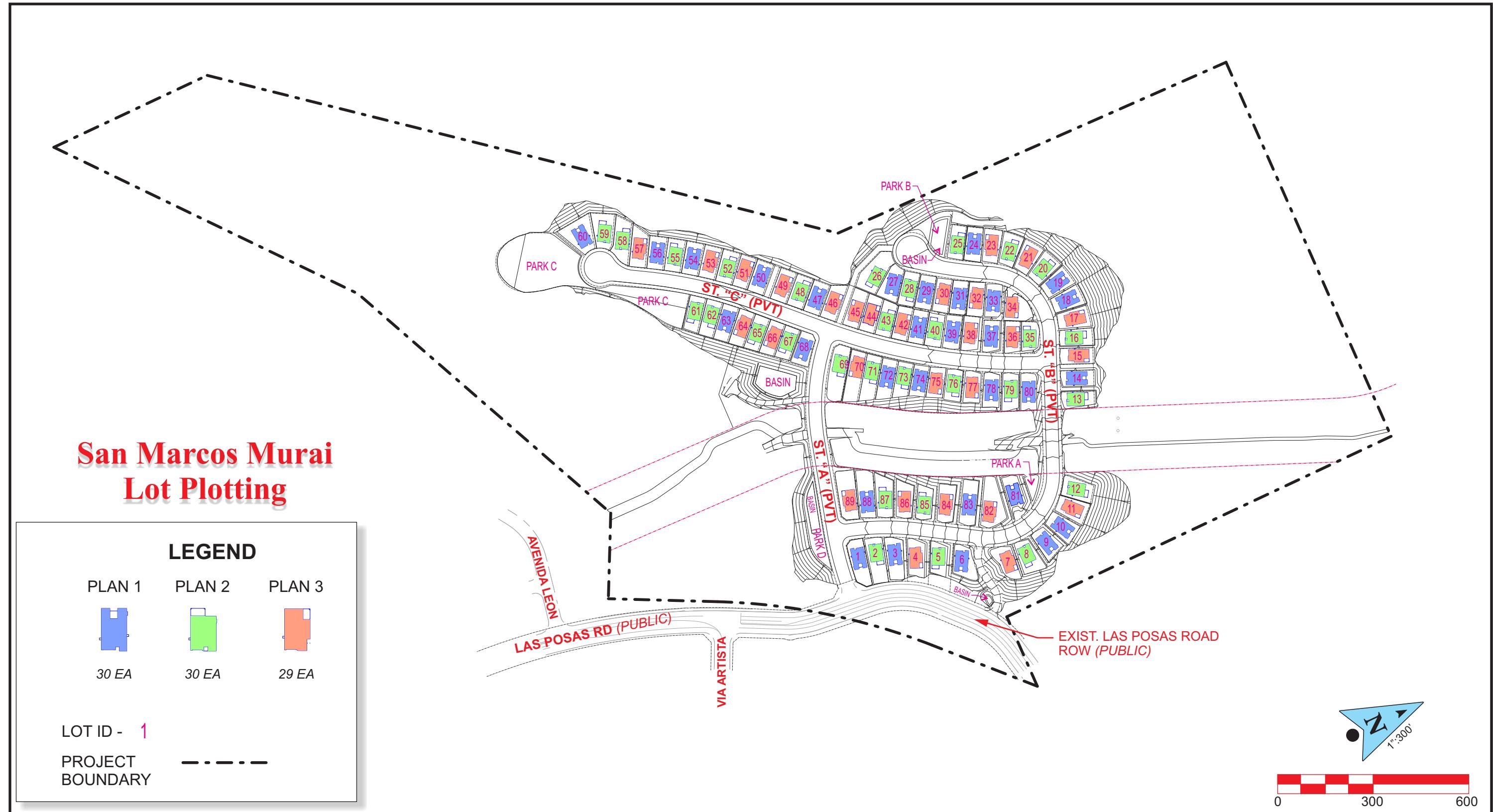
**Table 2-1 Residential Lot Information**

Lot No.	Lot Area sf	Plan Type	Bldg. Elevation	Lot No.	Lot Area sf	Plan Type	Bldg. Elevation
1	8,308.05	PLAN 1	C	46	6,300.03	PLAN 3	A
2	8,390.44	PLAN 2	B	47	5,880.00	PLAN 1	C
3	9,190.93	PLAN 1-R	A	48	5,775.00	PLAN 2-R	C
4	9,491.04	PLAN 3-R	B	49	5,880.00	PLAN 3	B
5	10,457.44	PLAN 2-R	C	50	5,950.00	PLAN 1-R	A
6	16,627.36	PLAN 1-R	B	51	5,359.89	PLAN 3	C
7	11,302.56	PLAN 3-R	A	52	6,000.84	PLAN 2-R	A
8	7,967.17	PLAN 2-R	B	53	5,894.08	PLAN 3	B
9	6,809.84	PLAN 1-R	C	54	6,000.84	PLAN 1-R	C
10	6,577.41	PLAN 1	A	55	5,894.08	PLAN 2	A
11	6,478.10	PLAN 3	B	56	6,000.84	PLAN 1	B
12	6,645.48	PLAN 2-R	A	57	6,831.57	PLAN 3	A
13	5,948.65	PLAN 2	C	58	7,620.49	PLAN 2-R	C
14	7,259.91	PLAN 1	A	59	7,362.97	PLAN 2	B
15	5,500.00	PLAN 3	C	60	8,622.55	PLAN 1	C
16	6,485.83	PLAN 2	B	61	5,782.50	PLAN 2-R	B
17	6,584.26	PLAN 3-R	A	62	6,015.24	PLAN 2	C
18	6,333.82	PLAN 1-R	C	63	5,941.16	PLAN 1-R	B
19	6,256.31	PLAN 1	B	64	5,913.06	PLAN 3	C
20	6,265.84	PLAN 2-R	A	65	5,608.83	PLAN 2-R	A
21	6,198.32	PLAN 3-R	C	66	5,576.07	PLAN 3	B
22	6,295.25	PLAN 2-R	A	67	5,324.64	PLAN 2-R	C
23	6,208.48	PLAN 3-R	B	68	5,828.73	PLAN 1-R	B
24	6,095.77	PLAN 1-R	A	69	10,805.43	PLAN 2	B
25	5,628.15	PLAN 2-R	C	70	8,515.14	PLAN 3	A
26	9,132.00	PLAN 2-R	B	71	8,320.02	PLAN 2	C
27	6,483.70	PLAN 1-R	C	72	7,870.77	PLAN 1	A
28	5,807.74	PLAN 2	A	73	7,799.47	PLAN 2	B
29	5,860.19	PLAN 1	C	74	7,827.93	PLAN 1	C
30	5,692.46	PLAN 3	A	75	8,009.83	PLAN 3-R	A
31	5,805.31	PLAN 1-R	B	76	8,238.61	PLAN 2	C
32	6,033.48	PLAN 3	C	77	7,947.37	PLAN 3-R	B
33	6,881.36	PLAN 1	A	78	7,611.26	PLAN 1-R	A
34	7,606.95	PLAN 3-R	B	79	6,966.95	PLAN 2-R	C
35	5,606.65	PLAN 2	A	80	7,525.41	PLAN 1	B
36	5,426.74	PLAN 3	C	81	9,389.99	PLAN 1	B
37	6,988.81	PLAN 1	B	82	12,764.28	PLAN 3	B
38	7,189.56	PLAN 3	A	83	10,535.85	PLAN 1-R	C
39	6,288.32	PLAN 1	C	84	10,586.20	PLAN 3	A
40	6,191.22	PLAN 2	B	85	9,511.49	PLAN 2	B
41	5,747.94	PLAN 1-R	A	86	9,022.42	PLAN 3-R	C
42	5,655.86	PLAN 3	C	87	9,163.00	PLAN 2	A
43	5,820.90	PLAN 2-R	A	88	8,648.91	PLAN 1-R	B
44	6,104.70	PLAN 3	B	89	11,001.16	PLAN 3-R	A
45	6,355.84	PLAN 3-R	C				

\*Lot areas shown on table are proposed. Final lot areas will be determined prior to approval of final map.

Floor plans within this Specific Plan are conceptual. Final floor plans will be approved with Site Development Plan.

The Plan area includes three conceptual floor plan layouts with three elevation styles for each floor plan. Locations of plan types within their lots can be seen on **Exhibit 2-3**. Table 2-1 provides information on lot areas, floor plans, and the elevation for each unit within Murai. Plan One units are approximately 2,753 sf units (**Exhibit 2-4**) with 3 different home elevation styles. Plan One units are 3-bedroom units with 2 additional bonus rooms/optional bedrooms (**Exhibit 2-5 through 2-9**). Each Plan One unit includes a 2-bay garage with a storage area. Plan One Elevation 'A' units include styles that will have enhanced elevations where those units are visible to the public (**Exhibit 2-7**). Plan Two units are approximately 3,156 sf (**Exhibit 2-10**). Each Plan Two unit is a 3-bedroom unit with a study/4<sup>th</sup> bedroom, and a 5<sup>th</sup> loft bedroom and includes a 3-bay tandem garage (**Exhibits 2-11 through 2-15**). Some Plan Two Elevation 'B' units will be architecturally enhanced when visible to the public (**Exhibit 2-14**). Additionally, this plan type offers a Plan Two-X option for a 6<sup>th</sup> bedroom (**Exhibit 2-16 through 2-19**). Plan Three units are approximately 3,263 sf (**Exhibit 2-20**). Plan Three units are available in three elevation styles and are 4-bedroom units with a 5<sup>th</sup> loft room and an optional 5<sup>th</sup> bedroom and a 3-bay tandem garage (**Exhibit 2-21 through 2-25**). Some Plan Three Elevation 'C' units will include enhanced elevations when visible to the public (**Exhibit 2-25**). All plan types will offer an optional spa bath. Although enhanced elevations are shown for Plan One Elevation A Enhanced, Plan Two Elevation B Enhanced, and Plan Three Elevation C Enhanced, architectural enhancements may apply to any conceptual floor plan and/or any unit architectural façade. Plan elevations will be varied throughout the site with no three elevations repeating in sequence.



**Lot Plotting Exhibit**

**MURAI SPECIFIC PLAN AREA**

**Exhibit 2-3**

### 2.2.3 ARCHITECTURAL STYLES

Several variations of architectural themes and facades are proposed within the Murai Specific Plan area to ensure a pleasant visual experience for the Community's residents. Building styles within the Plan area would include a variety of architectural themes, including Santa Barbara, Contemporary Farmhouse, and Contemporary Californian. Each of the architectural styles will include three different plan types, each with three different themes. Each sub-theme will utilize its own specific grouping of materials to help create a different and unique home.

It is important to note that while the architectural themes are unique to each plan type, many of the features may be interchangeable. The purpose of this section of the Design Element is not to restrict design but to create a mechanism which inspires a consistent and high level of design in order to facilitate a variety of home styles within the Plan area. The following descriptions broadly define the character of each home style that may be found within the Plan area:

**Santa Barbara** – The Santa Barbara elevation offers a historically-inspired style as an option within the development. This style includes elements from Andalusian and Italian vernaculars while incorporating modern features into the design. The blended design is an attractive update to a classic style which expands its appeal and look (**Exhibits 2-5, 2-11, 2-16, and 2-21**).

**Contemporary Farmhouse** – Elements from a traditional farmhouse aesthetic are combined with cleaner lines and finer textures for an update to the classic American home. Murai's contemporary twist on the farmhouse vernacular distinguishes itself from the classic style through playful color palettes, strong massing of form, and bold, yet refined textures. These updates to the Farmhouse homes will help bring variety and visual distinction to the Plan area (**Exhibits 2-5, 2-11, 2-16, and 2-21**).

**Contemporary California** – Murai's Contemporary California style homes draws its inspiration from widespread and eclectic vernaculars found throughout the State. The style draws inspiration from ranch and farmhouse aesthetics, while incorporating modern materials such as stone veneer, tile roofs with metal trim, and stucco for a polished modern take on the ranch and farmhouse style. The Contemporary California home style establishes a unique look to the development and provides variety to the Community while complementing the modern aesthetics found in the Contemporary Farmhouse and Santa Barbara homes found elsewhere in the Murai Specific Plan area (**Exhibits 2-5, 2-11, 2-16, and 2-21**).

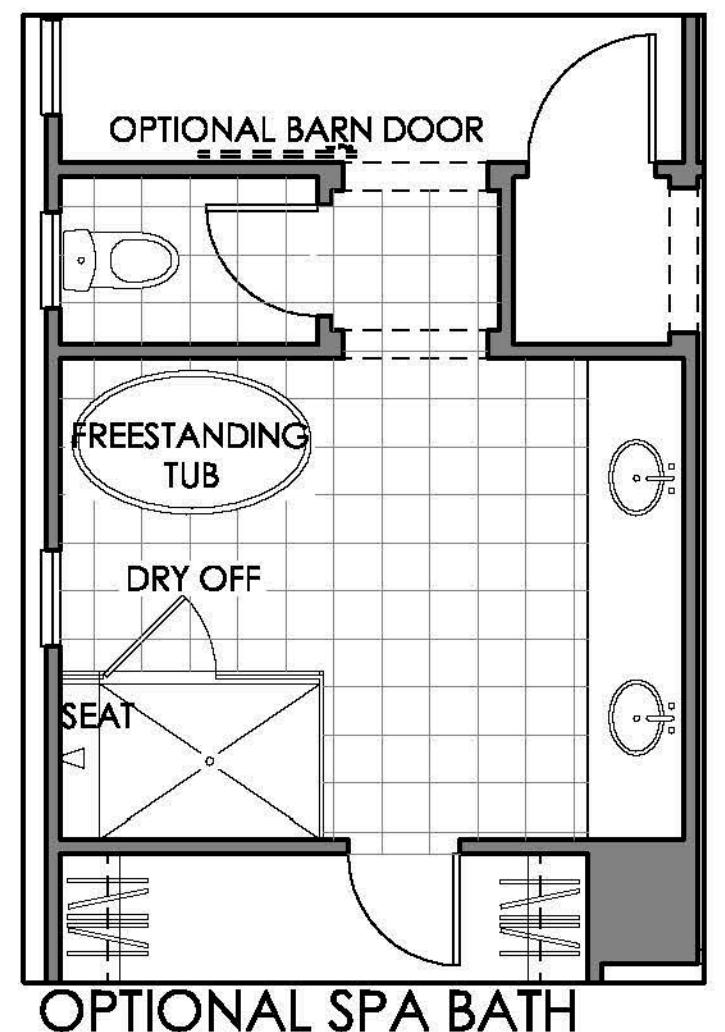
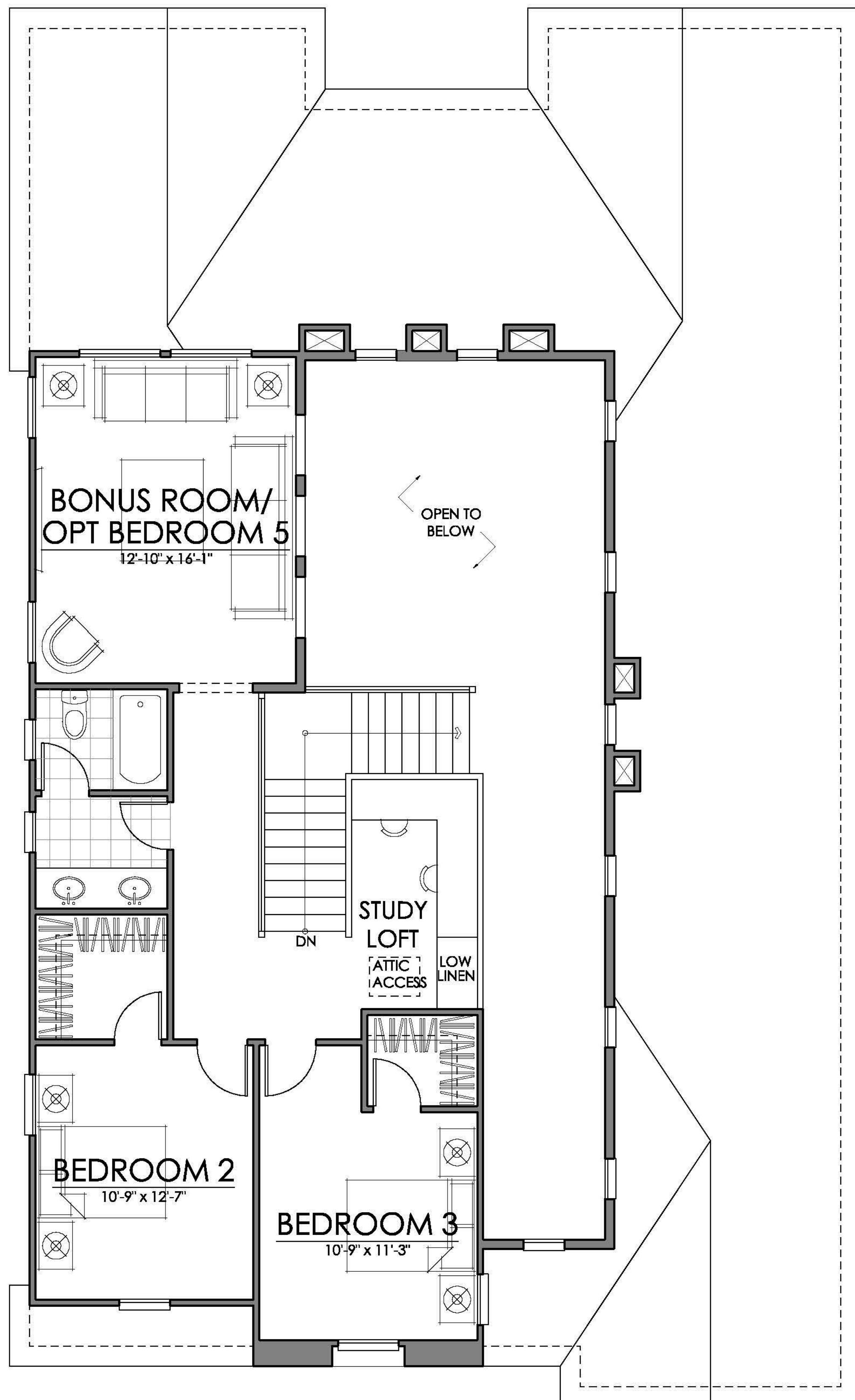
## 2.2.4 BUILDING MATERIALS

Building materials utilized within the Murai Specific Plan area will be limited to colors and materials that accent the surrounding environment. Developers should choose muted colors and tones which mimic the natural landscape of North San Diego County and should use similar materials found in nearby developments for seamless integration into the surrounding community. Each plan elevation will have its own materials to choose from with several scheme combinations for added variety to the Community (**Table 2-2**).

Elevation A	Elevation B	Elevation C
Tile Roofing	Tile Roofing	Tile/Roofing with metal accents
Stucco	Stucco	Stucco
Wood Trim	Wood Siding	Wood Board and Batten
Brick	Stone	Stone
Decorative Tile		

**Table 2-2 Building Materials**

As the Murai project is designed it will provide alternative electricity production systems which offset CO<sub>2</sub>e generation. The project may include photovoltaic solar systems or programs to generate electrical power. The photovoltaic systems may be visually similar to those pictured on **Exhibit 5-4** on page 5-9 of Chapter 5. At project implementation, all photovoltaic systems must be approved by the City Planning and Building Departments, and the City Fire Marshall.



FIRST FLOOR  
SECOND FLOOR  
TOTAL LIVING

1899 SQ. FT.  
854 SQ. FT.  
2753 SQ. FT.

## CONCEPTUAL PLAN ONE | 2753 SQ. FT.

**MURAI | COLRICH**  
SAN MARCOS, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS  
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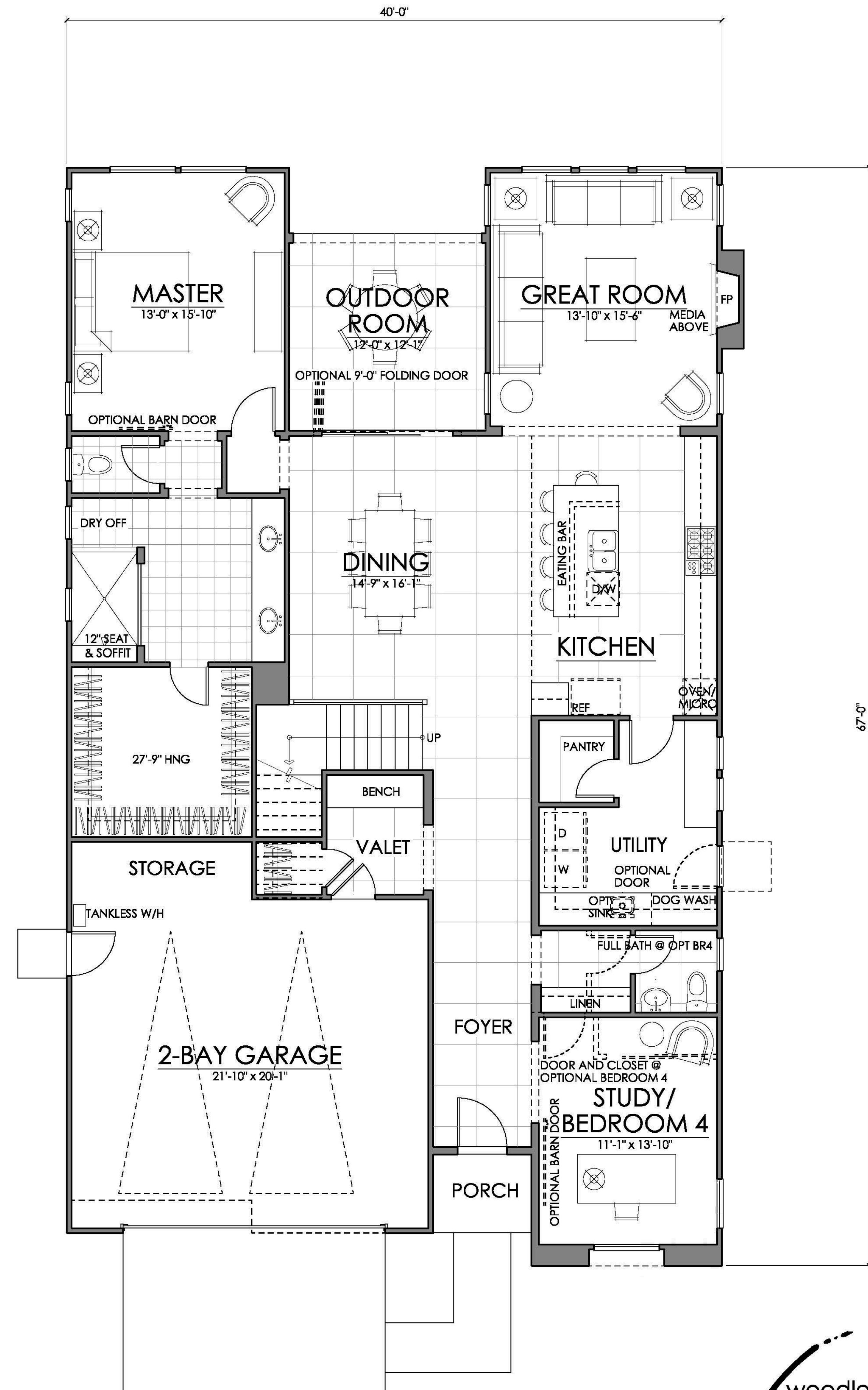


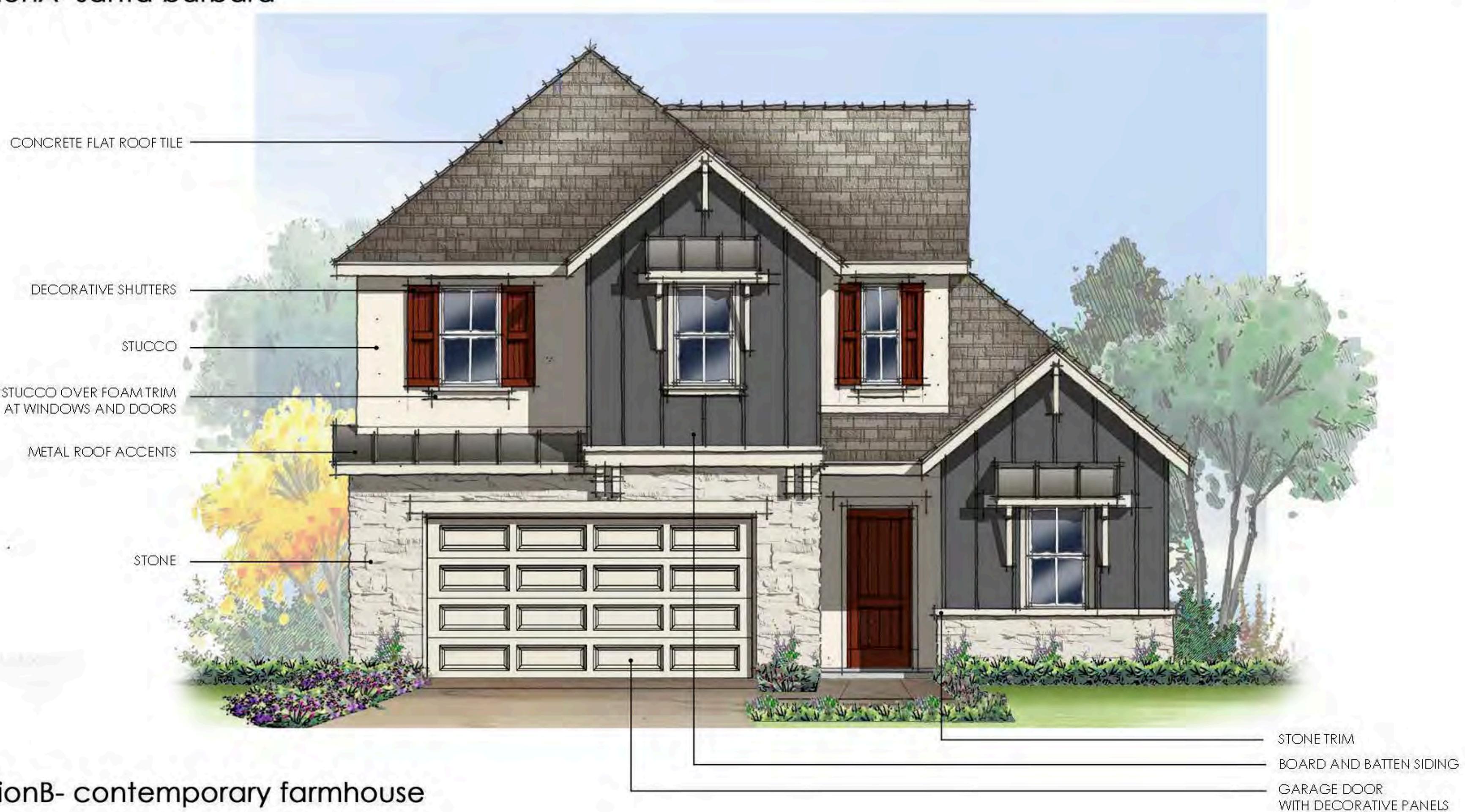
Exhibit 2-4



**woodley  
architectural  
group, inc**  
colorado // 731 southpark dr. suite b  
littleton, co 80120 / 303.683.7231  
california // 2943 pulman st. suite a  
santa ana, ca 92705 / 949.553.8919



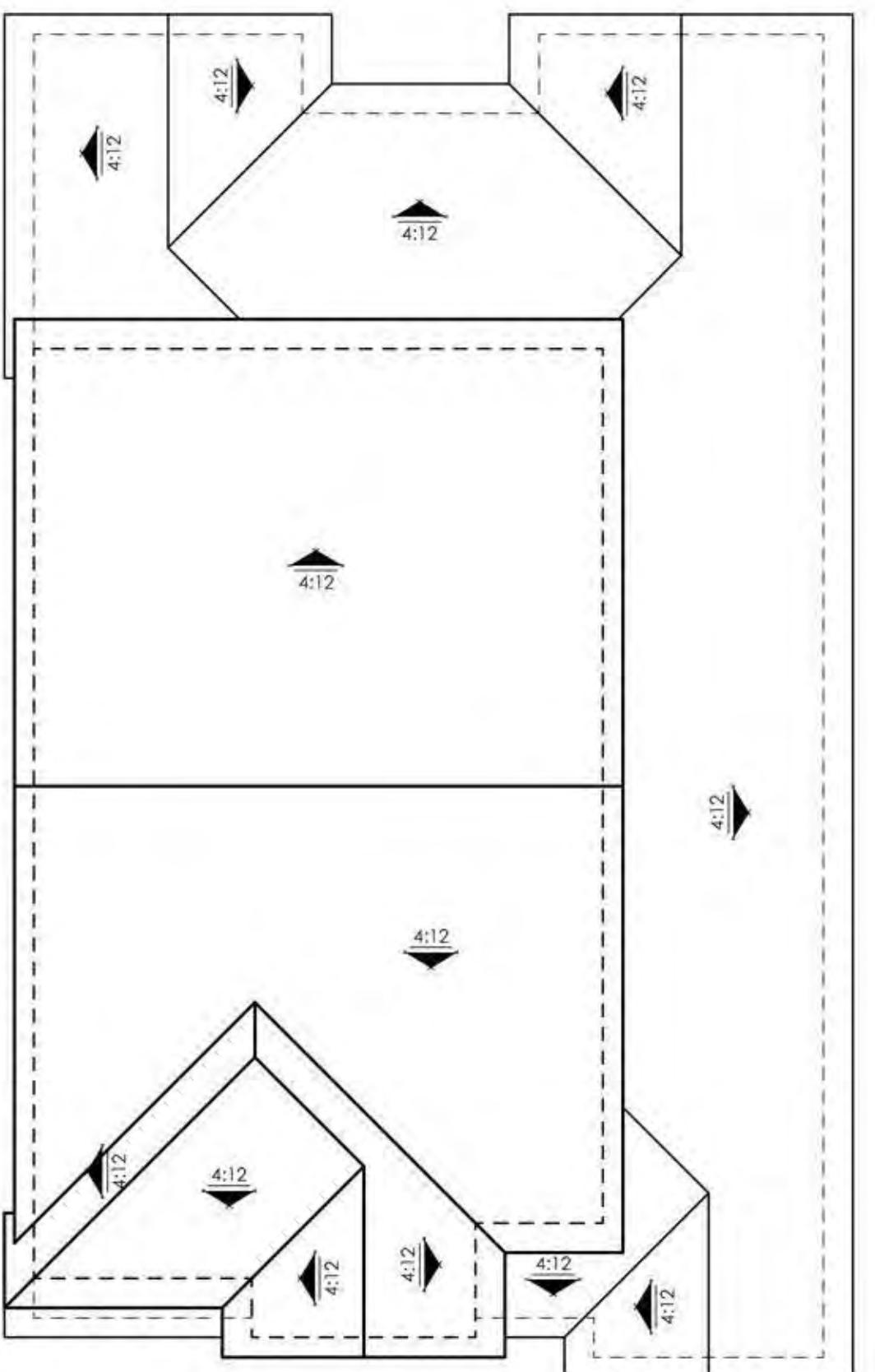
elevationA- santa barbara



elevationB- contemporary farmhouse



elevationC- contemporary craftsman



ROOF PLAN

SCALE: 1/8" = 1'-0"



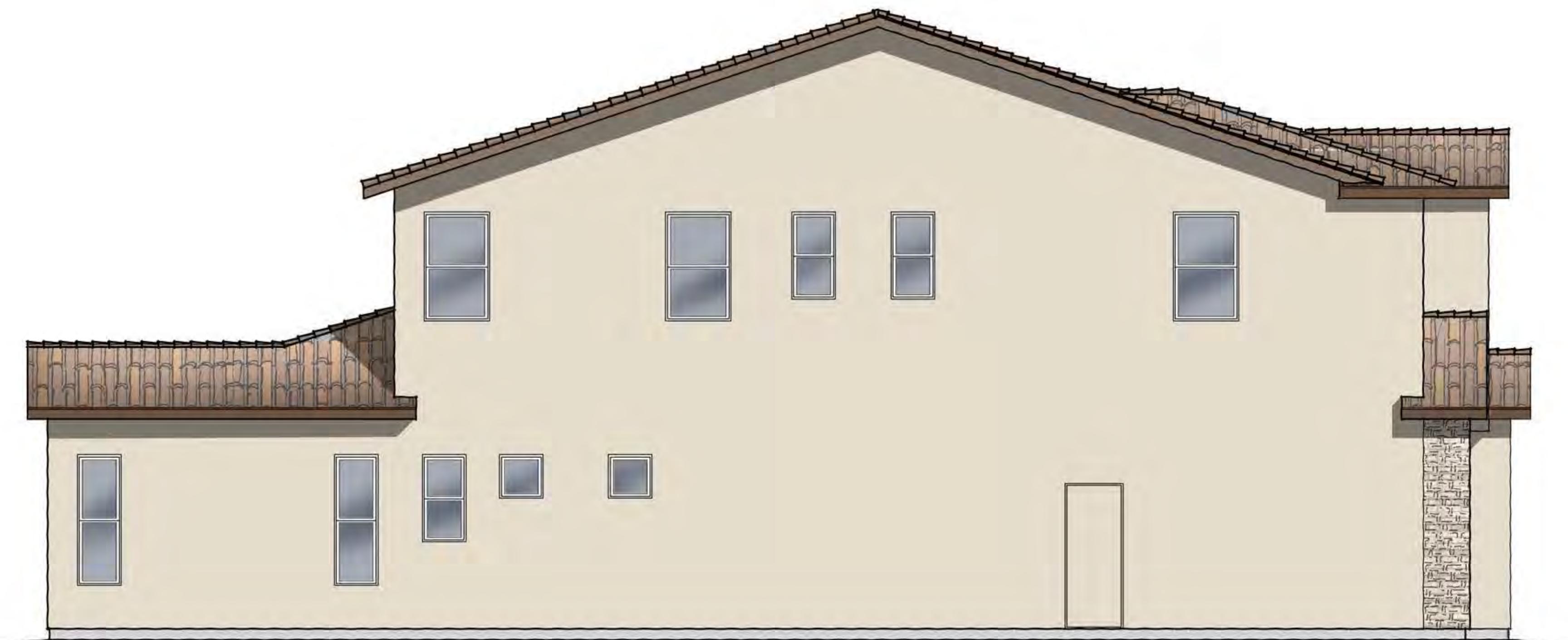
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

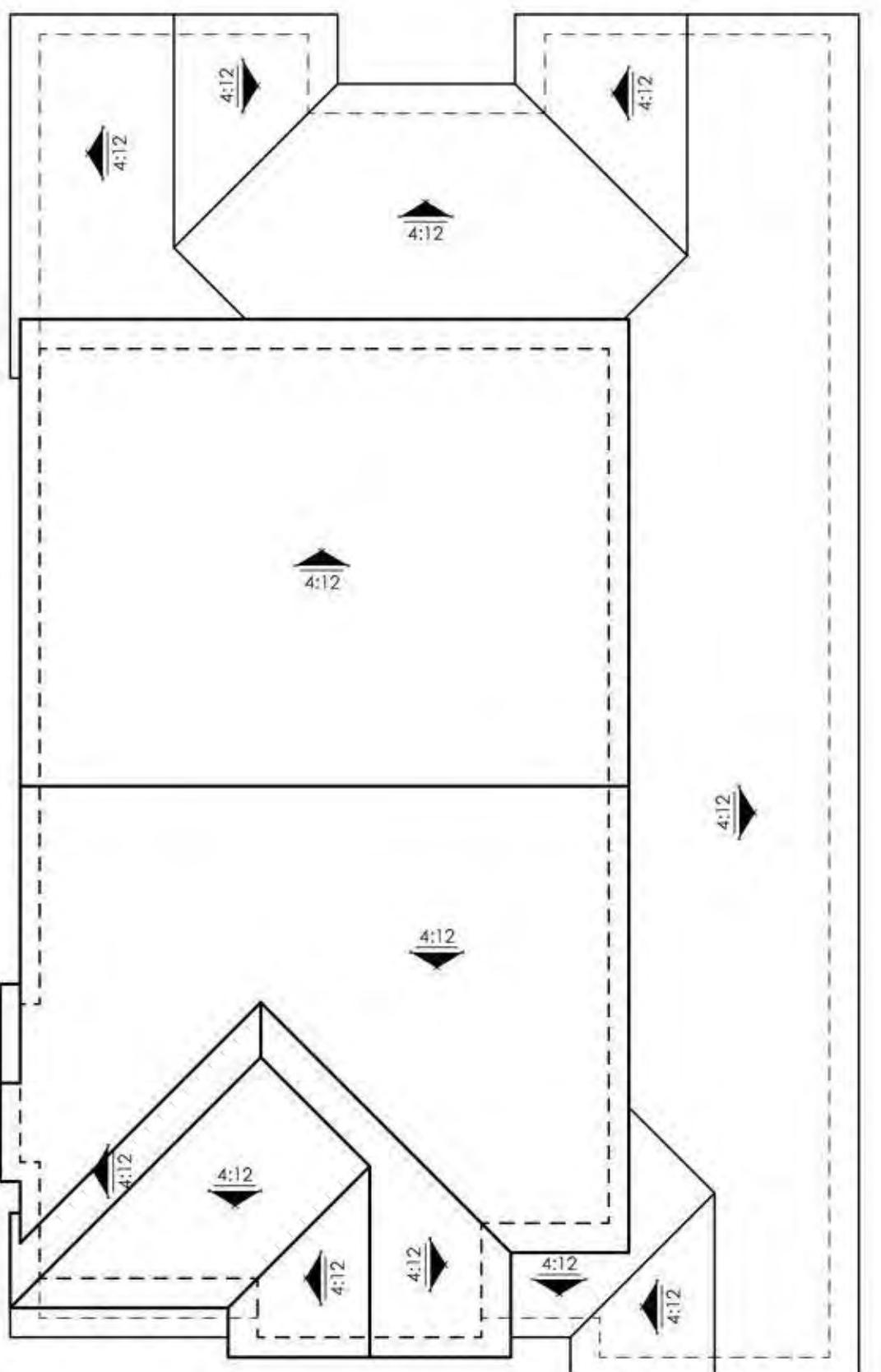
## Exhibit 2-6



### PLAN ONE | ELEVATION 'A'-SANTA BARBARA

**MURAI | COLRICH**  
SAN MARCOS, CALIFORNIA

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ROOF PLAN

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

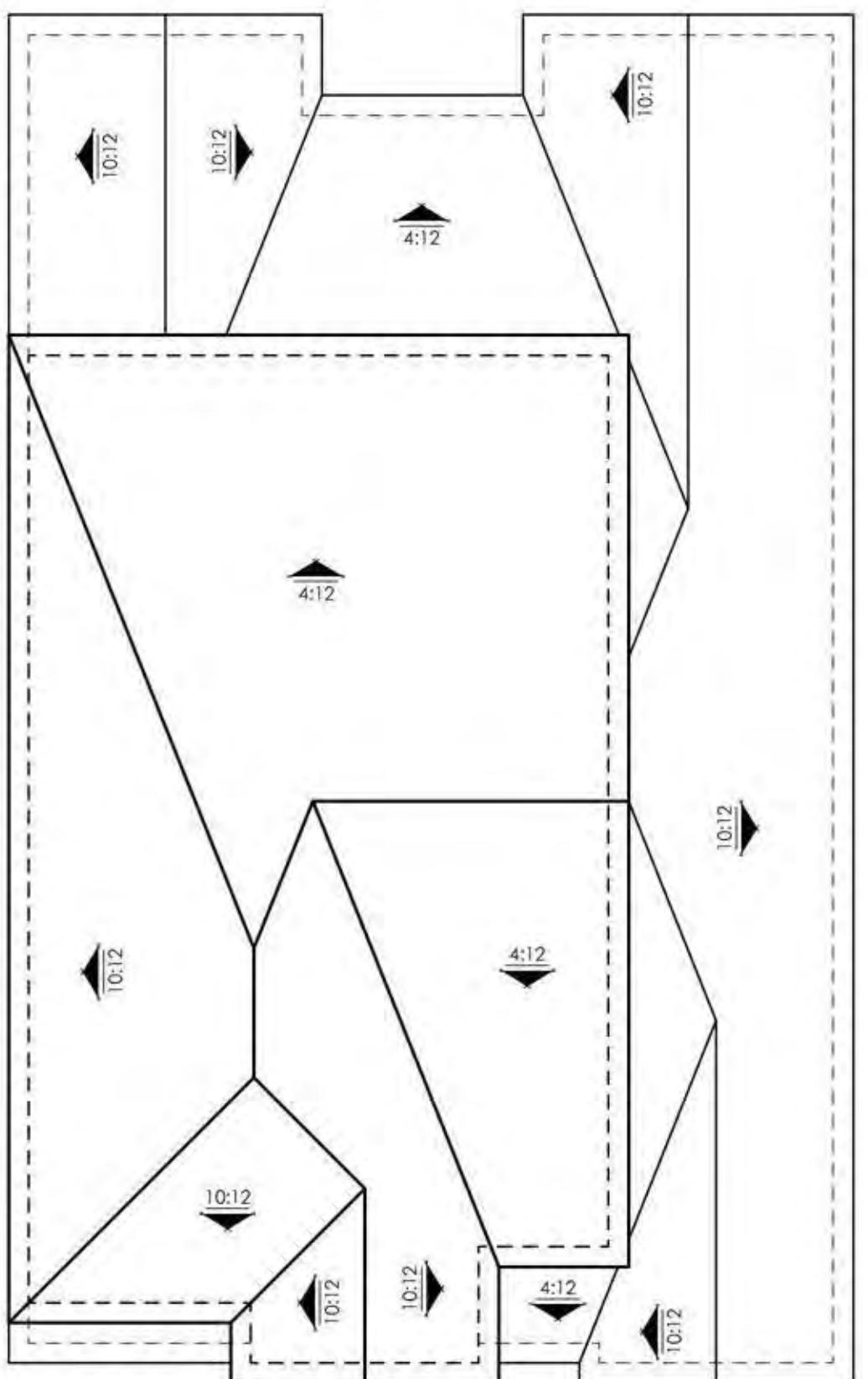
SCALE: 1/4" = 1'-0"

## Exhibit 2-7



PLAN ONE | ELEVATION 'A' ENHANCED-SANTA BARBARA  
MURAI | COLRICH  
SAN MARCOS, CALIFORNIA

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ROOF PLAN

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

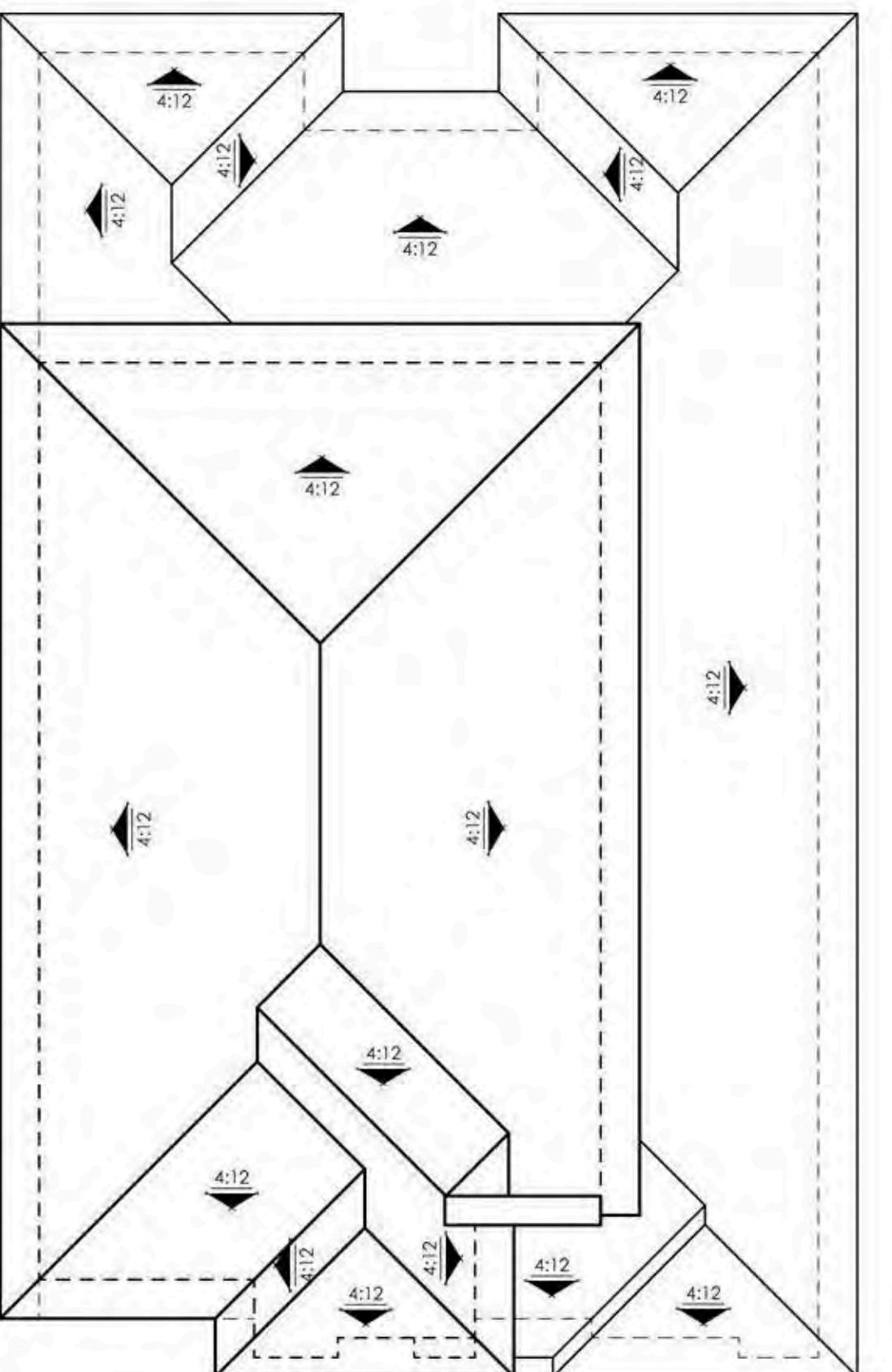
## Exhibit 2-8

### PLAN ONE | ELEVATION 'B'-CONTEMPORARY FARMHOUSE

MURAI | COLRICH  
SAN MARCOS, CALIFORNIA

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.





ROOF PLAN

SCALE: 1/8" = 1'-0"



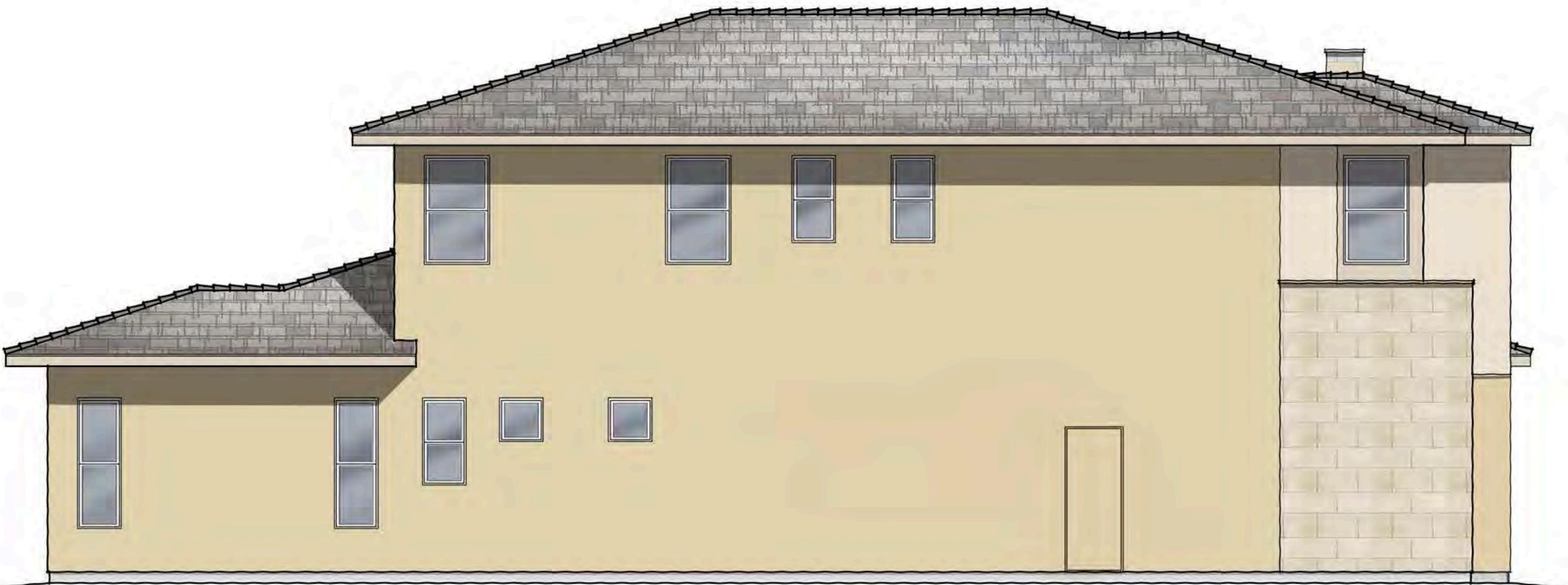
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

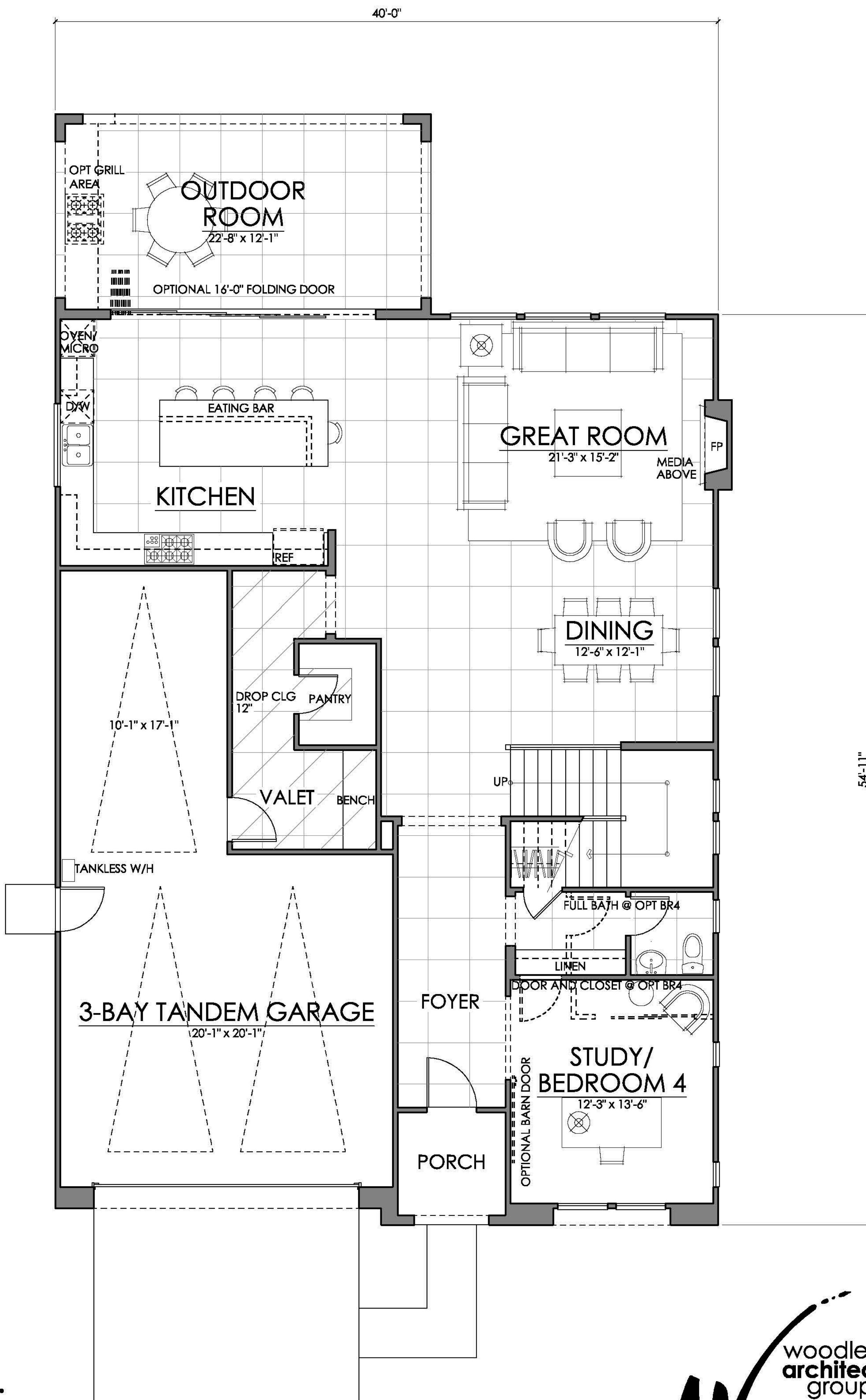
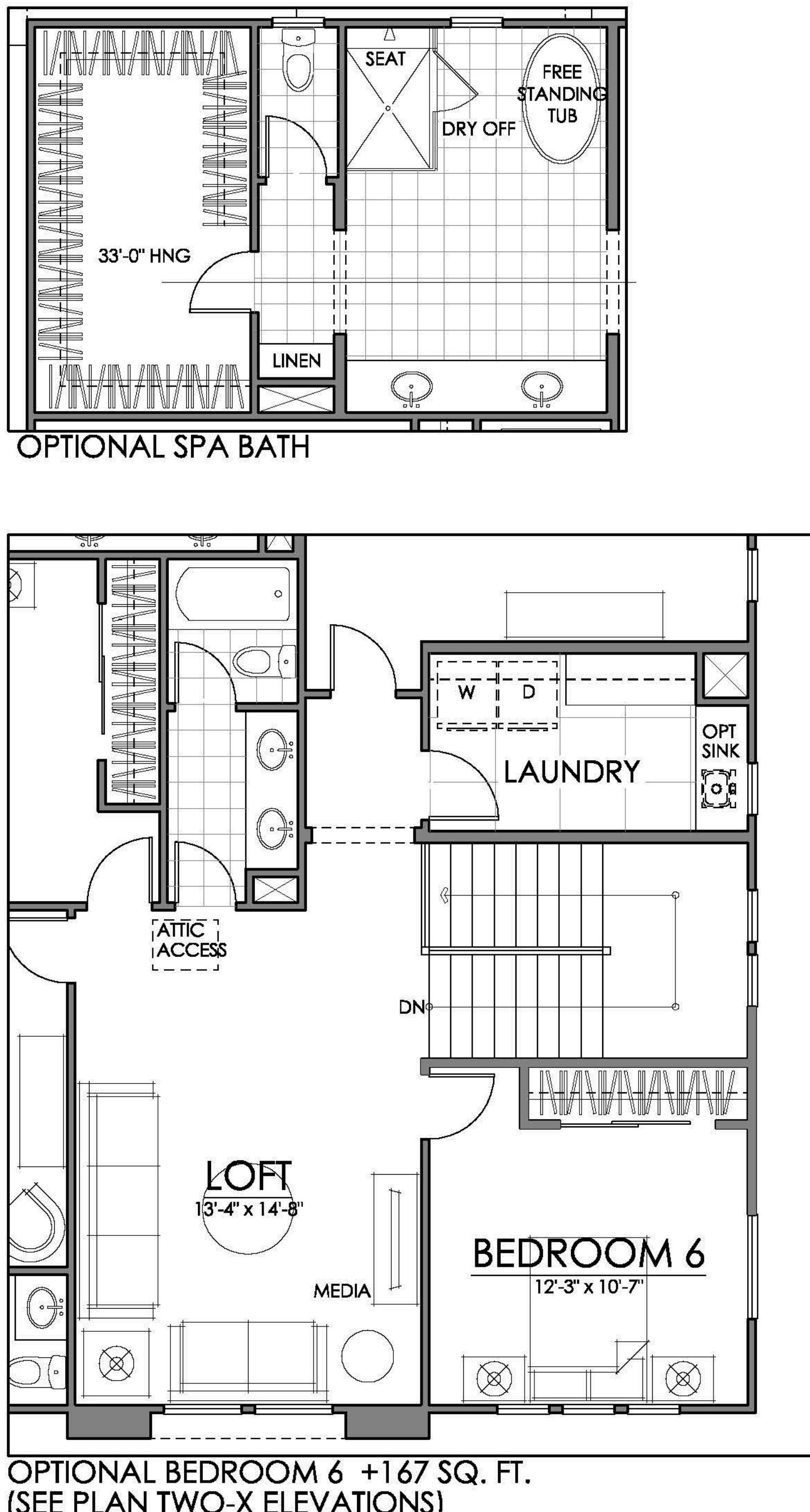
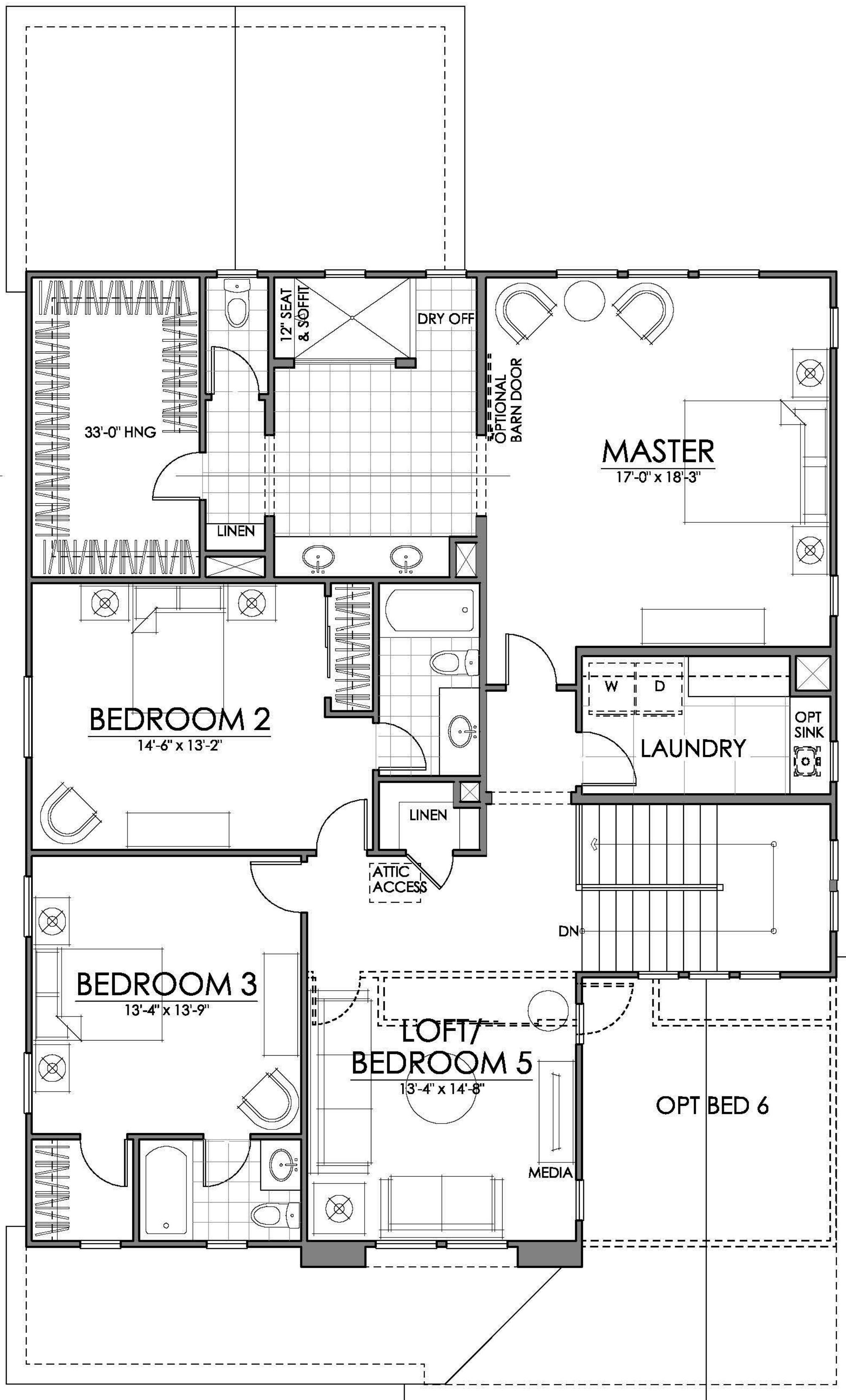
SCALE: 1/4" = 1'-0"

## Exhibit 2-9



PLAN ONE | ELEVATION 'C'-CONTEMPORARY CRAFTSMAN  
MURAI | COLRICH  
SAN MARCOS, CALIFORNIA

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## *Exhibit 2-10*



# CONCEPTUAL PLAN TWO | 3156 SQ. FT.

# MURAI | COLRICH

## SAN MARCOS, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS  
PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.

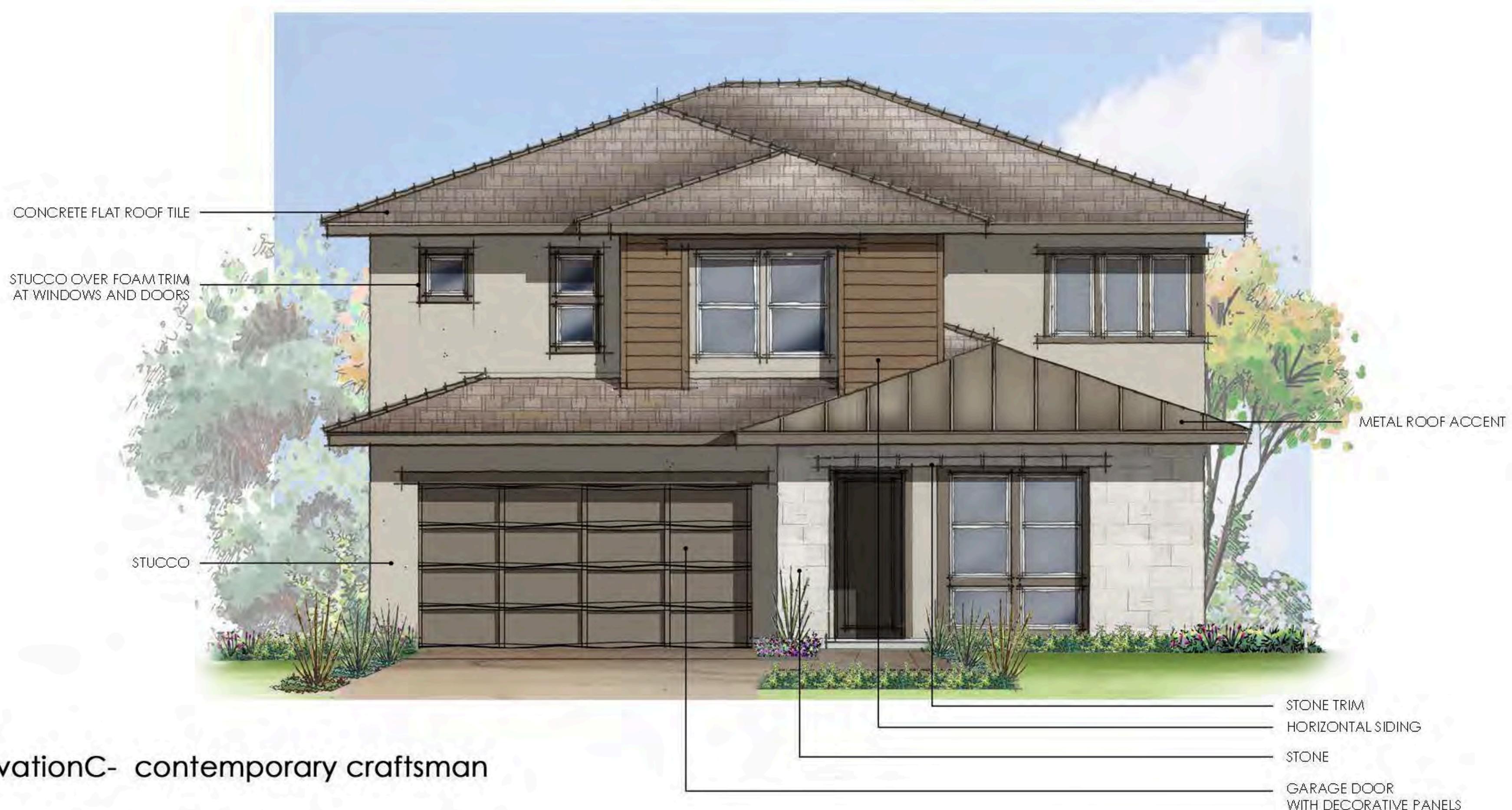
**woodley  
architectural  
group, inc**



elevationA- santa barbara



elevationB- contemporary farmhouse



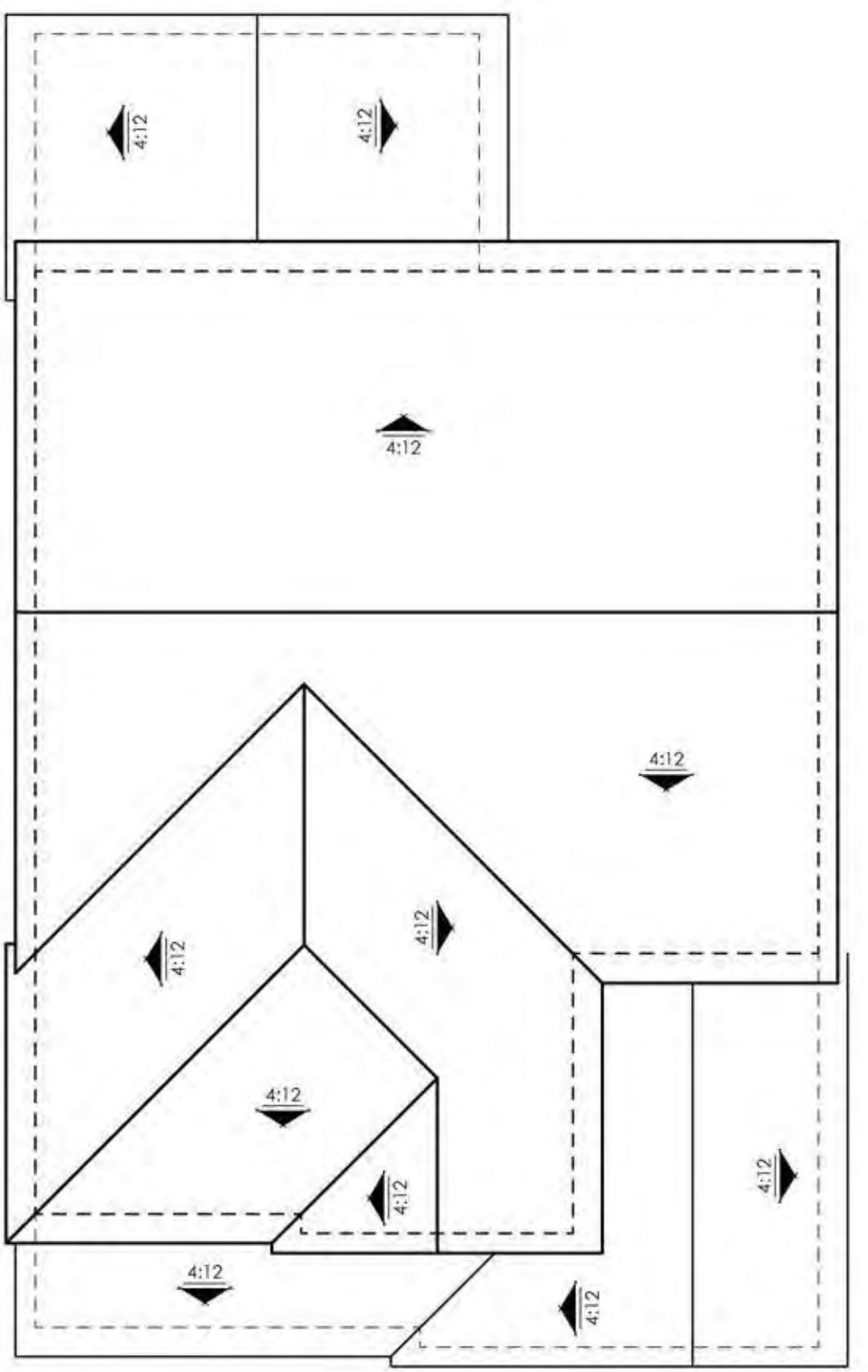
elevationC- contemporary craftsman

## Exhibit 2-11



## PLAN TWO

MURAI | COLRICH



ROOF PLAN

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

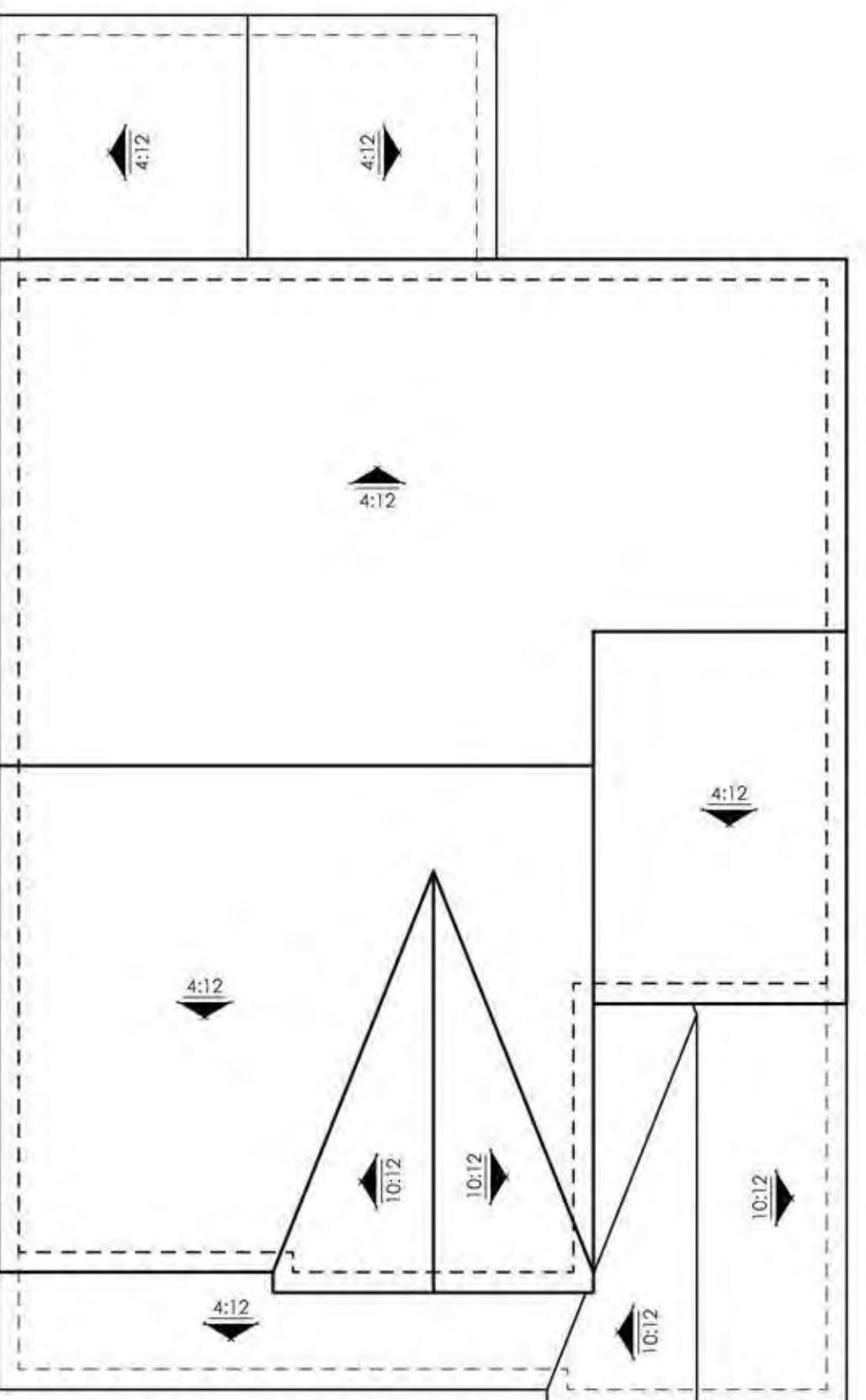
SCALE: 1/4" = 1'-0"

## Exhibit 2-12

PLAN TWO | ELEVATION 'A'-SANTA BARBARA  
MURAI | COLRICH  
SAN MARCOS, CALIFORNIA



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ROOF PLAN

SCALE: 1/8" = 1'-0"



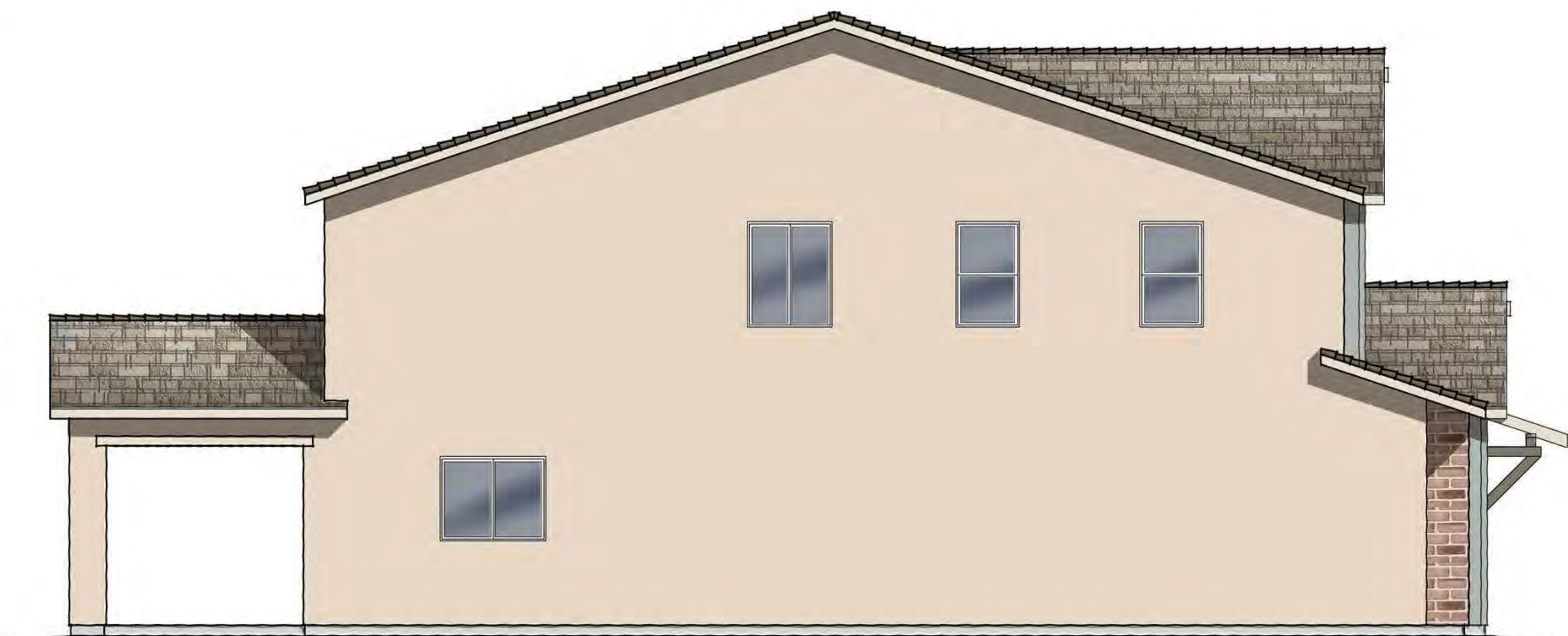
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

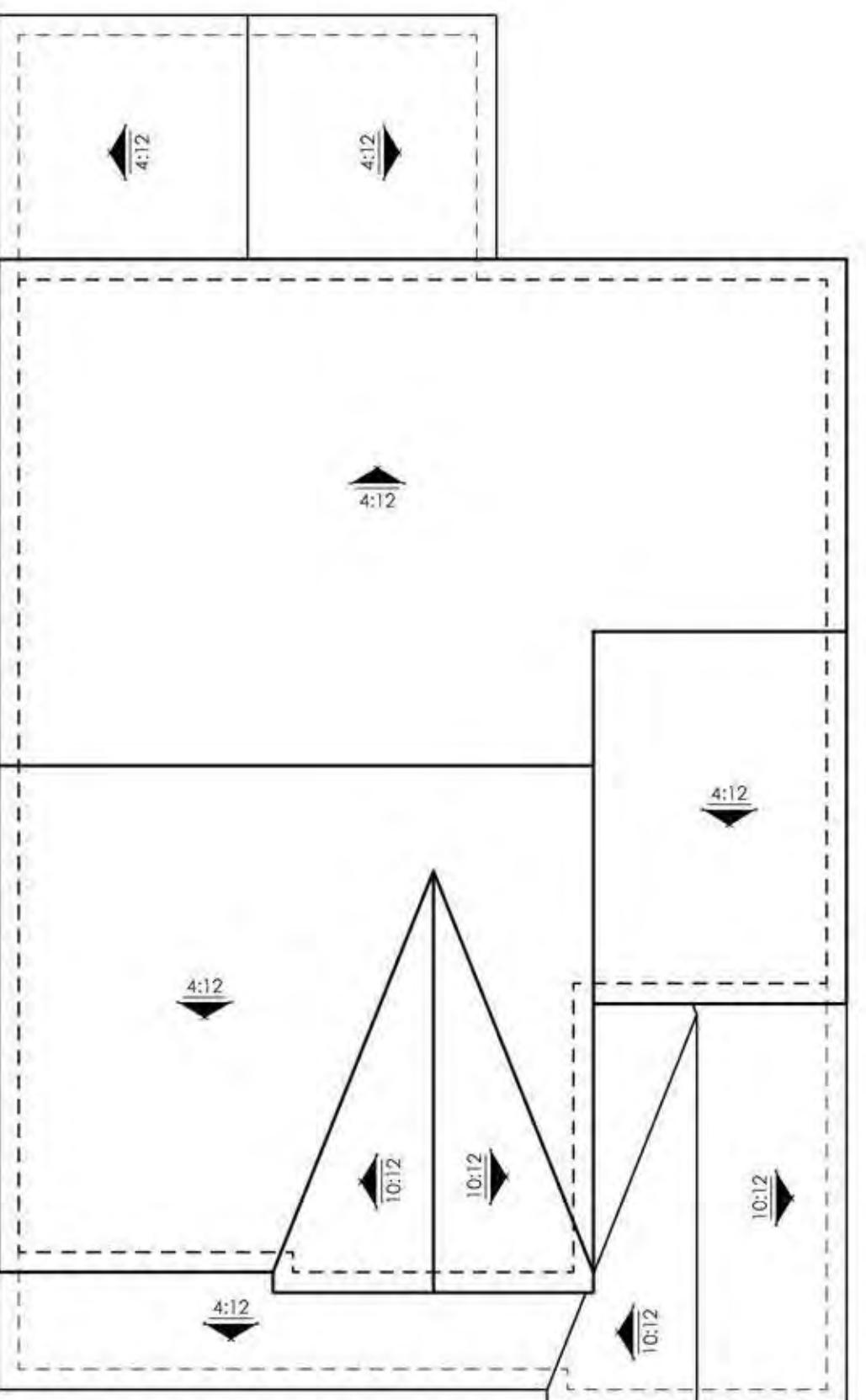
## Exhibit 2-13



### PLAN TWO | ELEVATION 'B'-CONTEMPORARY FARMHOUSE

MURAI | COLRICH  
SAN MARCOS, CALIFORNIA

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ROOF PLAN

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

LEFT ELEVATION



SCALE: 1/4" = 1'-0"

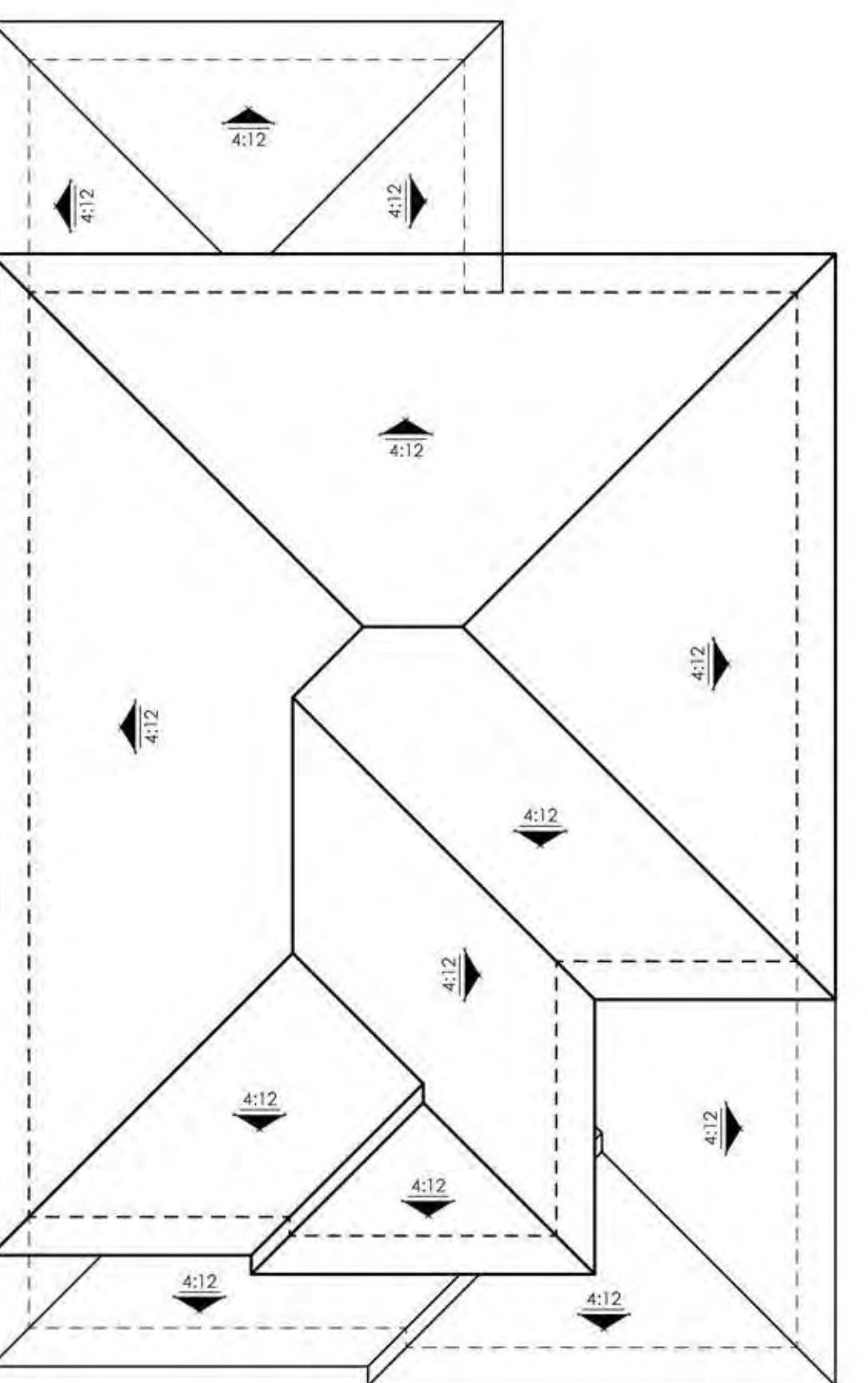
## Exhibit 2-14

### PLAN TWO | ELEVATION 'B' ENHANCED-CONTEMPORARY FARMHOUSE

**MURAI | COLRICH**  
SAN MARCOS, CALIFORNIA



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ROOF PLAN

SCALE: 1/8" = 1'-0"

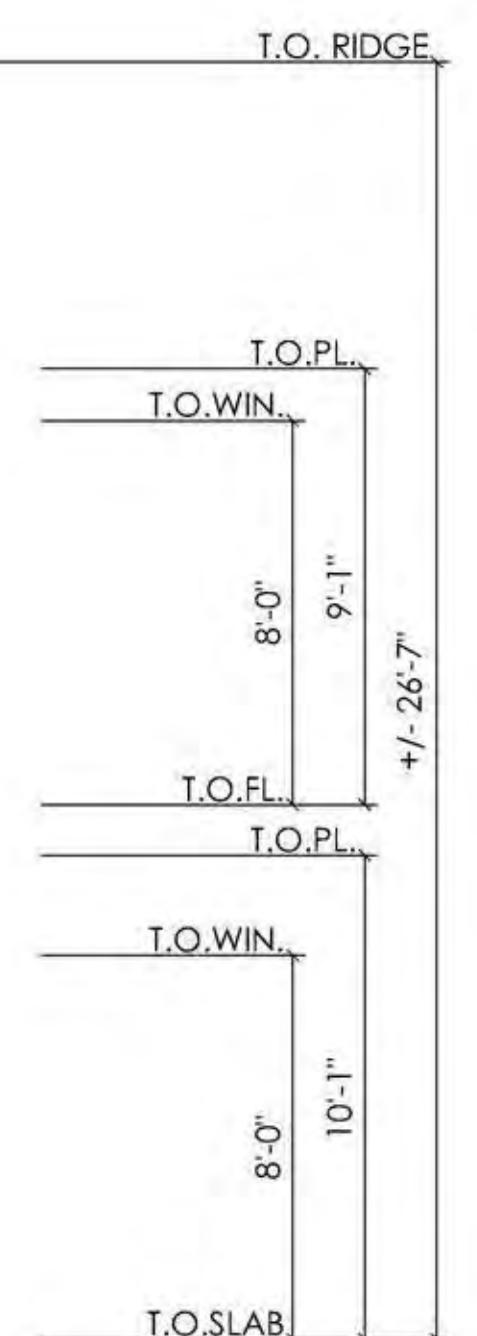


RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION



SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

Exhibit 2-15



PLAN TWO | ELEVATION 'C'-CONTEMPORARY CRAFTSMAN  
MURAI | COLRICH  
SAN MARCOS, CALIFORNIA

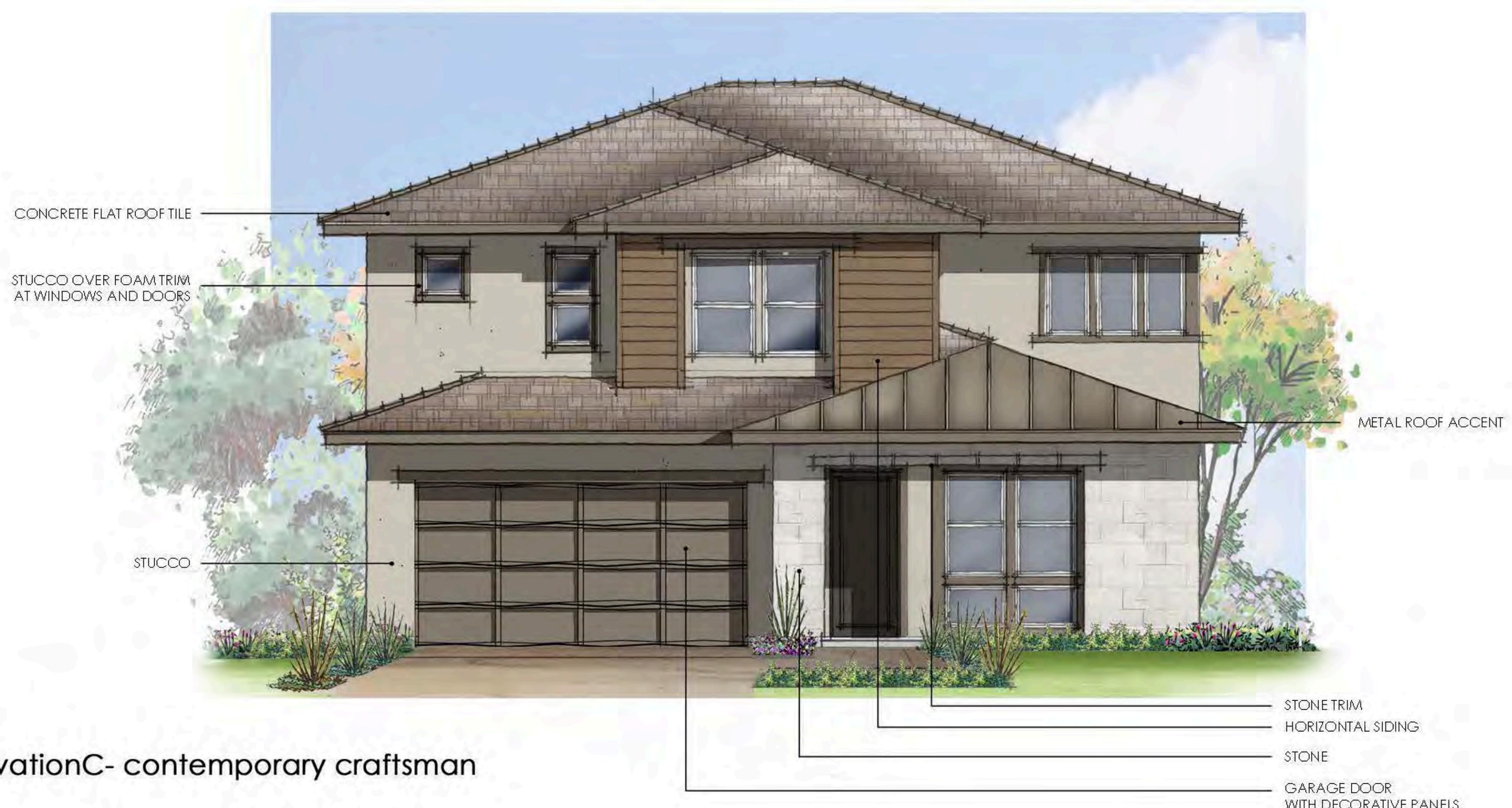
THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



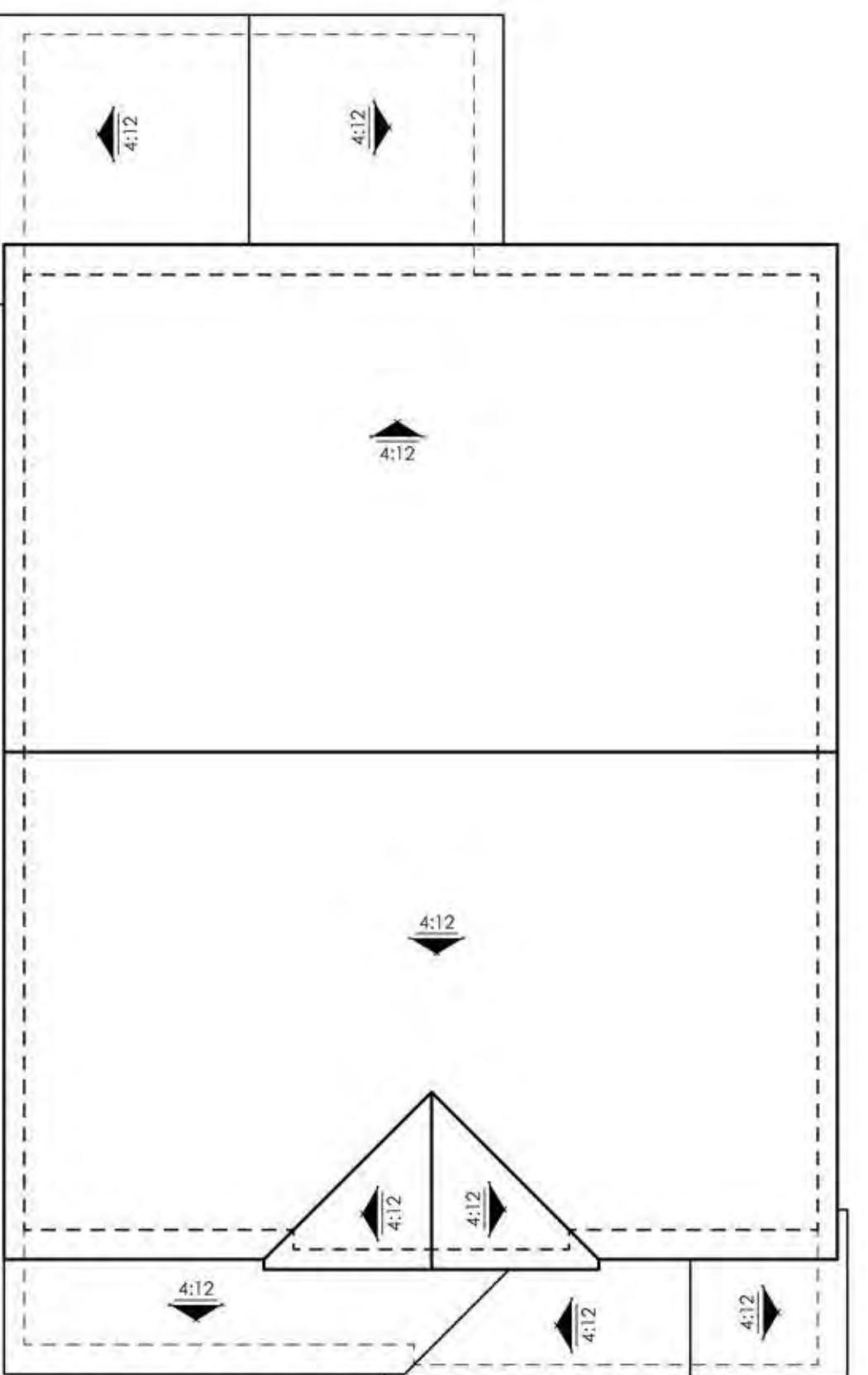
elevationA- santa barbara



elevationB- contemporary farmhouse



elevationC- contemporary craftsman



ROOF PLAN

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

LEFT ELEVATION

SCALE: 1/4" = 1'-0"

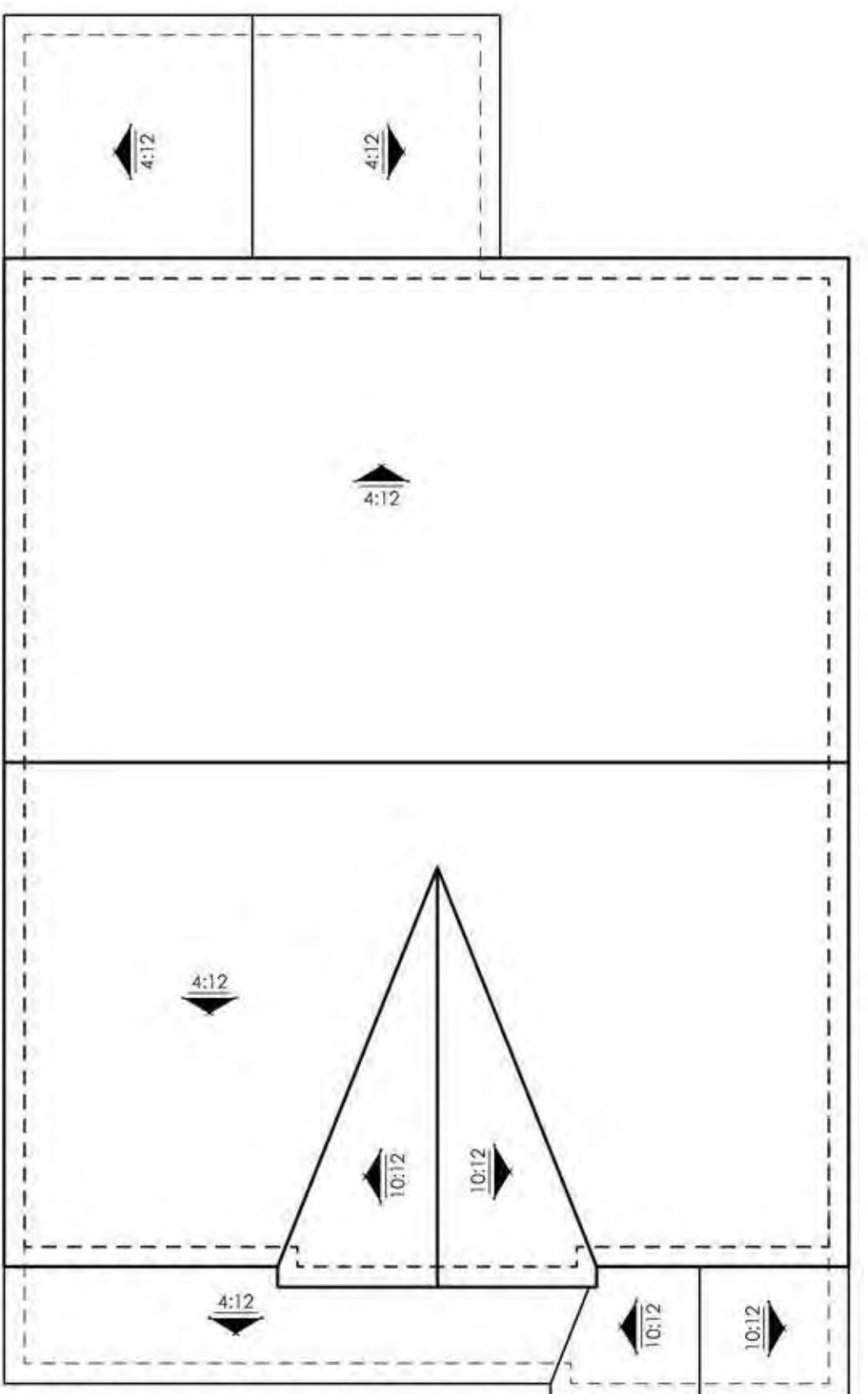


## Exhibit 2-17



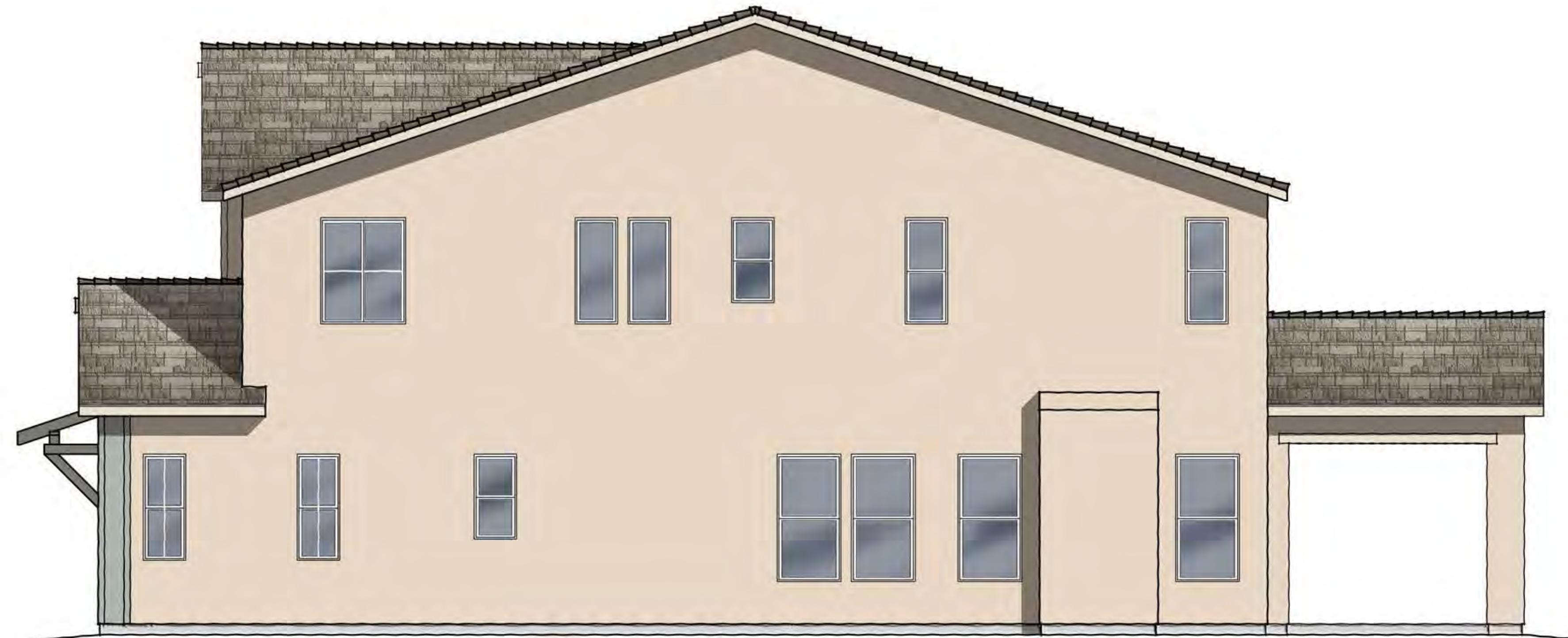
PLAN TWO-X | ELEVATION 'A'-SANTA BARBARA  
MURAI | COLRICH  
SAN MARCOS, CALIFORNIA

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ROOF PLAN

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

LEFT ELEVATION



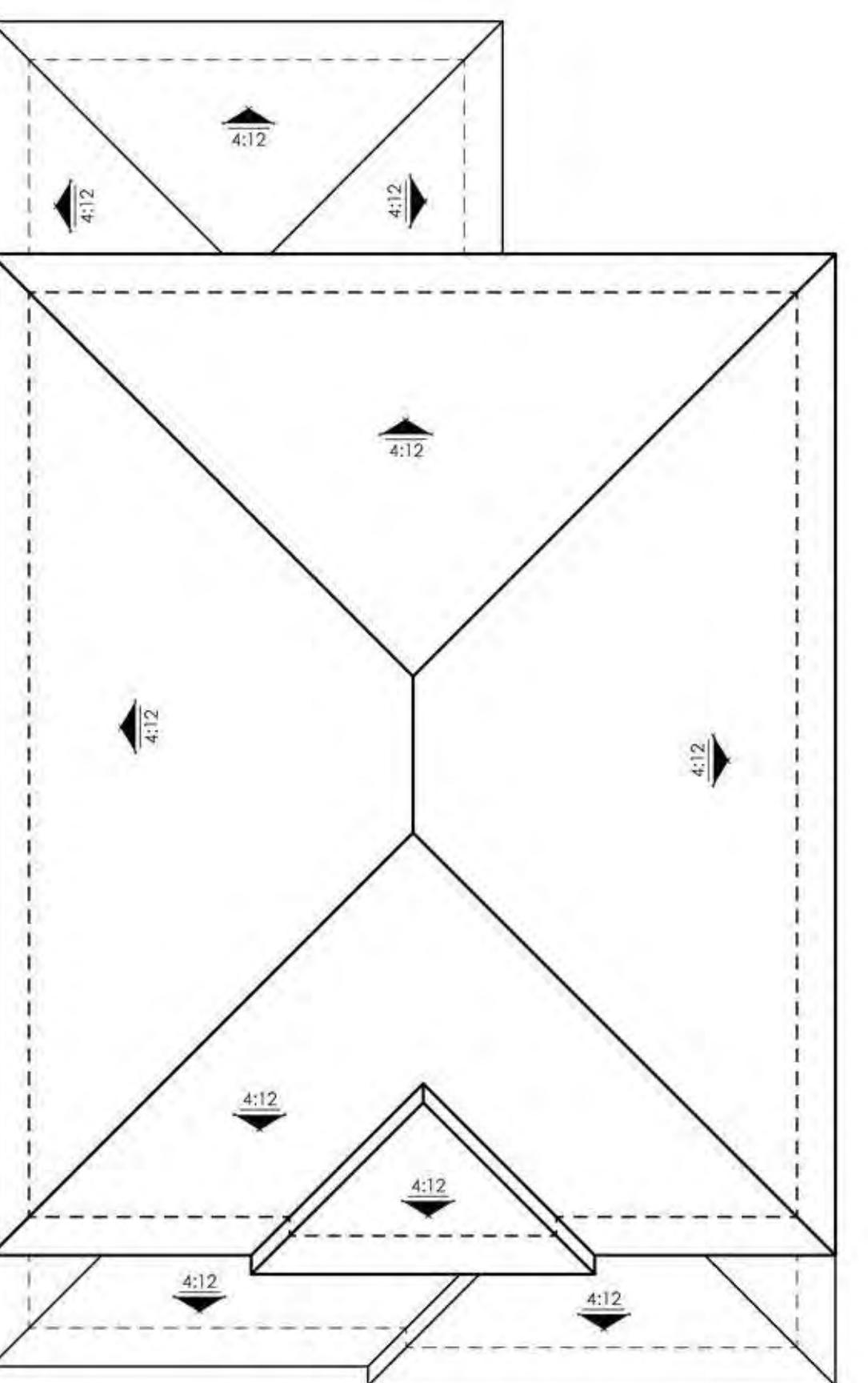
SCALE: 1/4" = 1'-0"

## Exhibit 2-18



PLAN TWO-X | ELEVATION 'B'-CONTEMPORARY FARMHOUSE  
MURAI | COLRICH  
SAN MARCOS, CALIFORNIA

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ROOF PLAN

SCALE: 1/8" = 1'-0"

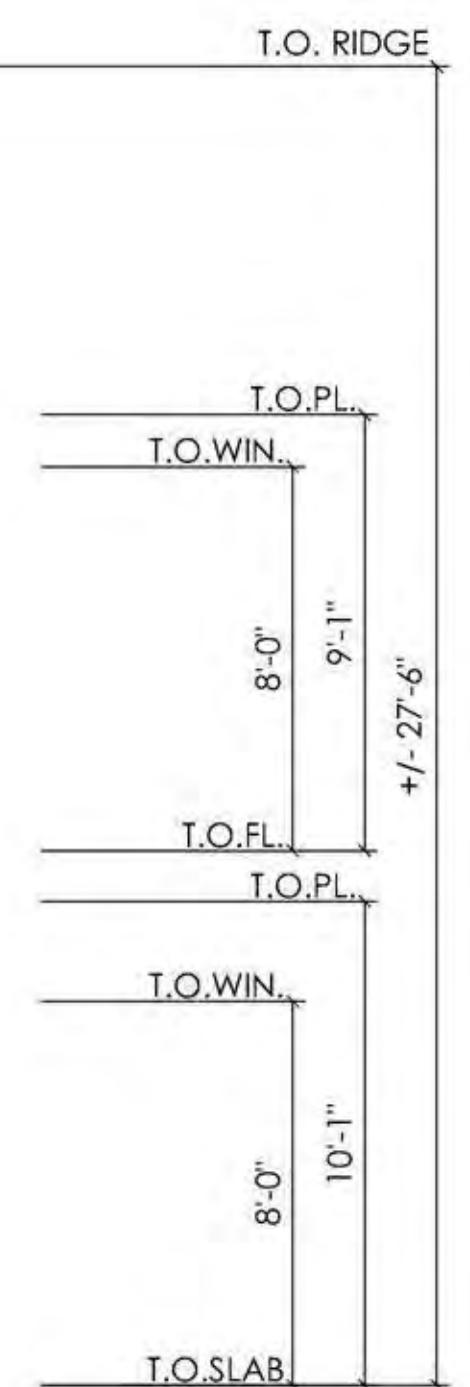


RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION



SCALE: 1/4" = 1'-0"



LEFT ELEVATION

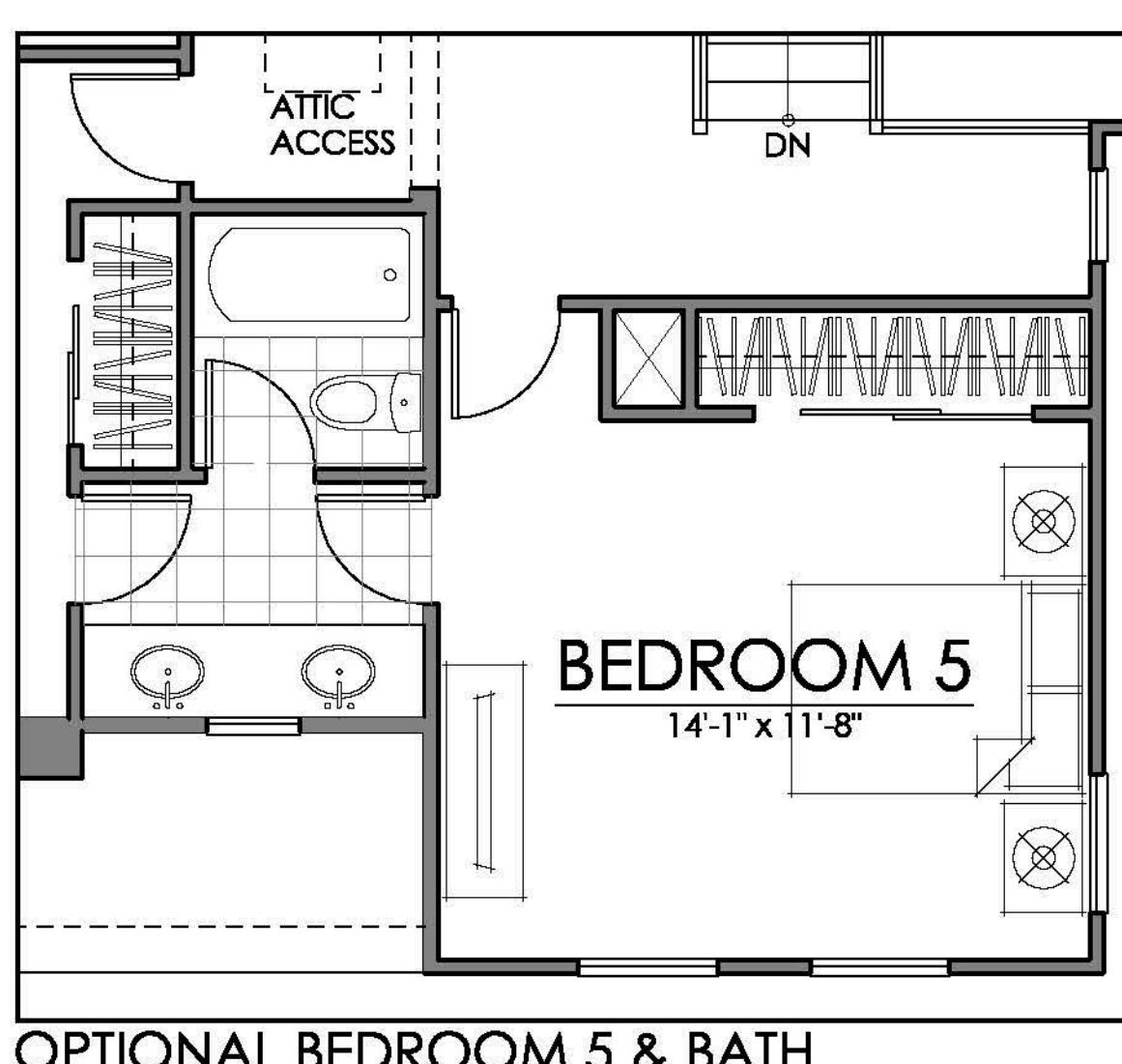
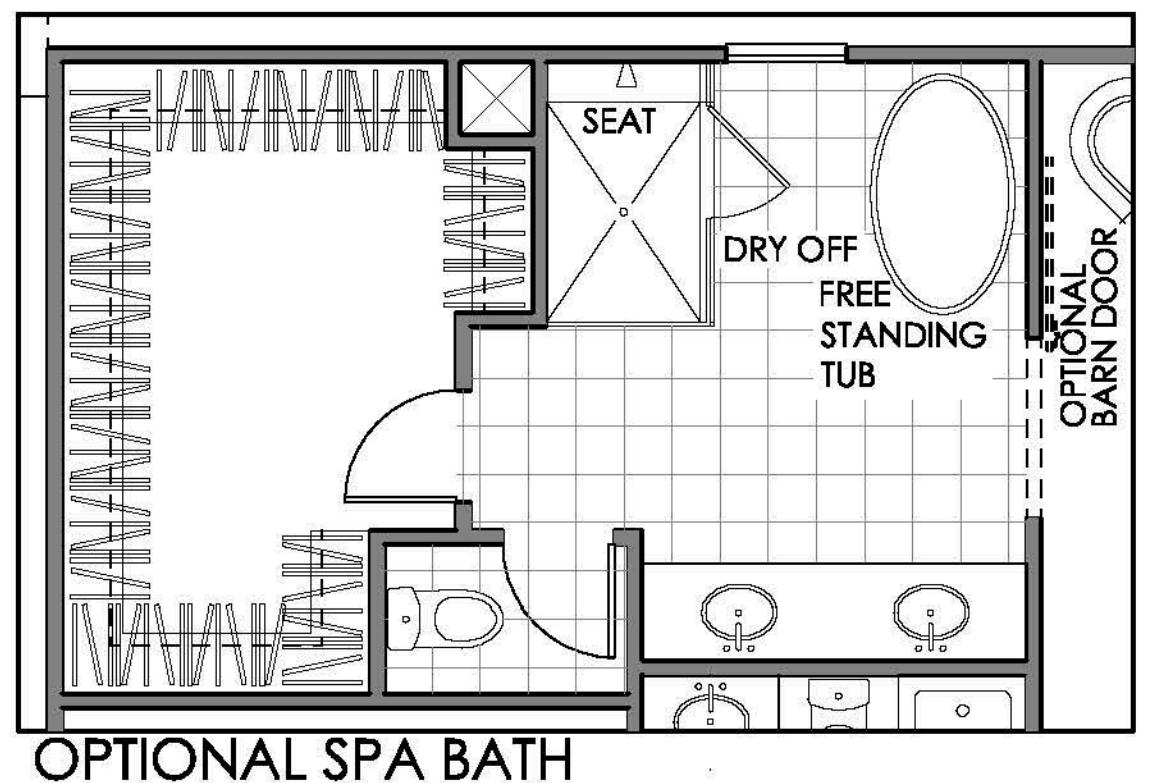
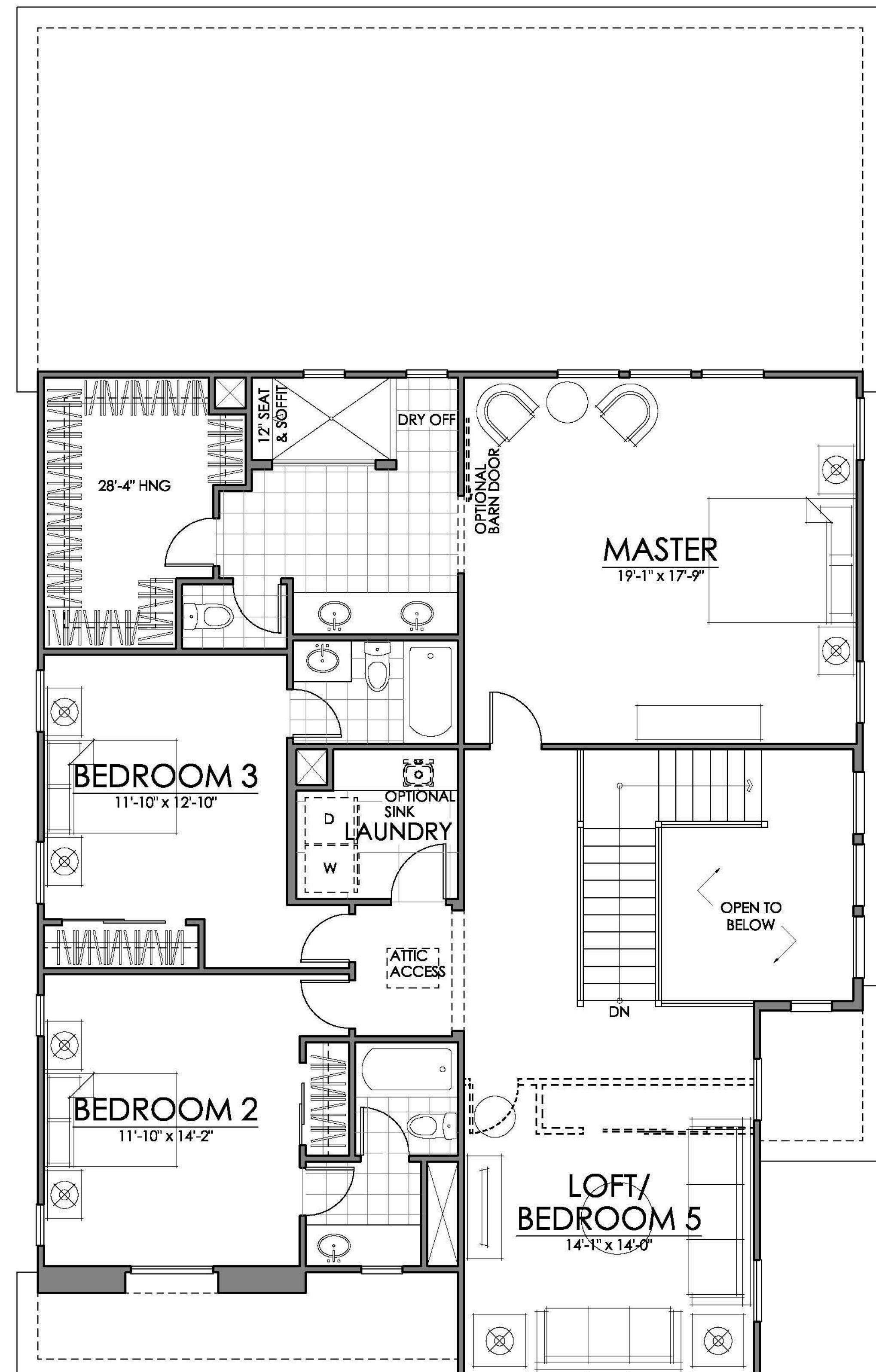
SCALE: 1/4" = 1'-0"

Exhibit 2-19



PLAN TWO-X | ELEVATION 'C'-CONTEMPORARY CRAFTSMAN  
MURAI | COLRICH  
SAN MARCOS, CALIFORNIA

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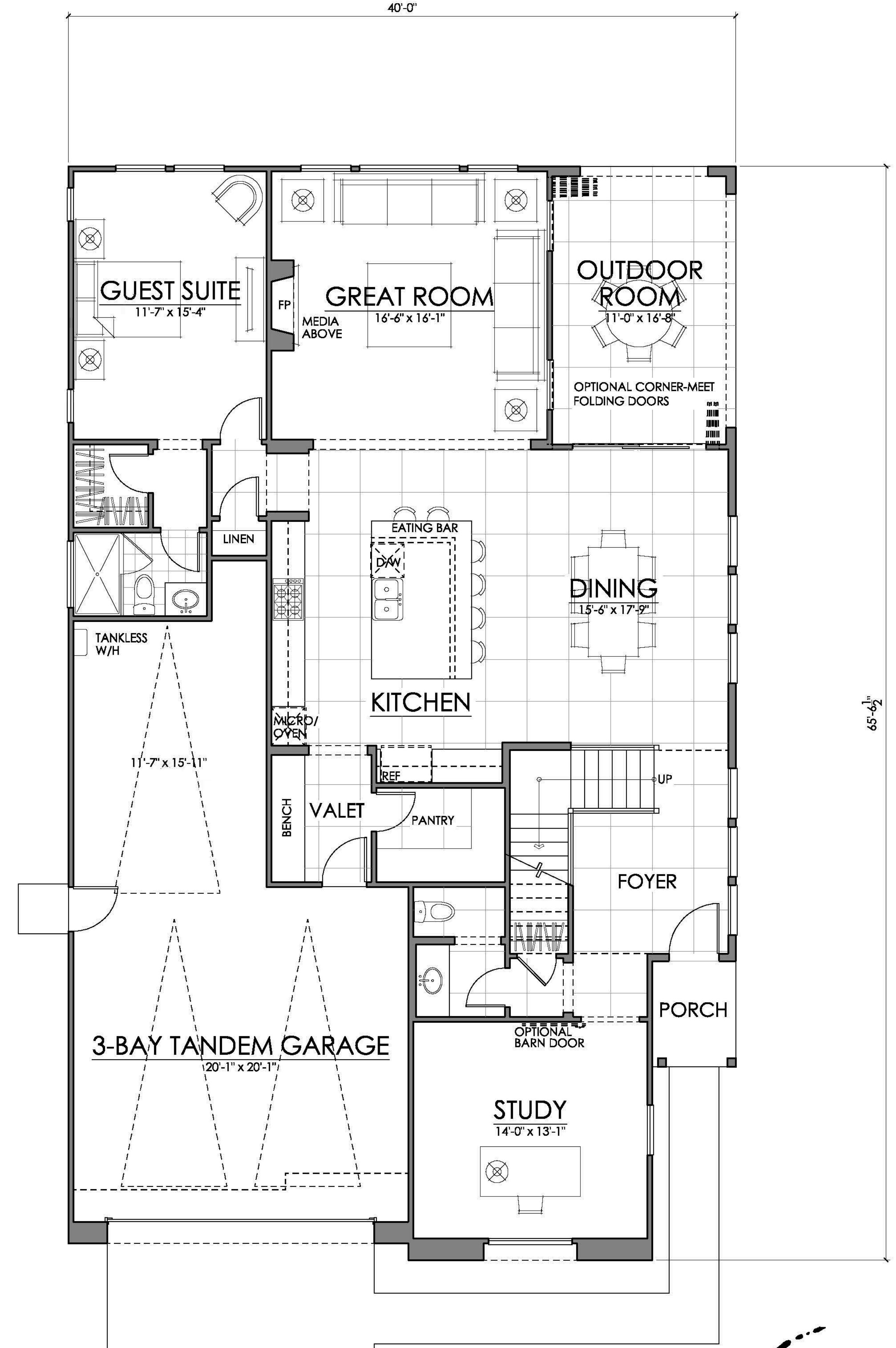


FIRST FLOOR 1677 SQ. FT.  
SECOND FLOOR 1586 SQ. FT.  
TOTAL LIVING 3263 SQ. FT.

**conceptual**  
**PLAN THREE | 3263 SQ. FT.**

**MURAI | COLRICH**  
**SAN MARCOS, CALIFORNIA**

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS  
THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.

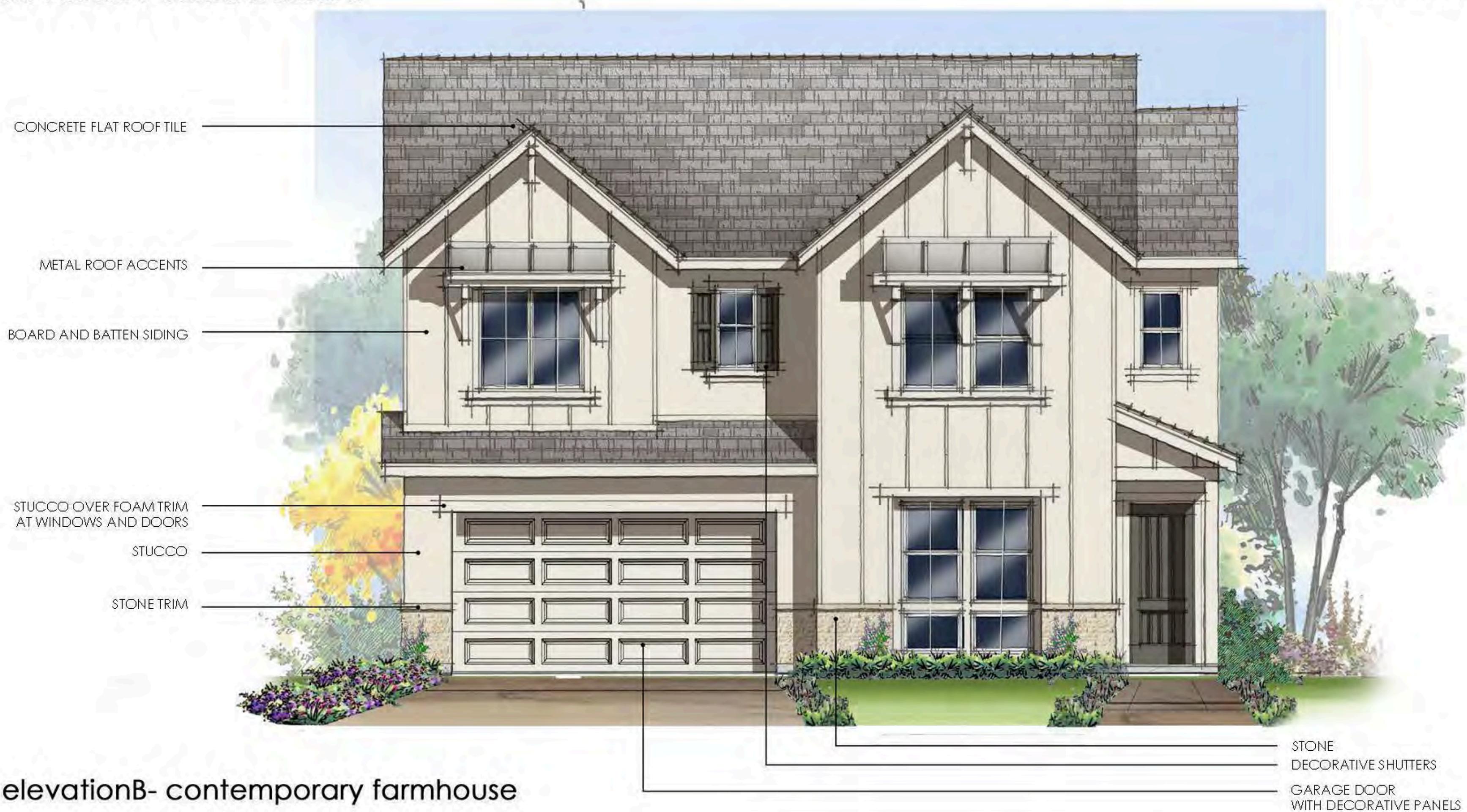


**Exhibit 2-20**

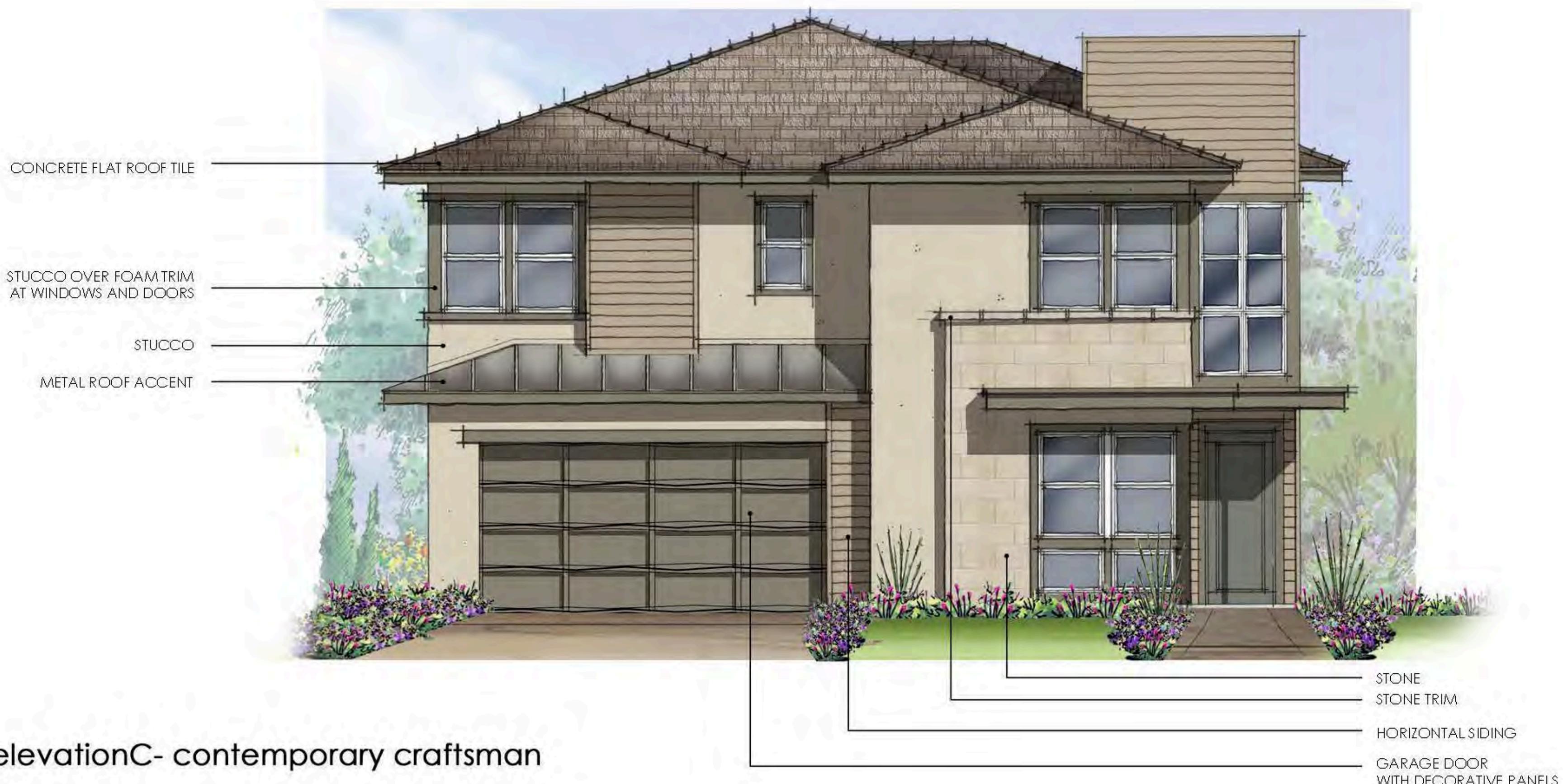
**Q**  
**ColRich**



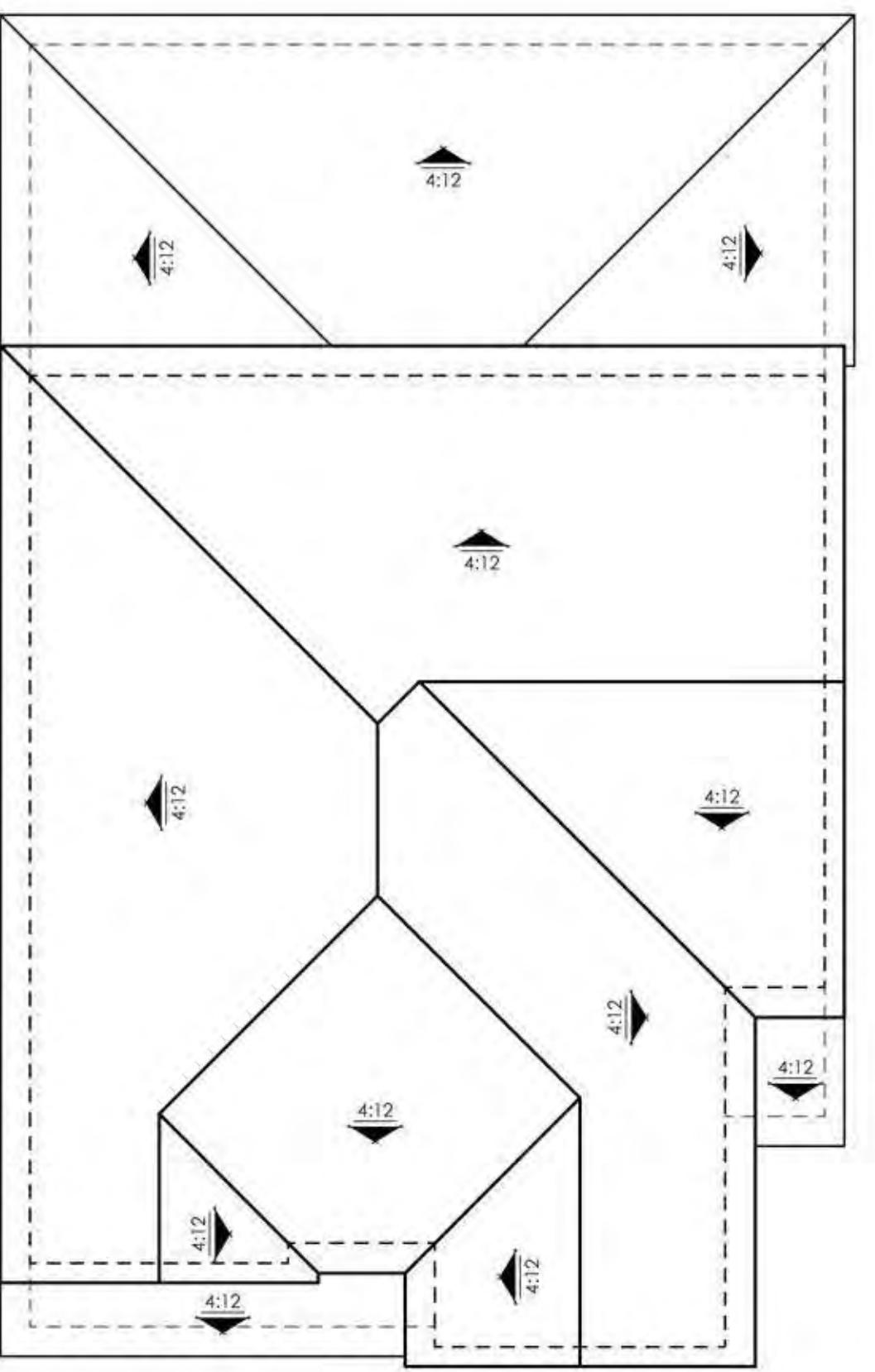
elevationA- santa barbara



elevationB- contemporary farmhouse



elevationC- contemporary craftsman



ROOF PLAN

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

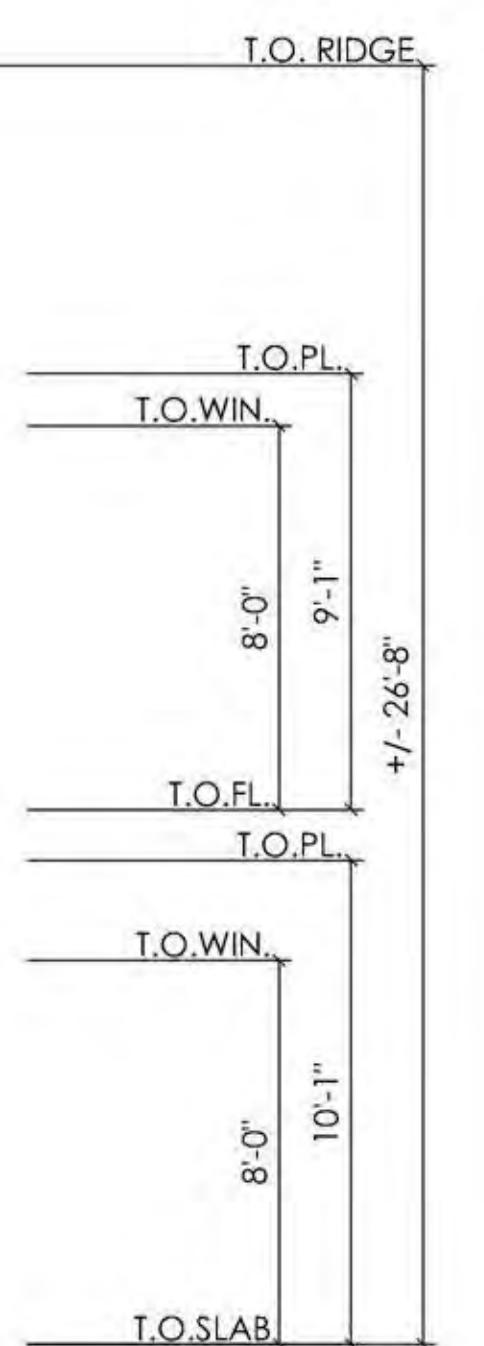
SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

LEFT ELEVATION



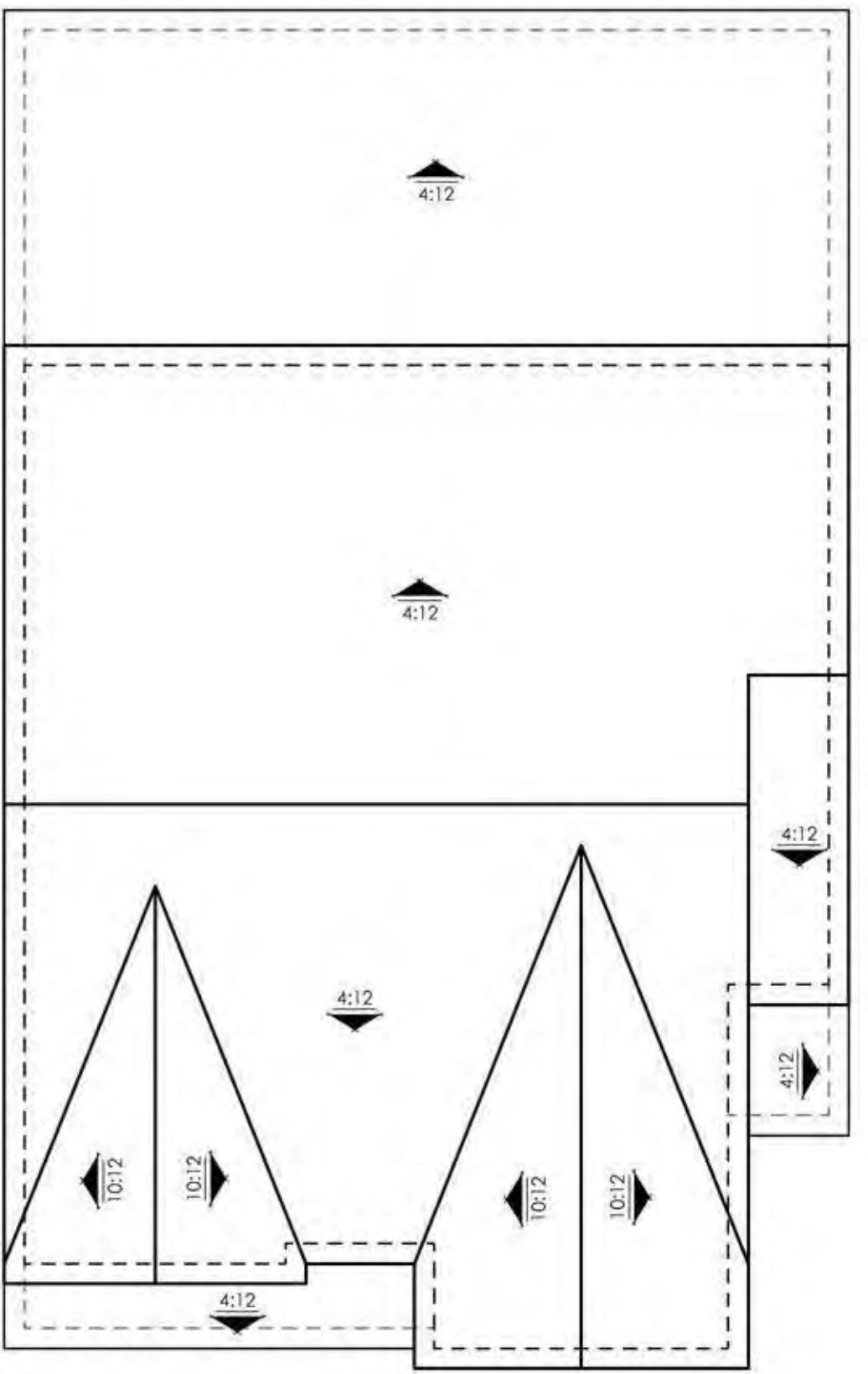
SCALE: 1/4" = 1'-0"

Exhibit 2-22



PLAN THREE | ELEVATION 'A'-SANTA BARBARA  
MURAI | COLRICH  
SAN MARCOS, CALIFORNIA

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ROOF PLAN

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

LEFT ELEVATION



SCALE: 1/4" = 1'-0"

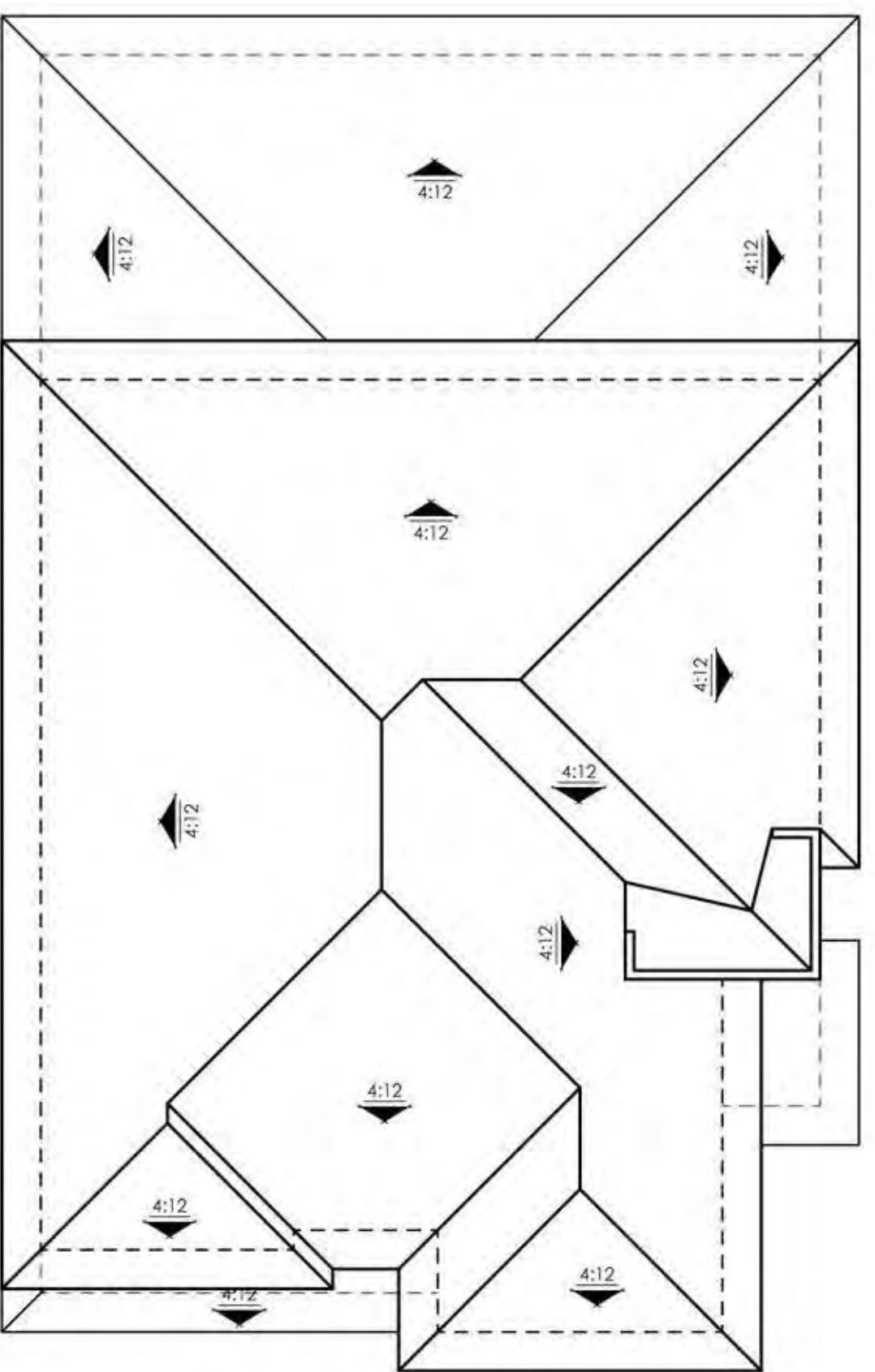
Exhibit 2-23



### PLAN THREE | ELEVATION 'B'-CONTEMPORARY FARMHOUSE

MURAI | COLRICH  
SAN MARCOS, CALIFORNIA

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ROOF PLAN

SCALE: 1/8" = 1'-0"

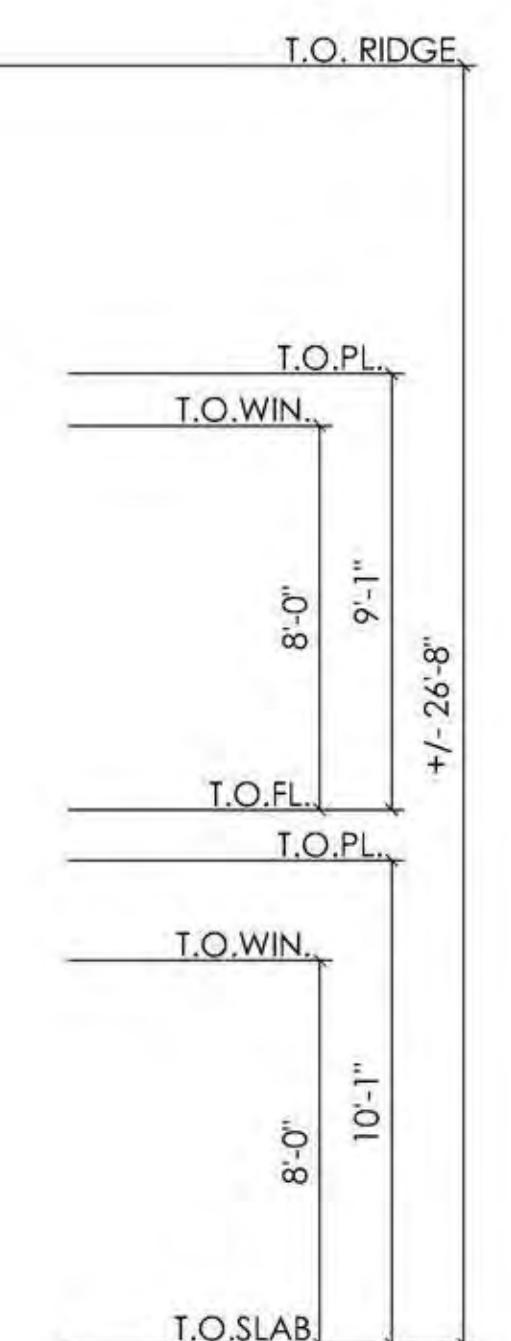


RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION



LEFT ELEVATION



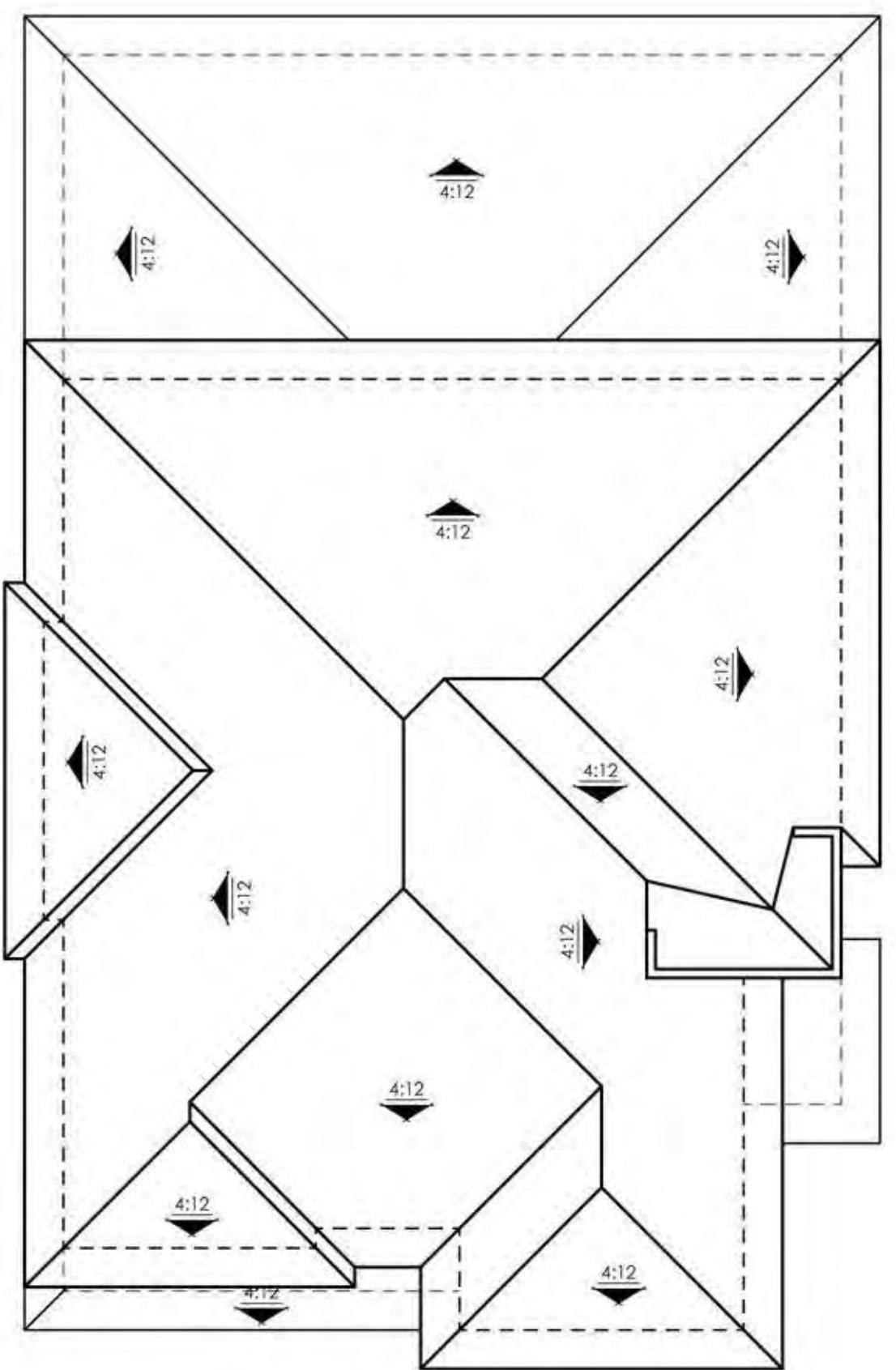
SCALE: 1/4" = 1'-0"

Exhibit 2-24



PLAN THREE | ELEVATION 'C'-CONTEMPORARY CRAFTSMAN  
MURAI | COLRICH  
SAN MARCOS, CALIFORNIA

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ROOF PLAN

SCALE: 1/8" = 1'-0"

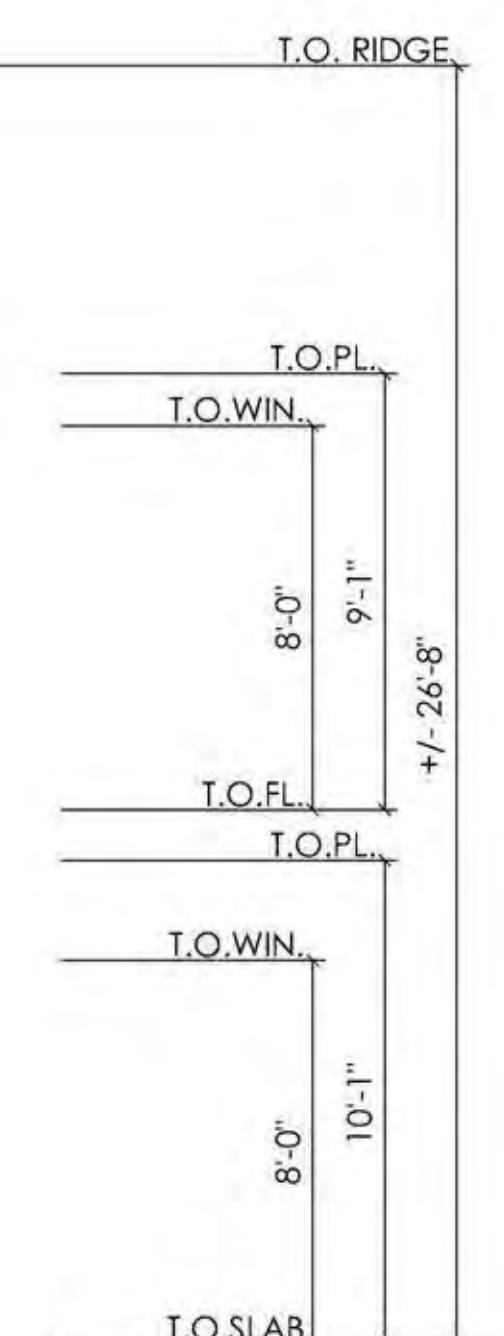


RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION



SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

## Exhibit 2-25

### PLAN THREE | ELEVATION 'C' ENHANCED-CONTEMPORARY CRAFTSMAN

MURAI | COLRICH  
SAN MARCOS, CALIFORNIA



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## 2.2.5 DENSITY

The Murai Specific Plan allows 89 residential units on varying lot sizes with minimum of 5,000 sf lots (average 7,252 sf). The clustered development is designed on approximately 35 acres of the 91.66 acre site in north San Marcos (**Table 2-3**). The residential density equates to 1 unit per gross acre. Density within the Murai Specific Plan area is considered low-density and is consistent with the rural character of the neighboring County residents. Low residential density is considered an appropriate buffer density between the clustered higher density neighborhoods to the south and east and the rural residential densities within the County to the north and west, therefore making the Murai Plan area an ideal residential use for the location.

Total Units	89
Gross Acreage	91.66
<b>Total Density</b>	<b>1 Dwelling Unit/Acre</b>

Table 2-3 Density

## 2.2.6 SETBACKS

Homes within the Murai Specific Plan area have been carefully studied and engineered for placement within their respective lots. Setbacks have been established in **Table 2-4** below and shall be referenced by the builder prior to construction. Front and rear setbacks shall not be less than 15' as measured from the property line (PL). Interior side yard setbacks shall be no less than 5' from structure to property line and a minimum of 3' of unobstructed level surface for homeowner and firefighter access to include fireplace popouts and air conditioner pads. Corner side yard setbacks shall be no less than 10' from the property line. Garage setbacks shall be no less than 20' from property line. Due to its unique design lot 34 provides an alternate 10' rear setback and side yard setback of no less than 20' as measured from the property line. Typical setbacks for each plan type can be seen on **Exhibit 2-26**. Refer to **Exhibit 2-27** for a detail of Lot 34. In addition to the setbacks established for the Specific Plan area, unit placement should be staggered within their respective lots to create street scene variation as shown on **Exhibit 2-28**.

Setback	Setback Distance
Front Yard	15' from PL
Rear Yard	15' from PL
Interior Side Yard	5' from structure to PL and minimum of 3' unobstructed level surface
Corner Side Yard	10' from PL
Garage	20' from PL
Lot 34 Alternative Setback	10' to 15' from front yard setback per Exhibit 2-27, 10' from Rear PL, 20' from Side PL

Table 2-4 Setbacks

### 2.2.6.1 Accessory Structures and Encroachments

**Accessory Structures** – Detached accessory buildings and structures within the Specific Plan area shall be located in conformance with the following criteria:

- Accessory structures must be detached from the main structure, limited to rear or side yards only with a minimum of 5' from any property line and a street side setback of 10' to the property line and a minimum 5' separation from the primary residence or any other structure.
- All accessory structures shall blend with the existing residence on the lot and neighborhood residences by incorporating the same or similar architectural features, building materials, and color as the primary dwelling unit on the property. These features shall include roofing material, roof design, fascia, exterior building finish, color, exterior doors and windows (including ratios of window dimensions [i.e., width to height] and window area to wall area), garage door and architectural enhancements.
- The exterior design of all accessory structures shall be in harmony with and maintain the scale of the neighborhood. The design of the accessory structure shall relate to the design of the primary residence and shall not visually dominate it or the surrounding properties.
- Accessory structures shall be limited to uses that are accessory to the main use, including cabanas, garage or carport, gazebo, greenhouse, pergola (patio cover), or workshop. An accessory structure shall not be used for dwelling purposes. Bathtub(s), fireplace(s), and/or kitchen (full or partial) facilities are prohibited. Air conditioning, heating, shower, toilette, washtub, and/or washer and dryer facilities are allowed within accessory structures. A deed restriction shall be required and shall state accessory structures shall not be used for sleeping quarters or converted to residential use.
- For lots 7,500 sf or greater, the maximum allowable gross area for all completely enclosed accessory structures in conjunction with an existing single-family residence shall be equal to 40% of the living area of the primary residence, or 800 sf of gross floor area, whichever is less. For lots less than 7500 sf, the maximum size for an accessory structure is 400 sf. The total gross floor area shall include all accessory structures, including those that do not require a building permit, with the exception of those that are open on at least 3 sides, exclusive of any supporting columns.
- Accessory structures are limited to one story maximum, 15' at its peak of roof.
- Secondary dwelling units are allowed per Section 20.410.050 of the City of San Marcos Municipal Code.
- Accessory structures must comply with fuel management zone requirements in accordance with the FPP.

**Roofed, Open Sided Patios and Porches** – Roofed, but otherwise unenclosed porches and patios which are attached to and a part of the main structure, are not more than 30 inches above the surrounding grade may project or extend into the required front or rear yards, provided:

- A patio cover may encroach into the rear yard setback a maximum of 5 feet.
- Any encroachment shall be limited to fifty percent (50%) of the setback area(s).

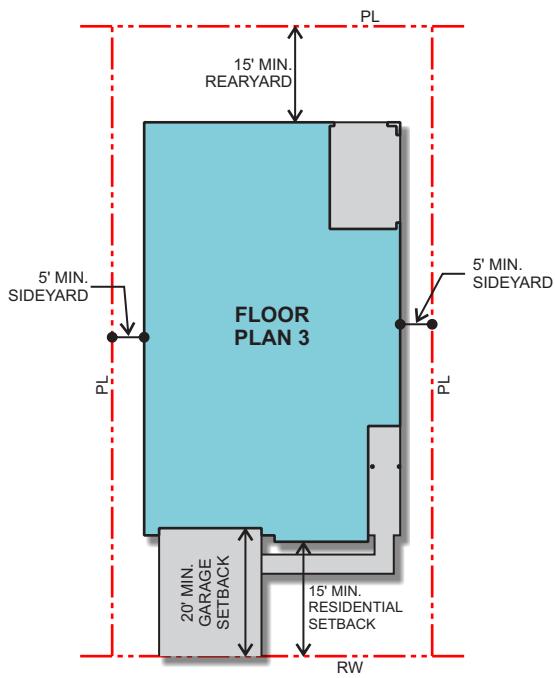
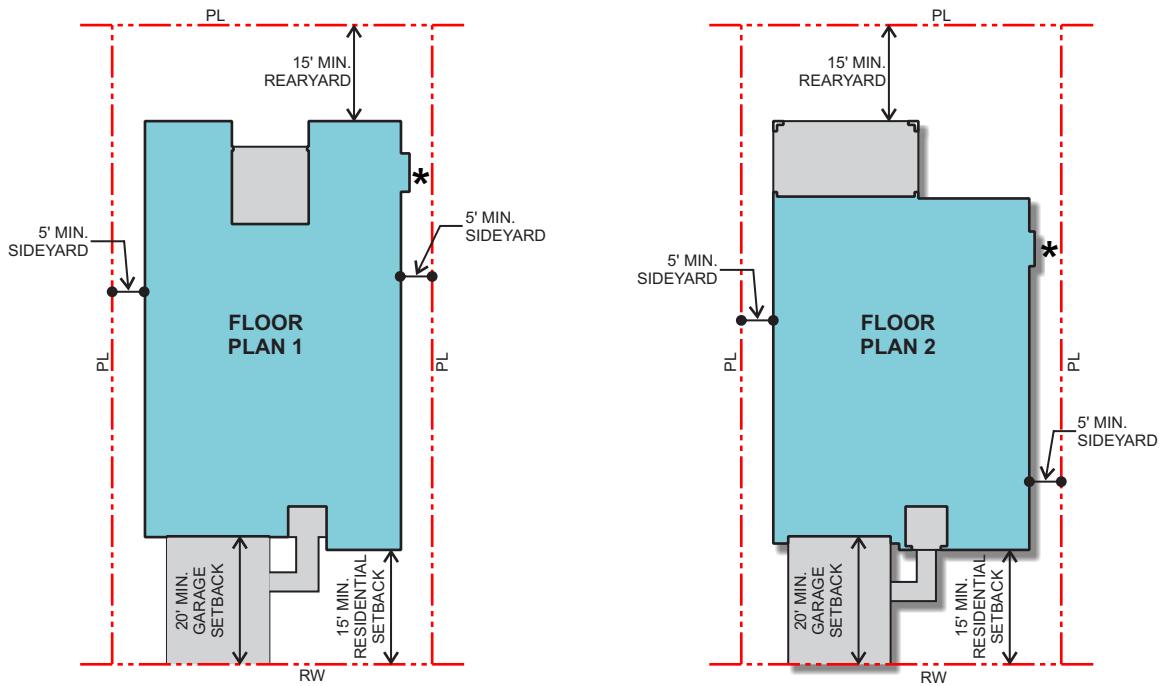
- A porch may encroach into the front yard setback a maximum of 3 feet.

***Pools and Spas***

- Pools and spas are prohibited in the front yard.
- Minimum setback from any side or rear property line shall be 5 feet to any portion or feature of the pool or spa.
- Minimum setback from any side or rear property line shall be 4 feet to any equipment, which shall be screened from view.
- Height of all features and equipment of the pool or spa shall be limited to 3' or less above adjacent grade of the lot.

***Balconies***

- Second story balconies and decks shall comply with the setbacks of the main residence.



\* ANY BUILDING POP OUTS IN THE  
SIDEYARD SETBACK SHALL MAINTAIN  
A 3' MINIMUM CLEARANCE & SHALL BE  
LEVEL.

NOT TO SCALE

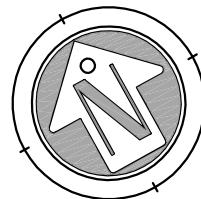
## Typical Setback Exhibit

*Exhibit 2-26*

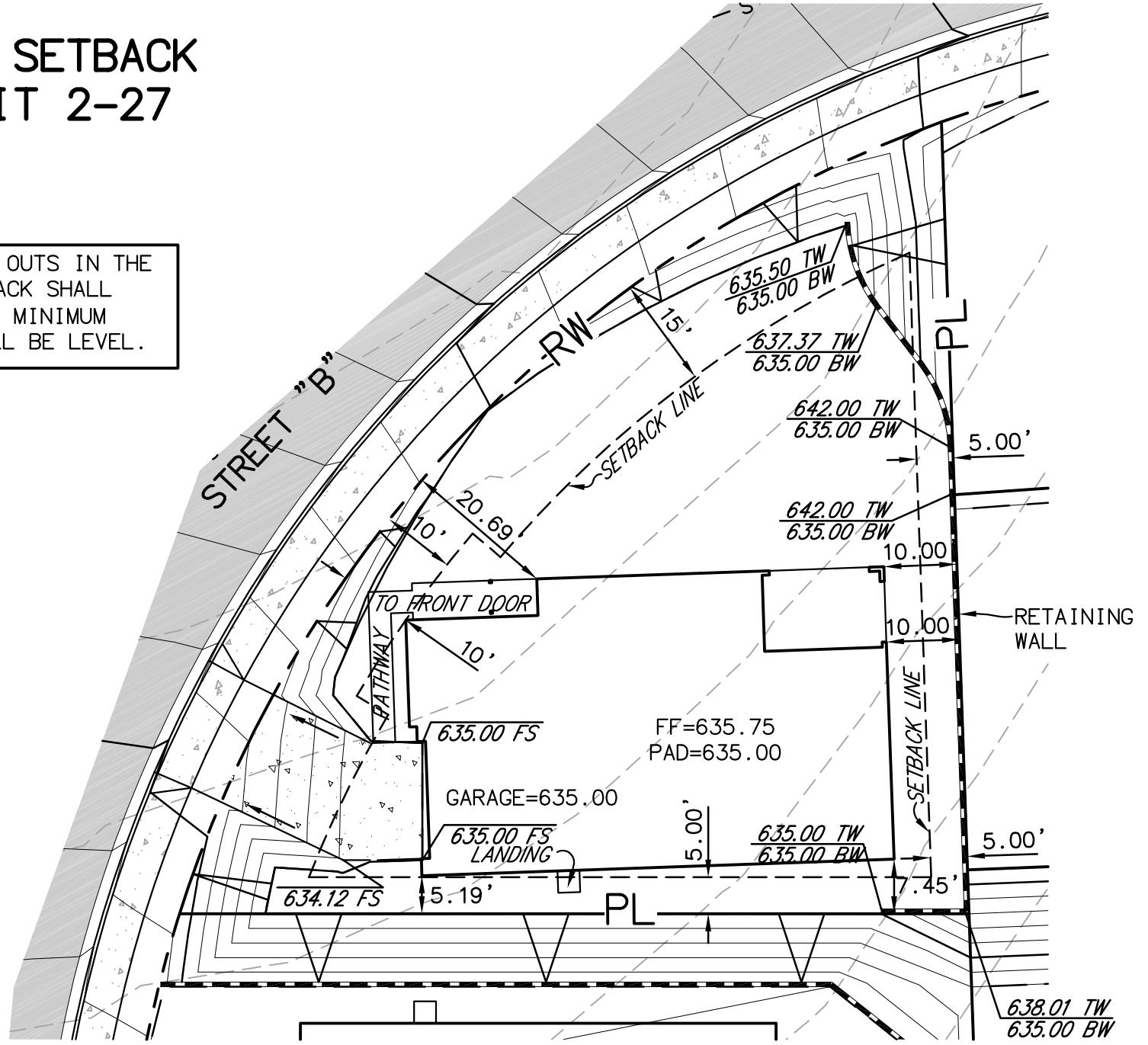
**MURAI SPECIFIC PLAN AREA**

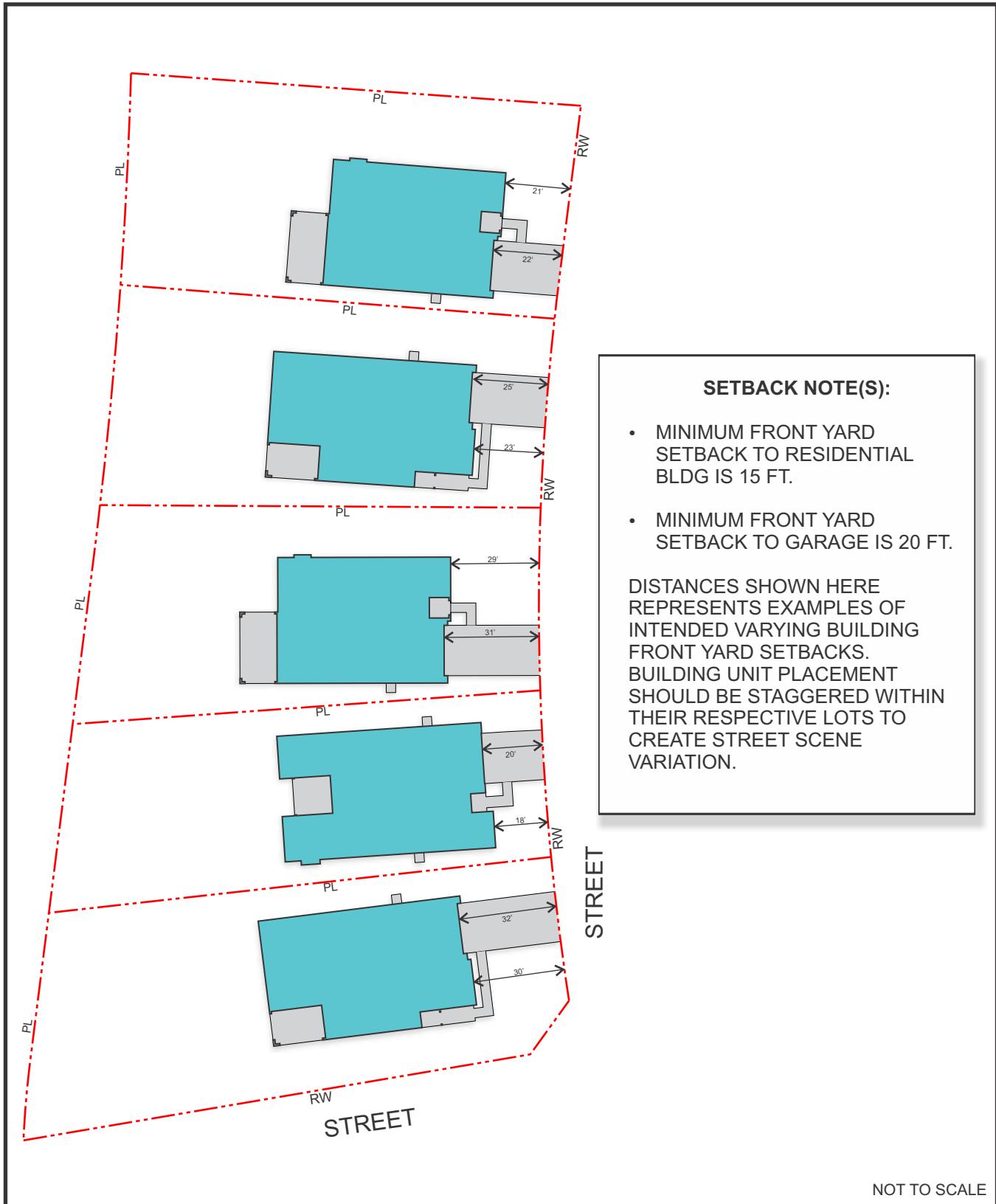
# LOT 34 SETBACK EXHIBIT 2-27

ANY BUILDING POP OUTS IN THE  
SIDEYARD SETBACK SHALL  
MAINTAIN A 3' MINIMUM  
CLEARANCE & SHALL BE LEVEL.



SCALE 1": 20'





Typical Frontyard Setback Variation

*Exhibit 2-28*

**SAN MARCOS MURAI**

## 2.2.7 HEIGHTS AND STORIES

The City of San Marcos and its neighboring communities have recognized that ridgelines and other prominent natural features are considered public goods to be preserved. To respect the desires of the surrounding Communities, homes within the Plan area have been restricted in height to a maximum of 2 stories in order to preserve natural landforms and views to the general public. Each plan type shall have an associated maximum height measured from the top of slab to the highest point of the roof inclusive of roof tiles (**Table 2-5**). Plan One Elevation 'A' and Enhanced Elevation 'A' units shall not exceed a maximum height of 29'. The Plan One Elevation B homes shall not exceed 31' in height. Plan One Elevation 'C' homes shall not exceed a maximum height of 26'. Plan Two Elevation 'A' homes shall not exceed a maximum height of 27'. Plan Two Elevation 'B' and Enhanced Elevation 'B' homes shall not exceed a maximum height of 29'. Plan Two Elevation 'C' homes shall not exceed 27'in height. Plan Two-X Elevation 'A' homes shall not exceed a maximum height of 29'. Plan Two-X Elevation 'B' shall not exceed a maximum height of 29'. Plan Two-X Elevation 'C' shall not exceed a maximum elevation of 28'. Plan Three Elevation 'A' shall not exceed 27' in maximum height. Plan Three Elevation 'B' homes shall have a maximum height of 29'. Plan Three Elevation 'C' and Plan Three Enhanced Elevation 'C' shall have a maximum height of 27'.

Plan Type	Maximum Height	Stories
Plan One Elevation 'A'	29'	2
Plan One Enhanced Elevation 'A'	29'	2
Plan One Elevation 'B'	31'	2
Plan One Elevation 'C'	26'	2
Plan Two Elevation 'A'	27'	2
Plan Two Elevation 'B'	29'	2
Plan Two Enhanced Elevation 'B'	29'	2
Plan Two Elevation 'C'	27'	2
Plan Two-X Elevation 'A'	29'	2
Plan Two-X Elevation 'B'	29'	2
Plan Two-X Elevation 'C'	28'	2
Plan Three Elevation 'A'	27'	2
Plan Three Elevation 'B'	29'	2
Plan Three Elevation 'C'	27'	2
Plan Three Enhanced Elevation 'C'	27'	2

Table 2-5 Heights and Stories

## 2.2.8 COMMUNITY PARKS, RECREATION, AND OPEN SPACE

Parks, recreation, and open space add value to homeowners and are an essential element to a successful community. The Murai Specific Plan area includes several types of open space, each providing its own unique attributes and adding a variety of possible outdoor activities to the residents of the Murai Plan area. Active park space, passive park space, trails, landscaping, and biological

conservation area are featured within the Plan Area and can be seen on the Open Space Exhibit, **Exhibit 2-29**. All park space within the Specific Plan area is private.

Both passive and active recreational opportunities will be featured within the Murai Specific Plan area in the form of parks, trails, and open space. Trails provide ample physical activity opportunities for walking, running, horseback riding and mountain biking. Other active recreational opportunities may include walkways and paths, a bocce ball court, and a tot lot. Parks and passive open space areas encourage other relaxing activities such as observing nature, bird watching, painting, photography, and picnicking. Additional passive elements include open turf areas, benches and seating, bio-retention areas, and landscaped areas. Areas set aside for storm water management will feature grasses and other plants that will treat the initial runoff and will be integrated into the landscape design. Detailed descriptions of parks, recreation, and open space are provided below. An overview of park amenities is included within **Table 2-6**.

Park/Trail Name	Total Acreage	Amenities
<b>Parks</b>		
Private Park A	0.085	Sidewalks, Decomposed Granite Paving, Stone Paving, Seat Wall, Raised Planting Beds, Planting Areas, Accent Trees, Fruit trees.
Private Park B	0.25	Seat Wall, Stone Paving, Decomposed Granite Path, Sidewalk, Planting Area, Accent Trees, Bio-Retention Area.
Private Park C	1.39	Sidewalks, Concrete Walks, Decomposed Granite Path, Stone Paving, Seating Areas, Shade Structures, and Seating, Tot-Lot with Rubber Play Surfacing, Dog Park, Bocce Ball Court.
Private Park D	0.270	Horseshoe pit, passive open space
<b>Park Acreage Subtotal</b>	<b>2.0</b>	
<b>Trails</b>		
Agua Hedionda/San Diego Aqueduct Multi-Use Trail	1.53	10' DG surface/14' paved driving surface for SDCWA access (partial section from Avenida Leon to Street 'A' will be 5' DG surface and 20' asphalt)
Multi-Use Trail	0.10	10' DG surface
<b>Trail Acreage Subtotal</b>	<b>1.63</b>	
<b>Total Park/Trail Acreage</b>	<b>3.63</b>	

Table 2-6 Proposed Recreational Amenities

**Park A** – This small private park is approximately 0.085 of an acre located in the northern portion of the Murai Specific Plan area on Street B (**Exhibit 2-30**). Park A has been designed as a passive park,

providing residents with community gathering space outdoors. The park design includes a variety of passive features to create visual diversity and interest as a gathering place. Elements such as sidewalks, walkways, stone paving, decomposed granite (DG) trails, accent trees, raised planters, and planting areas are included within the park area. Fruit trees will be added upon approval from the City of San Marcos as a unique feature of the park design.

**Park B** – Located on Street B, this private passive space will include several attractive features for the enjoyment of residents (**Exhibit 2-31**). At approximately 0.25 of an acre, Park B is slightly larger than Park A; however, this passive space is also designed as a community gathering area. A bio-retention area has been designed into Park B as a focal area and may be complemented with a variety of accents to complete the design. Some examples of elements that may be included in the design are stone paving, planting areas, seating wall facing the retention area, accent trees, and a DG pathway which winds around the bio-retention area. Park B includes pedestrian and bicycle access to Street C via a DG trail that winds around Lot 26 and between Lots 45 and 46.

**Park C** – Park C is the largest of the 3 parks featured in the Specific Plan area; divided between northern and southern areas, this private park is a true neighborhood gathering place (**Exhibit 2-32**). The increased size of Park C, approximately 1.39 acres, accommodates both active and passive features which facilitate a range of activities adding appeal to a broad section of the community. Active and passive features for both children and adults shall be featured in the design of this park. The northerly park section includes large turf areas, accent trees, concrete walkways and seating. This park area also proposes a dog park for residents of the Plan area. The dog park may feature a turf and/or DG surfaces, accented with bench seating. The proposed dog park will be fenced to prevent loose dogs in order to protect them and their owners. A DG walkway connects the northerly Park area to the larger section to the south. The southern area's main focal point is centered on a large open turf area and surrounded by active and passive amenities. A tot-lot or other similar children's play structure will be included as an active play opportunity and is proposed to be located at the northwest portion of the park. A bocce ball court or similar feature is proposed as an active feature for adults and is proposed to be located at the southwest portion of park. Other amenities include accent trees and planter beds, seating, decomposed granite walking paths, stone paving, and seating.

**Park D** – Park D is approximately 0.270-acres and is mostly passive open space. The park will include a water quality basin for treatment of storm water during rain events. The park is adjacent to the public DG trail connecting to the Agua Hedionda/San Diego Aqueduct Multi-Use Trail. A horseshoe pit is included as an amenity for this park space (**Exhibit 2-33**).

**Trails** – The Murai Specific Plan area will include 1.65-acres of trails for public enjoyment. Trails are a key component to a comprehensive Land Use Plan and add value to quality of life in any community. Two types of trails have been proposed in the Murai Specific Plan area; a public trail connecting to the San Marcos trail system and a smaller internal private trail connecting private parks to the internal roadways. Further detail on trails, trail locations, and trail cross sections can be seen in Chapter 3. A small private DG trail linking Park B to Private Street C (**Exhibit 2-31**) is located in the western portion of

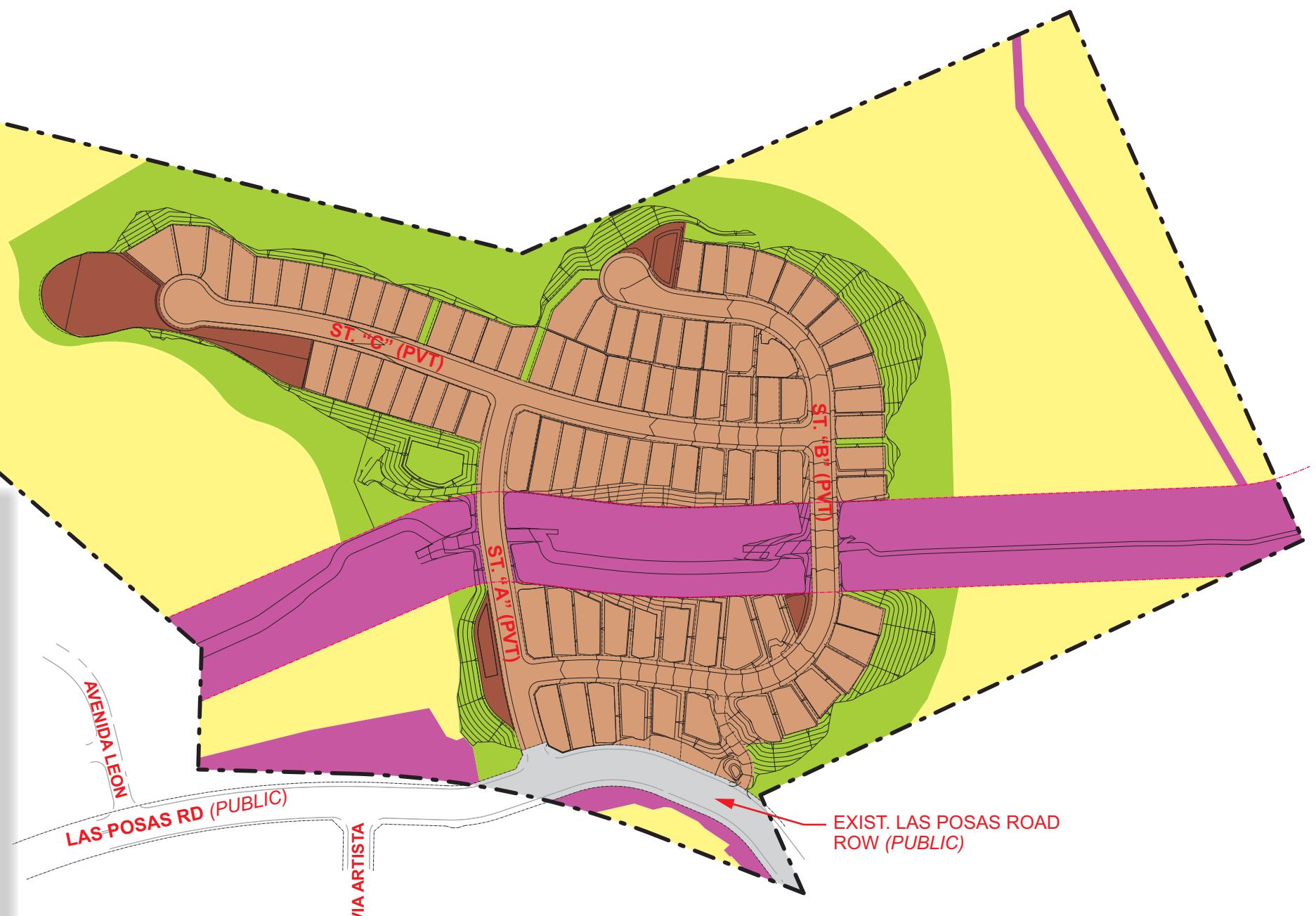
the development area, as well as a small DG trail circling Park C and connecting to Private Street C. The short trail loops around Lot 26 and between Lots 45 and 46 before connecting to Private Street C.

**Public Trail** – The 1.53-acre Agua Hedionda/San Diego Aqueduct Multi-Use Trail includes an easement for public access and is connected to the San Marcos and regional County trail systems. The trail includes a 10' DG surface for use by pedestrians, bicyclists, and horseback riders, as well as a paved surface for access by County Water Authority maintenance vehicles and City of San Marcos emergency vehicles. A partial section from Avenida Leon to Street 'A' will be 5' DG surface and 20' asphalt. A 5' wide DG multi-use trail connects Las Posas Road to the Agua Hedionda/San Diego Aqueduct Multi-Use Trail on the south side of street "A."

**Open Space** – Approximately 35-acres will be disturbed during construction of the Murai Specific Plan area inclusive of the development footprint, private parks, and the fuel management zone. All disturbed open space shall be mitigated onsite and preserved in perpetuity through the recordation of a biological conservation area easement. The Murai Plan area will preserve approximately 40.51-acres of coastal sage, wetlands, and riparian habitat.

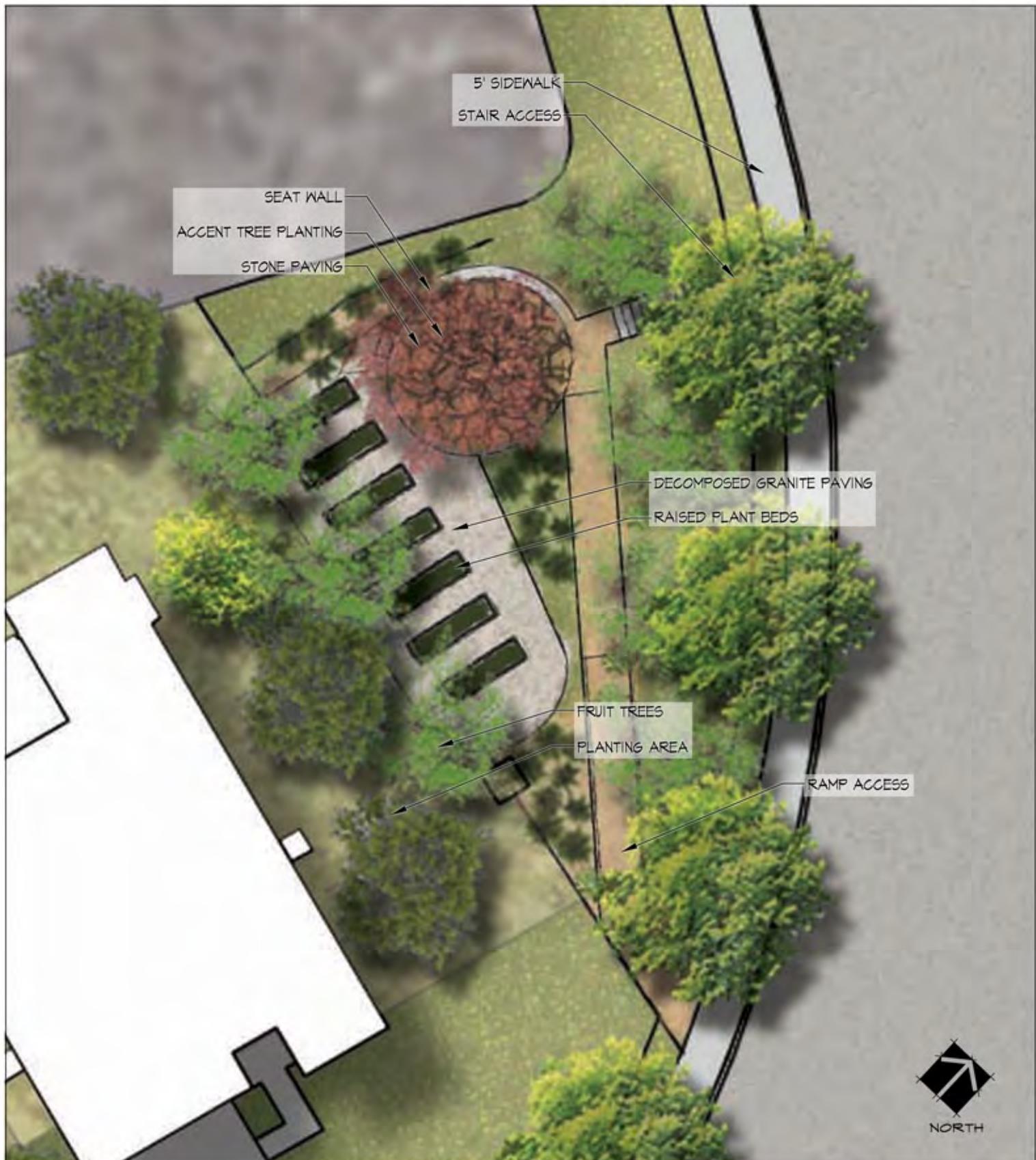
## San Marcos Murai Open Space Map

OPEN SPACE	LEGEND	AREA (ACRES)
PARK		2.00
FIRE CLEARING		12.39
IMPACT NEUTRAL ZONE		14.43
BIOLOGICAL		40.51
OPEN SPACE AREA		69.33
PROJECT IMPROVEMENTS		20.81
LAS POSAS ROW		1.52
TOTAL PROJECT AREA		91.66
% OF OPEN SPACE TO PROJECT AREA		75.64%



Open Space Map  
MURAI SPECIFIC PLAN AREA

Exhibit 2-29



PARK A (PASSIVE SPACE)  
SAN MARCOS MURAI

EXHIBIT 2-30



PARK B (PASSIVE SPACE)  
SAN MARCOS MURAL

EXHIBIT 2-31



PARK C (ACTIVE SPACE)

SAN MARCOS MURAI

EXHIBIT 2-32



PARK D (PASSIVE SPACE)  
SAN MARCOS MURAL

EXHIBIT 2-33

## 2.3 LANDSCAPE GUIDELINES

Landscaping is an integral part of the design process setting the tone and feel for the Murai community development. The landscape design transforms the built environment into an attractive, accessible, and functional community, accenting structures using natural elements from the surrounding visual environment. The landscaping guidelines set parameters for landscape design within the Plan area. The guidelines contained within this section help designers understand which design elements are acceptable and how those elements are to be employed within the Plan area.

The Murai Specific Plan area shall comply with the City of San Marcos Water Efficiency Landscape Ordinance into the landscape design. The landscape guidelines detailed below pertain to irrigation and planting methods that will be incorporated into the Murai Specific Plan area. Should there be any conflict with the City's Water Efficient Landscape Ordinance (WELO) the City Ordinance shall apply:

### ***Irrigation***

- The Plan area shall include the use of automatic controllers utilizing evapotranspiration or moisture sensing data, with manual and auto shut off.
- Low volume heads, subsurface irrigation system designed to prevent runoff, low head drainage and overspray.
- Plants will be grouped into hydrozones with each zone receiving irrigation separately.
- No spray irrigation will be used within 24" of a non-permeable surface.

### ***Invasive Species***

- No non-native invasive plant species shall be used, per Appendix N of the Multiple Species Conservation Program (MSCP) Subarea Plan, California Exotic Pest Plant Council List A-1, and the California Invasive Plant Council (Cal-IPC).

### ***Landscape Maintenance***

- Areas not within private fenced yards will be maintained by the developer until such time as property maintenance is transferred to the project Homeowners Association. The landscape and slope maintenance transference to the HOA shall be determined under the Conditions of Approval from the City of San Marcos.

### ***Plant Materials***

- The Specific Plan area shall use only draught tolerant plant and turf species, disease and pest-resistant plants. Trees shall be planted wherever possible to provide shading.
- All street trees within 10' of public improvements shall have root barriers.
- Landscape construction drawings shall be prepared in compliance with the requirements of California's Water Efficient Landscape Ordinance AB 1881 and the San Marcos Water Efficiency Landscape Ordinance.

### ***Erosion Control***

- Best management practice devices and procedures shall be utilized as specified by the project engineer.

#### **2.3.1 LANDSCAPE DESIGN AND THEME**

The landscaping for the Murai Specific Plan area will provide a cohesive community identity, tying the architectural style of the homes to the surrounding environment (**Exhibit 2-34**). Scaled and pedestrian oriented landscapes serve to set the tone for the community, drawing residents and visitors alike into and throughout the development and its various common open spaces. Landscape materials shall be used to enhance and accentuate key site and architectural elements, frame views, provide a visually stimulating site element, and be used to screen mechanical equipment such as air conditioning units, electrical panels, and landscape irrigation equipment. Canopy street trees and grade level planting will enhance the streetscape and unify architecture while guiding residents through the community. Plant material will be chosen for its appropriateness to scale, performance in the region, drought tolerance, and suitability of use.

All disturbed slopes will be revegetated using a mix of regionally appropriate native and non-native trees, shrubs, and groundcovers, and hydroseed to prevent erosion. All slopes that fall within the Murai Specific Plan area's Fuel Modification Zone, as identified in the Fire Protection Plan, will be designed to meet all appropriate agency requirements for Fuel Modification Zones.

##### ***2.3.1.1 Residential Lot Landscaping WELO Compliance***

Front and rear yard construction irrigation and planting plans shall be prepared by the homeowner and/or their consultant for review and approval by the Murai HOA. All plans shall meet the requirements of the Water Efficient Landscape Ordinance (WELO) of the City of San Marcos, the site brush management zones, and all other City and HOA applicable standards and guidelines. Plans shall be reviewed by a licensed landscape architect for compliance to the requirements listed above. The HOA approval of the individual homeowner lot plans shall be for irrigation and planting only. Any ancillary structures requiring permitting such as but not limited to overheads or gas BBQ counters, will require permitting by the City of San Marcos and are not part of the landscape plan approval.

A Master Permit Plan shall be provided to the City identifying the construction phasing of development and will be used as a basis for confirming that each lot complies with the WELO requirements of the State. Submittal of a matrix of HOA approved landscape plans for each phase will be provided to the City twice yearly and will identify the lots within that phase that have been approved by the HOA. The total square footage of improved landscape area on each lot will be provided for use by the City.



OVERALL LANDSCAPE PLAN  
SAN MARCOS MURALI

### 2.3.2 PLANT MATERIAL GUIDELINES

The plant material listed below in **Table 2-7** provide the developers of the Murai Specific Plan area with guidelines for landscape planting of residential landscaping, common-area landscaping, fuel modification zones, and in some cases preserved open space areas. All plants and trees included in the Murai Plant Material Guideline will be draught tolerant species. The plant material list provided below is conceptual only. Any plant material lists must gain approval from the City of San Marcos and shall be compliant with the City's WELO.

**Table 2-7 Conceptual Plant Material List**

#### **TREES:**

<i>BOTANICAL NAME:</i>	<i>COMMON NAME:</i>	<i>SIZE:</i>
<b><i>LAS POSAS RD STREETSCAPE:</i></b>		

It is anticipated the existing landscaping along Las Posas Road shall remain untouched, however should construction activities disturb any landscaping, the same or similar plantings shall be replaced.

<i>INTERNAL STREETSCAPE:</i>	<b><i>100%-24" BOX</i></b>
RHUS LANCEA	AFRICAN SUMAC
ARbutus MARINA	STRAWBERRY TREE
METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE
TABEBUIA IMPETIGINOSA	PINK TRUMPET TREE

<i>PARKS:</i>	<b><i>100%-15 GAL</i></b>
CERCIS OCCIDENTALIS 'FOREST PANSY'	FOREST PANSY REDBUD
PISTACIA CHINENSIS	CHINESE PISTACHE
QUERCUA VIRGINIANA	SOUTHERN LIVE OAK

<i>SLOPES:</i>	<b><i>100%-24" BOX</i></b>
LOPHOSTEMON CONFERTUS	BRISBANE BOX
QUERCUS AGRIFOLIA	COAST LIVE OAK
RHUS LANCEA	AFRICAN SUMAC

<i>SHRUBS:</i>	
<i>BOTANICAL NAME:</i>	<i>COMMON NAME:</i>
<b><i>LAS POSAS RD STREETSCAPE:</i></b>	
<b><i>70%-5 GAL / 30%-1 GAL</i></b>	
<b><i>SMALL SHRUBS:</i></b>	
BOUTELOUA 'BLONDE AMBITION'	BLUE GRAMA GRASS

MEDIUM SHRUBS:

AGAVE ATTENUATA	AGAVE
CISTUS PURPUREA	ORCHID ROCK ROSE
CARISSA 'GREEN CARPET'	NATAL PLUM

LARGE SHRUBS:

CHONDROPETALUM TECTORUM	CAPE RUSH
PITTOSPORUM TOBIRA	JAPANESE PITTOSPORUM
RHAPHIOLEPSIS UMBELLATA	INDIAN HAWTHORNE

INTERNAL STREETSCAPE:

**70%-5 GAL / 30%-1 GAL**

SMALL SHRUBS:

CAREX TUMILOCOLA	BERKLEY SEDGE
DIETES IRIDIODES	FORTNIGHT LILY
LOMANDRA LONGIFOLIA	BREEZEGRASS

MEDIUM SHRUBS:

AGAVE ATTENUATA	AGAVE
BOUGAINVILLEA 'TEMPLEFIRE'	BOUGAINVILLEA
CALLISTEMON 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH
MUHLENBERGIA C. 'LENCA'	REGAL MIST PINK MUHLY
TOSMARINUS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY

LARGE SHRUBS:

LIGUSTRUM JAPONICA TEXANUM	WAX-LEAF PRIVET
MYRTUS COMMUNIS	MYRTLE
PITTOSPORUM TOBIRA	JAPANESE PITTOSPORUM

INTERNAL SLOPES:

**20%-5 GAL / 80%-1 GAL**

SMALL SHRUBS:

LANTANA MONTEVOIDES	LANTANA
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MEDIUM SHRUBS:

CISTUS SP.	ORCHID ROCK ROSE
GALVEZIA SPECIOSA	ISLAND SNAPDRAGON

LARGE SHRUBS:

LEPTOSPERMUM SP.	TEA TREE
LIGUSTRUM JAPONICUM	WAX-LEAF PRIVET
RHAPHIOLEPSIS UMBELLATA MINOR	INDIAN HAWTHORNE

**PARKS:** **70%-5 GAL / 30%-1 GAL****SMALL SHRUBS:**

LANTANA MONTEVOIDES LANTANA

**MEDIUM SHRUBS:**

CISTUS SP.	ROCK ROSE
CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER
MUHLENBERGIA C. 'LENCA'	REGAL MIST PINK MUHLY

**LARGE SHRUBS:**

LEPTOSPERMUM SP.	TEA TREE
PHOENIX ROBELENII	PYGMY DATE PALM
STRELIZIA REGINAE	BIRD OF PARADISE
TECOMA STANS 'GOLD STAR'	YELLOW BELLS
PLUMBAGO AURICULATA 'ROYAL CAPE'	ROYAL CAPE PLUMBAGO

**GROUNDCOVERS:**

BOTANICAL NAME:	COMMON NAME:	SIZE:
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**PARKS:** **1 GALLON @ 24" O.C.****MIN.**

MUHLENBERGIA DUBIA	PINE MUHLY
LOMANDRA LONGIFOLIA	BREEZEGRASS
BOUTELOUA 'BLONDE AMBITION'	BLUE GRAMA GRASS

**WATER QUALITY BASIN:** **1 GALLON @ 30" O.C. MIN.**

CAREX PRAEGRACILIS	CALIFORNIA FIELD SEDGE
CHONDROPETALUM TECTORUM	SMALL CAPE RUSH
MUHLENBERGIA RIGENS	DEER GRASS

**GROUNDCOVERS: (INTERNAL SLOPES)**

BOTANICAL NAME:	COMMON NAME:	SIZE:
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**HOMEOWNER:** **PLUGS @ 18" O.C. MIN.**

BOUGAINVILLEA SP.	BOUGAINVILLA
LANTANA MONTEVOIDES	TRAILING LANTANA

**HOA:** **1 GALLON @ 18" O.C.****MIN.**

ERIOPONUM FASCICULATUM	CA BUCKWHEAT
------------------------	--------------

BOUGAINVILLEA SP.	BOUGAINVILLA
CARISSA MAC. GREEN CARPET	GREEN CARPET NATAL PLUM
ACACIA REDOLENS 'DESERT CARPET'	PROSTRATE ACACIA

**VINES:**

BOTANICAL NAME:	COMMON NAME:	SIZE:
CALYSTEGIA MACROSTEGIA	CA MORNING GLORY	15 GAL.
CLEMATIS LASIANTHA	CHAPARRAL CLEMATIS	15 GAL.

**ALTERNATIVE ZONE A (FIRST 50 FEET OF DEFENSIBLE SPACE):**

BOTANICAL NAME:	COMMON NAME:	SIZE:
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***TREES:*** ***100% - 15 GAL***

HTEROMELES ARBUTIFOLIA	TOYON
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK

***SHRUBS:*** ***20%-5 GAL / 80%-1 GAL***

**SMALL SHRUBS:**

ACHILLEA MILLEFOLIUM	YARROW
----------------------	--------

**MEDIUM SHRUBS:**

AGAVE ATTENUATA	AGAVE
CISTUS PURPUREA	ROCK ROSE
EPILOBIUM CALIFORNIA	CA FUCHSIA

**LARGE SHRUBS:**

RHUS OVATA	SUGAR BUSH
PLUMBAGO AURICULATA 'ROYAL CAPE'	ROYAL CAPE PLUMBAGO

**GROUNDCOVERS:**

***HOMEOWNER:*** ***1 GALLON @ 6' O.C.***

***MIN.***

ACACIA REDOLENS 'DESERT CARPET'	PROSTRATE ACACIA
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***HOA:***

DEOSPERMA ALBA	DISNEYLAND ICEPLANT
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***PLUGS @ 18" O.C. MIN.***

### 2.3.3 FUEL MODIFICATION

The Murai Specific Plan will incorporate fuel modification zones into the landscape plan to protect against the threat of wildland fire (**Exhibit 2-35**). Fire resistant landscape design, along with proper year-round fire maintenance, will provide effective fire prevention while maintaining the biological integrity of the native plant communities.

The Murai Fire Protection Plan (FPP) is the guiding document outlining requirements regarding implementation and maintenance of fire protection for the Plan area. The Murai FPP identifies the fuel modification zones and the associated buffers, each which must be implemented to maintain a safe buffer to the structures within the Plan area. An established 150-foot buffer area or less if mitigation is approved by the San Marcos Fire Department (SMFD) shall be established through three fuel modification zones, and around all structures.

#### **Zone A Fuel Modification - Irrigated**

Zone A is a non-flammable irrigated zone extending outward 50 feet from structures in the Plan area. Areas outside of residential lots, which fall within Zone A, shall be maintained by the Homeowners Association. The following specific components are included within Zone A:

- Non-combustible surface (pavement, concrete, decomposed granite, ETC.) or;
- Irrigated wet zone (water conserving irrigation systems with efficient drop emitters and smart controllers and use of California friendly landscape concepts);
- High-leaf-moisture plants as ground cover, less than 4 inches high;
- No tree crowns within 10 feet of structures (at maturity);
- Tree spacing a minimum 10 feet between crowns;
- No tree limb encroachment within 10 feet of a structure or chimney, including outside barbecues or fireplaces;
- Tree maintenance includes climbing-up (canopy raising) 6 feet or one-third the height of the tree;
- Shrubs shall be less than 2 feet tall;
- Homeowners shall provide year-round maintenance to landscaping not included within the HOA maintained areas;
- Only approved fire-resistant species shall be allowed; and
- No combustible fencing shall be allowed in rear or side yards.

#### **Zone B Fuel Modification – Non-Irrigated**

Zone B is a non-flammable, reduced-fuel, non-irrigated zone extending 51 to 100 feet from the outside edge of Zone A. Zone B maintenance shall be the responsibility of the HOA. Zone B vegetation management shall be accomplished through hand clearing and contains the following components:

- Removal of all dead plant material and trimmings;

- No more than 50% of native, non-irrigated vegetation shall be retained within Zone B;
- Ground cover shall be less than 6 inches high;
- Minimum 20 feet between tree canopies;
- Shrubs shall be less than 2 feet high; and
- Single-specimen native shrubs, exclusive of California Sagebrush, may be retained.

#### **Zone C Fuel Modification – Non-Irrigated**

Zone C is a non-flammable, reduced-fuel, non-irrigated zone extending 101 to 150 feet from the outside edge of Zone B. Zone C shall be maintained by the HOA. Zone C vegetation management is accomplished through hand clearing and includes the following components:

- Removal of all dead plant material and trimmings;
- No more than 30% of native, non-irrigated vegetation shall be retained;
- Ground cover shall be no higher than 6 inches;
- A minimum 20-foot separation shall be maintained between tree canopies;
- Shrubs shall be less than 2 feet in height; and
- Single-specimen native shrubs, exclusive of Chamise and Sage, may be retained.

Portions of Fuel Modification Zone's B and C exist within areas designated as conservation easements. Vegetation management within conservation easement areas shall be accomplished through selective, hand-clearing of the most highly flammable plants and retention of small patches of native vegetation. All proposed clearing within the conservation easement areas and the following components must be pre-cleared through the appropriate wildlife agencies and shall be the maintenance responsibility of the HOA:

- Removal of all dead and dying plant material and trimmings;
- Native, non-irrigated vegetation shall be retained by breaking up continuity between patches of continuous fuels. A 20 foot on center spacing between patches of native vegetation is desirable;
- Grasses shall be maintained to be no taller than 18 inches;
- A minimum 20-foot separation between tree canopies shall be maintained; and
- Single-specimen native shrubs, exclusive of Sagebrush, may be retained.

## LEGEND

-  FMZ Maintenance Access Point
-  Project Site
-  Substandard FMZ
-  FM Zone A (HOA maintained)
-  FM Zone A (Homeowner maintained)
-  FM Zone B
-  FM Zone C
-  Roadway FMZ
-  Open Space
-  SDCWA Easement
-  Development



## San Marcos Murai Conceptual Fuel Modification

0 300 600

N  
1:300

Conceptual Fuel Modification Zones Exhibit

Exhibit 2-35

**MURAI SPECIFIC PLAN AREA**

### 2.3.4 WALLS, FENCES, AND MONUMENTATION AND SIGNAGE

Walls, fences, and monuments within the Murai Specific Plan area are functional boundaries framing outdoor spaces and complementary pieces of the landscape design. Walls, fences, and monuments create partitions between homes, screen homes from roadways, prevent public intrusion into conserved open space, reduce noise from roadways, and enhance overall site design. A general overview of wall and fence locations can be seen on **Exhibit 2-36**.

**Walls and Fencing** – Generally walls and fences within the Plan area are designed to function in three ways; they shall act as aesthetic boundaries to open space, sound attenuation or retaining barriers along roadways or lots, and as privacy fencing between homes. Fence types include tubular steel, and wood or vinyl privacy fencing. Masonry walls are suitable along roadways where noise attenuation is specified in the EIR noise analysis, and as retaining walls in areas where engineering requires more stability and strength. Homes located along Private Street A, two small sections along Private Street B, and Las Posas Road shall feature 5' high masonry walls adjacent to the roadways as a means to reduce noise from traffic. Walls and fences will be an extension of the colors and materials of adjacent residential architecture. Walls and fences should also be designed in such a way as to become a visual amenity, compatible with the surrounding natural landscapes colors and materials. Interior yard fencing should be 5' wood or vinyl and fire resistant as needed. Transparent tubular steel fencing will be used where desirable views should be maintained and in areas where homes are sited within fuel modification zones. Tubular steel fencing in the Plan area proposes to include 5' sections on rear yards adjacent to the Agua Hedionda/San Diego Aqueduct Multi-Use Trail and around the perimeter homes adjacent to open space, as well as the dog park enclosure. Additionally, 5' sections are proposed along homes located on downslopes to the northeast and southeast of the Plan area. **Exhibit 2-37** provides typical examples of fence and wall types which may be used within the Specific Plan area.

**Monuments** – Monuments within the Specific Plan area shall accent the overall landscape design and provide focal points within the development as well as the entrance to the Plan area. The Plan area may incorporate a monument located at the primary entrance as a prominent feature of the landscape design. Monuments within the Plan area shall incorporate materials compatible with the surrounding natural landscape features and the Murai landscape design. A variety of materials may be used to design monuments. Some of these materials may include concrete, rock, boulders, metal-work, draught tolerant shrubs and trees, or other draught tolerant vegetation. Monuments may include accent lighting. Entry monuments shall be limited to a maximum of 6' in height and setback a minimum of 5' from any property line. Precise details for entry monuments will be provided with plans submitted for the construction of monuments. A concept of the entry monument area, and entry monument concept elevation are provided on **Exhibits 2-38, 2-39**. **Figure 2-40** provides information on the dimensions of monuments and the location and type of lighting for monuments.





**A | SLUMP BLOCK WALL**  
PRIVACY/SECURITY WALL OPTION



**A | PARGED BLOCK WALL**  
PRIVACY/ SECURITY WALL OPTION



**B | TUBE STEEL FENCE**  
VIEW/ SECURITY FENCE



**C | WOOD/ VINYL FENCE**  
PRIVACY/ SECURITY FENCE



**D | ENTRY MONUMENT WALL**  
DECORATIVE WALL WITH COMMUNITY NAME

ALL WALLS AND FENCES PROPOSED WILL CONFORM TO FUEL  
MODIFICATION ZONE REQUIREMENTS.

EXHIBIT 2-37



**E| MASONRY/ GLASS WALL  
NOISE/FIRE WALL**

ALL WALLS AND FENCES PROPOSED WILL CONFORM TO FUEL MODIFICATION  
ZONE REQUIREMENTS.

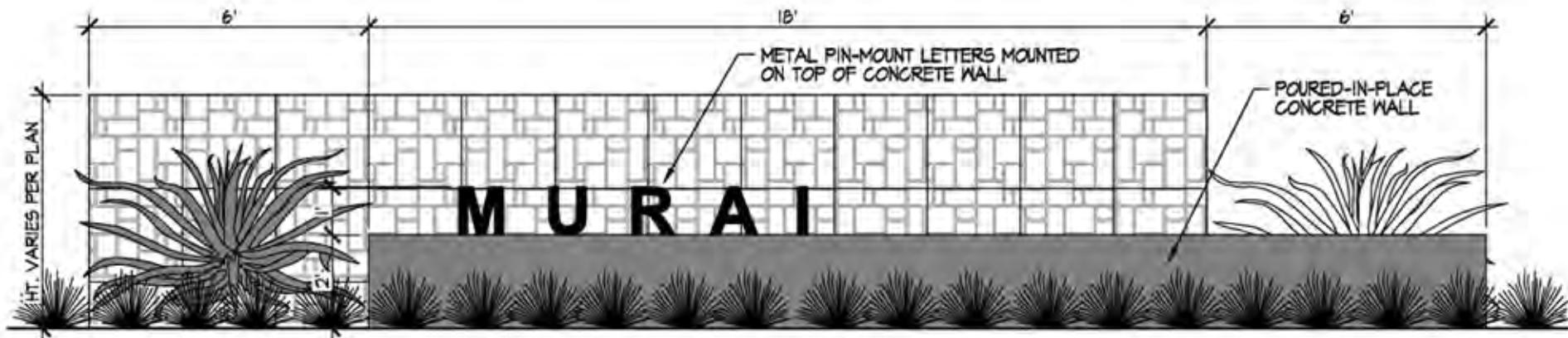


ENTRY MONUMENT EXHIBIT  
SAN MARCOS MURAL

EXHIBIT 2-38

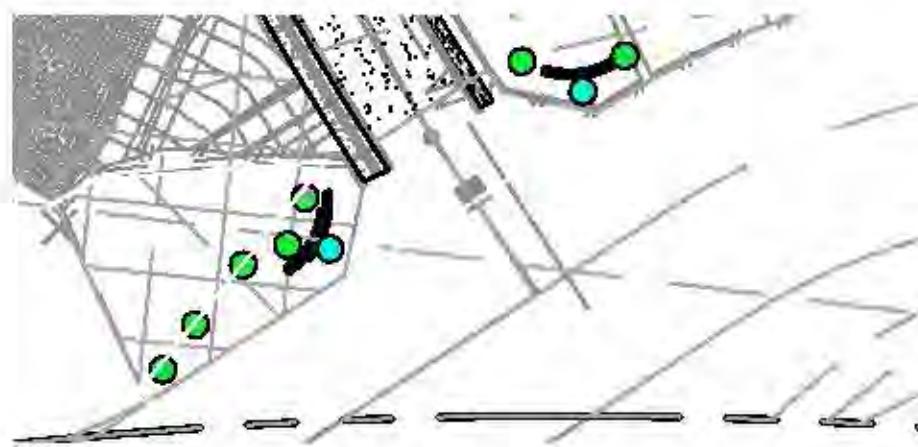


CONCEPTUAL ENTRY MONUMENT EXHIBIT 2-39  
SAN MARCOS MURAI



LIGHTING LEGEND

● ENTRY MONUMENT UP-LIGHT



CONCEPTUAL MONUMENT DIMENSIONS

EXHIBIT 2-40

SAN MARCOS MURAI

### 2.3.5 LIGHTING

Lighting within Specific Plan area shall be used to accent landscaping and provide safety and accent lighting for homes. All lighting within the Plan area shall be energy efficient, architecturally appropriate fixtures designed to minimize glare, conflict, and light pollution, while providing illumination levels that create a safe environment for both vehicles and pedestrians. To achieve these goals, all areas of the community will be aptly lit to coincide with their relevant use and activities. Street area lights will be full cut-off fixtures and will utilize house-side shields to reduce light trespass and prevent light pollution. No trail lighting is allowed in preserved areas and all lighting adjacent to preserved open space shall be shielded and focused away from preserved areas. Lighting using the highest efficiency fixtures and lamps are preferred.

Common area lighting within the Plan area will be used to enhance and complement the character of the development. Lighting will need to be varied and appropriate for each use within the common areas of the development. Up-lights and in-grade fixtures will be placed throughout the site to accent trees and specific architectural features. Conceptual lighting fixtures and locations can be seen on **Exhibit 2-41**. During the construction drawing phase, the builders will submit drawing details providing light fixtures (cut sheets) to the City of San Marcos for conformance with the lighting ordinance and standards.



**LIGHTING EXHIBIT**  
**SAN MARCOS MURALI**



## 3.0 CIRCULATION PLAN

### 3.1 OVERVIEW OF CIRCULATION PLAN

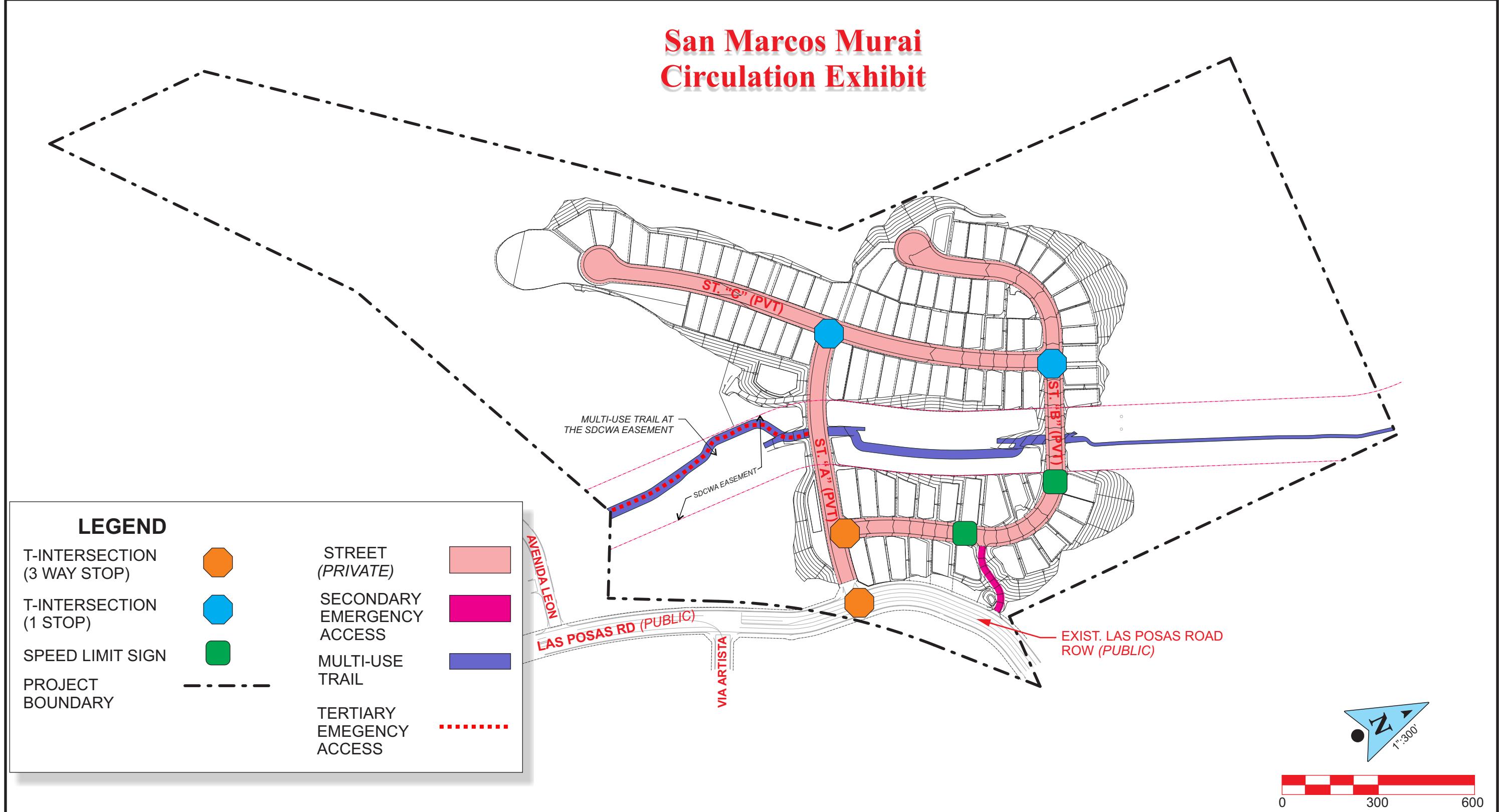
The Murai Circulation Plan is an integrated component of the Murai Specific Plan and facilitates an interconnected mobility system for bicycles, pedestrians, and vehicles. The Circulation Plan provides residents with the blueprint for safe movement including traffic calming measures within the Plan area, secondary emergency vehicle access, and connections to existing roadways within the vicinity of the Plan area, and access to regional arterial and highway networks. All roads within the Murai Specific Plan area are private streets and have been designed to the City Urban standard, i.e. a 40' curb to curb roadway within a 60' easement. The Murai Specific plan includes three internal roadways and an associated trail network as well as a connection to Las Posas Road at the entrance to the project area.

**Table 3-1** and section 3.2 describe details of roadway design. **Exhibit 3-1** displays the Circulation Plan concept.

Street Type	Easement Width (feet)	Pavement Width (feet)	Vehicle Lanes	Lane Width	Street Parking	Pedestrian or Trail Component
Private Road A	60'	40'	2	20'	Yes	5' Sidewalk both sides
Private Road B	60'	40'	2	20'	Yes	5' Sidewalk both sides
Private Road C	60'	40'	2	20'	Yes	5' Sidewalk both sides
Emergency Access Road	20'	N/A	1	10'	No	N/A
Agua Hedionda/San Diego Aqueduct Multi-Use Trail	200'	14' AC, 10' DG. One section of steep grade is 22' concrete with 10' DG	N/A	N/A	No	Varying 14' to 22' asphalt and/or concrete sections. 10' DG Trail
Public Multi-Use Trail	10'	N/A	N/A	N/A	Yes	10' DG Trail

Table 3-1 Roadway Summary

## San Marcos Murai Circulation Exhibit



Circulation Exhibit

**MURAI SPECIFIC PLAN AREA**

Exhibit 3-1

### 3.2 PROPOSED ROADWAYS

The roadways proposed within the Specific Plan area are neighborhood streets designed to accommodate the level of traffic generated by the project. Internal roadways are designed to provide the safe and quiet movement of bicycle, pedestrian, and vehicle traffic through the Plan area and to provide attractive frontages to residential lots. A typical cross section for the proposed private streets can be seen on **Exhibit 3-2**.

#### **Private Street A – Residential Roadway (Sidewalks)**

Private Street A is the primary residential roadway access to the Plan area. This road features a 60' right-of-way (ROW) and two 12' vehicle lanes and 8' wide parallel parking on each side. Pedestrian sidewalks are included on one side of Private Street A. The west side of street A will be a DG pathway. The street stretches east to west and is the main road by which Private Street B and C take access.

#### **Private Street B – Residential Roadway (Sidewalks)**

Private Street B is a residential roadway with a 60' right-of-way (ROW) and two 12' vehicle lanes and 8' wide parallel parking on each side. Pedestrian sidewalks are included on both sides of Private Street B. Private Street B provides access to residents in the northern half of the development. The Emergency Access Road connects to Private Street B north of the main entrance to the Plan area.

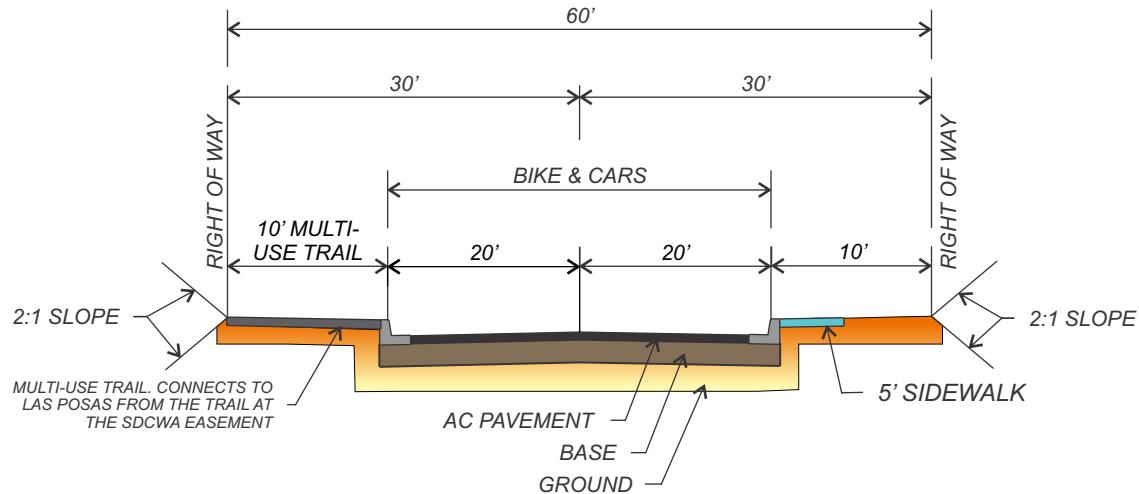
#### **Private Street C – Residential Roadway (Sidewalks)**

Private Street C is a residential roadway with a 60' right-of-way (ROW) and two 12' vehicle lanes and 8' wide parallel parking on each side. Pedestrian sidewalks are included on both sides of Private Street C. Private Street C is located at the western portion of the plan area and facilitates access to the southern portion of the development including Park C.

#### **Emergency Access Roads – Egress Roadway (Sidewalks Not Applicable)**

The secondary emergency access road is a 20' wide emergency access and egress road, with no curb and center drain. This road is to act as means for emergency ingress to the site in the event private Street A is inaccessible to emergency vehicles and equipment. The secondary emergency access road also functions as an egress road for residents should the Plan area come under duress during an emergency. The emergency access road shall not be used as primary normal vehicular access to the Plan area.

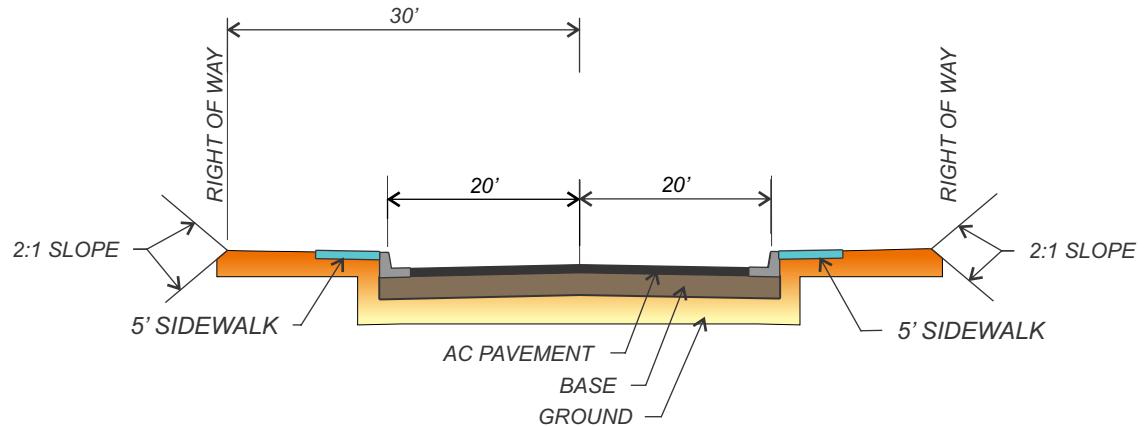
The Agua Hedionda/San Diego Aqueduct Multi-Use Trail can also be used as a tertiary emergency access road. The trail contains a combination DG and paved surface and is currently in use as an access road for the County Water Authority. Emergency vehicles may ingress through this option and residents may use the road as an egress in emergency situations.



### INTERIOR STREET SECTION

NOT TO SCALE

(SECTION FROM THE MULTI-USE  
TRAIL AT THE SDCWA EASEMENT TO  
LAS POSAS ALONG STREET "A")



### INTERIOR STREET SECTION

NOT TO SCALE

## Private Street Section

*Exhibit 3-2*

**SAN MARCOS MURAI**

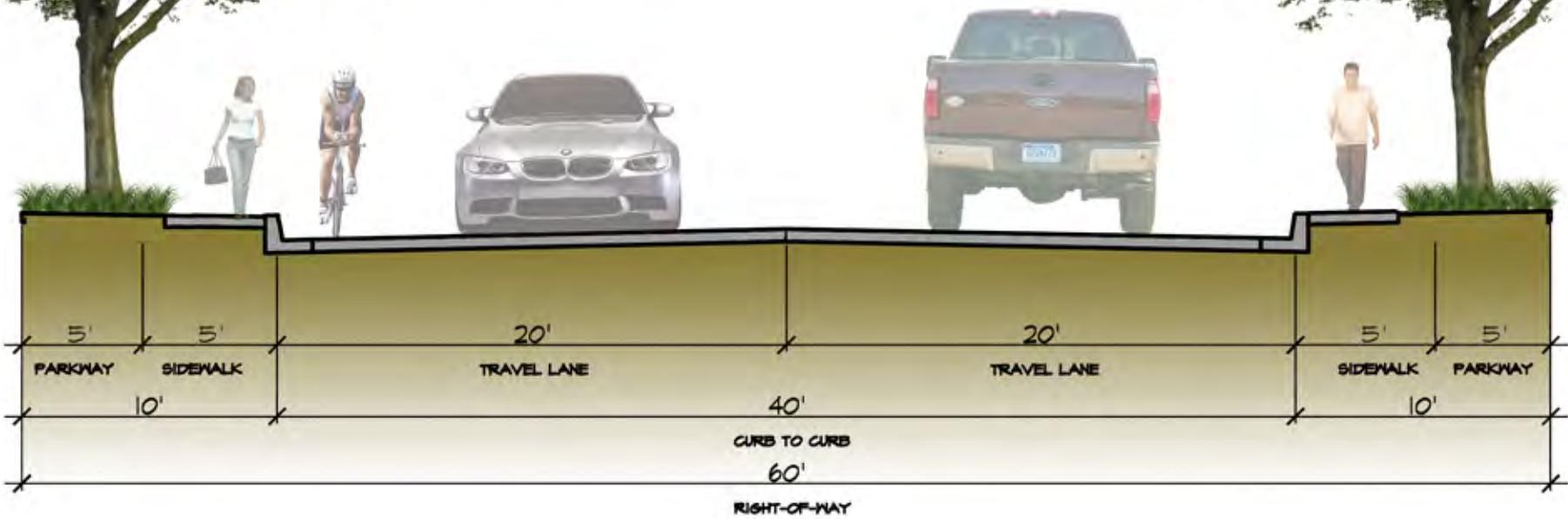
### **3.2.1 TRAFFIC CALMING MEASURES**

Neighborhood streets are typically multi-use streets shared by bicycles, pedestrians, parked vehicles, and outdoor socializing. For this reason, it is necessary to include added “calming measures” to enhance community safety within the Murai Specific Plan area.

Traffic control or “calming measures” typically include components such as stop signs, posted speed limits, crosswalks, and directional signage. Proposed traffic calming concepts may occur at all trail or pedestrian crossings within the Plan area, to further enhance vehicle awareness, if approved by the San Marcos Fire Protection District. These calming and control features are designed to help move traffic, while reducing speeds and increasing vehicle awareness of the environment, helping make the community safer for both vehicles and residents enjoying their community.

### **3.2.2 STREET LANDSCAPING**

Landscaping is proposed along the streets within the Plan area to enhance residential roadways. The addition of street landscaping provides drivers with a visually pleasing driving experience as well as buffering vehicular traffic from adjacent sidewalks and trails. Each private street within the development shall be landscaped using a combination of draught tolerant trees, shrubs, and grasses included herein **Table 2-4** of Chapter 2, Land Use and Design section. Sidewalks shall be 5' wide concrete with a 5' wide tree-lined parkway section adjacent to the sidewalk. Street landscaping can be seen in typical landscape section on **Exhibit 3-3**. The developer will be responsible for the installation of all street landscaping and maintenance of all landscaping within the roadway easement area shall be assumed by the HOA.



STREET LANDSCAPE CONCEPT  
SAN MARCOS MURAI

EXHIBIT 3-3

### 3.3 TRAIL NETWORK

Several trails are included within the Specific plan area connecting the development to the vast North County trail system and providing a linkage to open space for public enjoyment and increased healthy living opportunities (**Exhibit 3-4**).

#### *Agua Hedionda/San Diego Aqueduct Multi-Use Trail*

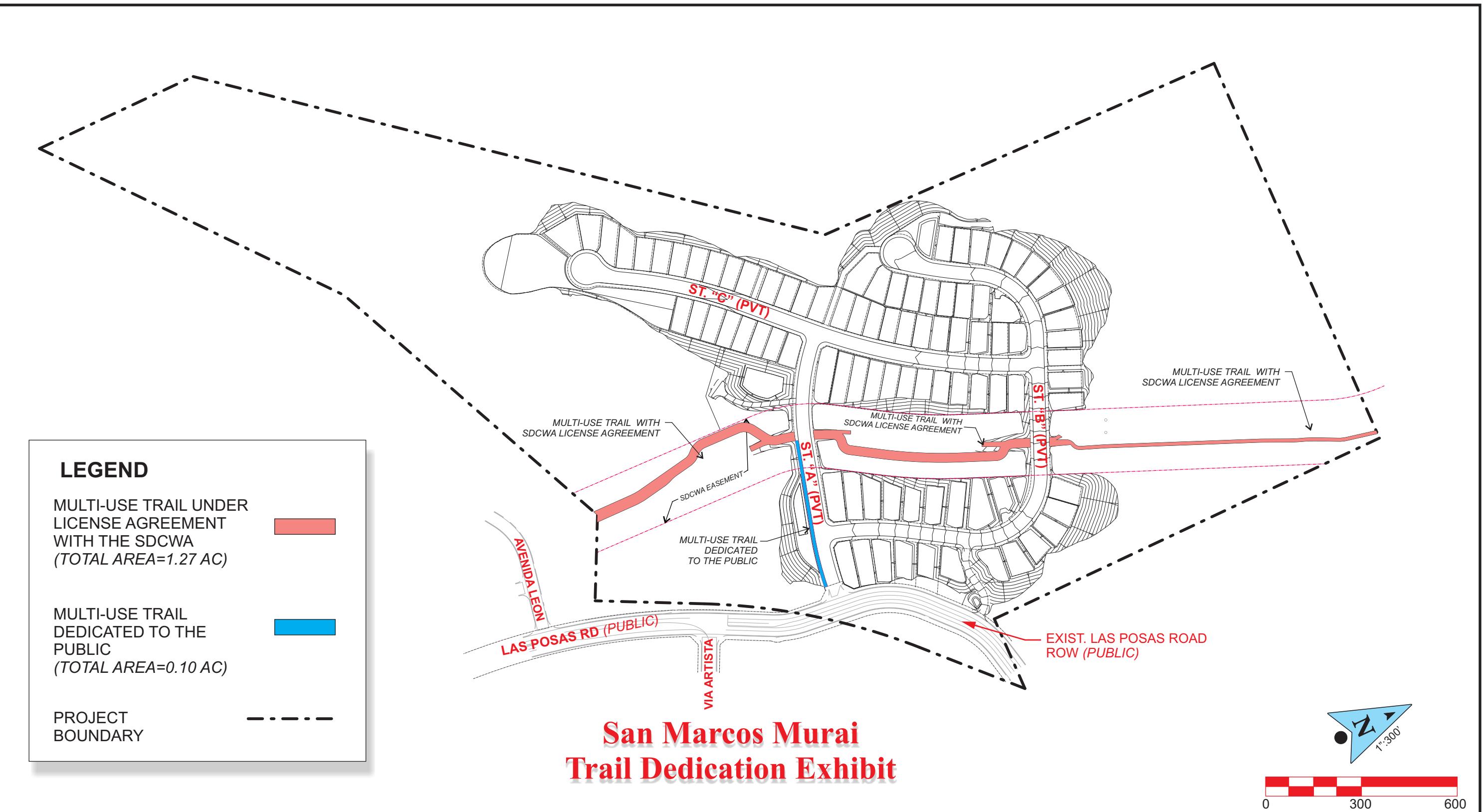
The approximately 1.53-acre Agua Hedionda/San Diego Aqueduct Multi-Use Trail is a dual-use trail connecting the Murai Plan area to the expansive San Marcos trail System and to the regional County trail system. The trail includes a public access easement over decomposed granite (DG) component for hiking, mountain biking, and horseback riding, as well as an access road for use by the County Water Authority. Split-rail fencing required by the City of San Marcos was removed from the public trail due to roadway design and access requirements by the SDCWA. Generally, the trail is a mixture of asphalt and DG; however, a steeper section of the trail taking access from Avenida Leon will be concrete.

The Plan area includes two smaller private trails which connect residents to the community parks. The small trails are located at Park B which connects the park to the Private Street C, and another loop trail circling Park C and connecting the park to the developments sidewalks. Both of the smaller trails are proposed to be 4'-6' DG walking paths. The trail connecting Park B to Street C lies outside Lot 26 and continues between Lots 45 and 46 before connecting to Private Street C. Trail cross sections can be viewed on **Exhibit 3-5**.

#### *Multi-Use Trail*

A section of trail will allow the public a connection from Las Posas Road to the Agua Hedionda/San Diego Aqueduct Multi-Use Trail via the south side of internal private Street "A." This section of the trail will be a 10' DG surface with a public access easement.

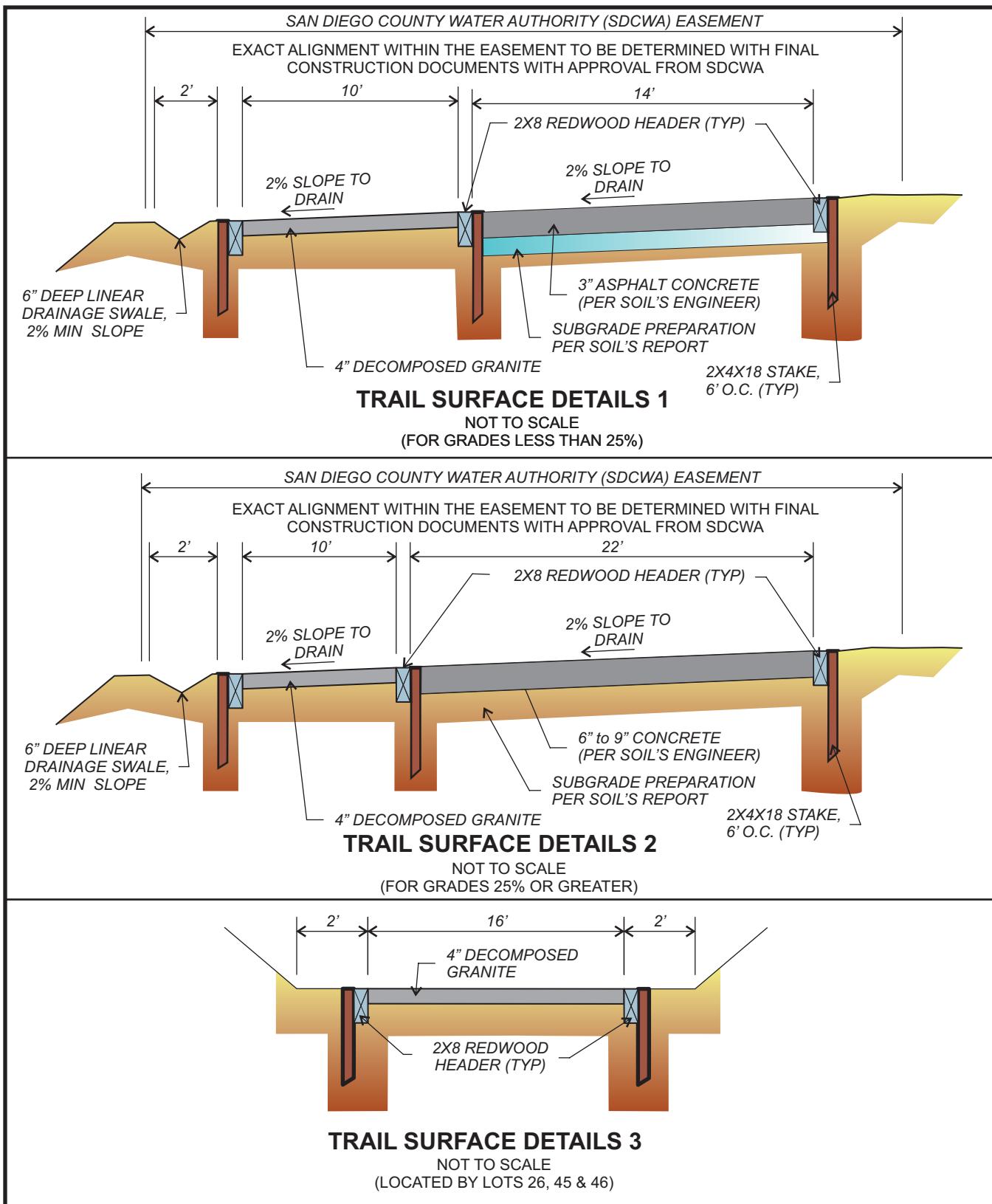
The public trail system included in the Murai Specific Plan area has incorporated the goals and policies of the City of San Marcos Trails Master Plan. Trails will be financed and constructed by the builder and present recreational opportunities for the general-public residing within San Marcos. The public trails offer pedestrians, bicyclists, and horseback riders, connections to the broad San Marcos trail system therefore the included public trails conform to the Trails Master Plan.



Trail Dedication Exhibit

**MURAI SPECIFIC PLAN AREA**

*Exhibit 3-4*



## Trail Cross Section

Exhibit 3-5

## MURAI SPECIFIC PLAN AREA

### **3.4 PUBLIC TRANSIT**

The Murai Specific Plan area is located near public transportation options. The North County Transit District (NCTD) operates public transit for the North San Diego County. These transportation options operated by NCTD include the BREEZE bus system, COASTER commuter rail services, SPRINTER light rail, LIFT paratransit, and FLEX rural service. The closest public transit stop to the Plan area is the Palomar College Sprinter station located on West Mission Drive approximately 1.5 miles from the Plan area. The Palomar College Sprinter station offers bus transfer service from the location, as well as Sprinter service.

## 4.0 PUBLIC SERVICE AND FACILITIES PLAN

### 4.1 OVERVIEW OF PUBLIC SERVICES AND FACILITIES PLAN

The Murai Public Service and Facilities Plan focuses on the services and facilities encompassed within the Specific Plan area which are required in order to provide a safe community. This section will provide details on the scope of services and facilities needed to provide a comprehensive development while minimizing impacts to existing service providers and infrastructure. Details on the financing, phasing, and maintenance of public services and facilities the developer must provide are contained in Section 6.0.

The San Diego Association of Governments (SANDAG) has compiled information related to the average number of people per household. Based on the 2010 census, the City of San Marcos General Plan Housing Element determined the average population of San Marcos equates to 3.05 persons-per-household. The 89 units proposed in the plan area would equate to an increase of approximately 271 residents to the City of San Marcos. The impacts and contributions those additional residents have on public services and facilities are explained in more detail below.

### 4.2 SCHOOLS

The Plan area is bisected by the Vista Unified School District (VUSD) and the San Marcos Unified School District. It is anticipated the Plan area will annex into and be served by the San Marcos Unified School District (SMUSD), however the VUSD has the ability to service the portion of residents who are located within their District boundary (**Exhibits 4-1, 4-2**). The district boundary encompasses the Plan area and will provide educational instruction to all school age children who will reside within the Murai Specific Plan area. Three schools have been identified as the primary institutions serving the Plan area. Joli Ann Leichtag Elementary School is located approximately 3.5 miles from Murai and will accept all children in grades one through five. San Marcos Middle School located approximately two miles from the Plan area at 650 West Mission Road will serve children in grades six through eight. San Marcos High School is approximately four miles from the Plan area at 1615 West San Marcos Boulevard and will be the primary institution for high school age children residing in the Plan area. In addition to the aforementioned schools, the High Tech North County campus located at 1420 West San Marcos Boulevard is a public charter school with elementary, middle, and high schools and will accept children from the community through a lottery selection process.

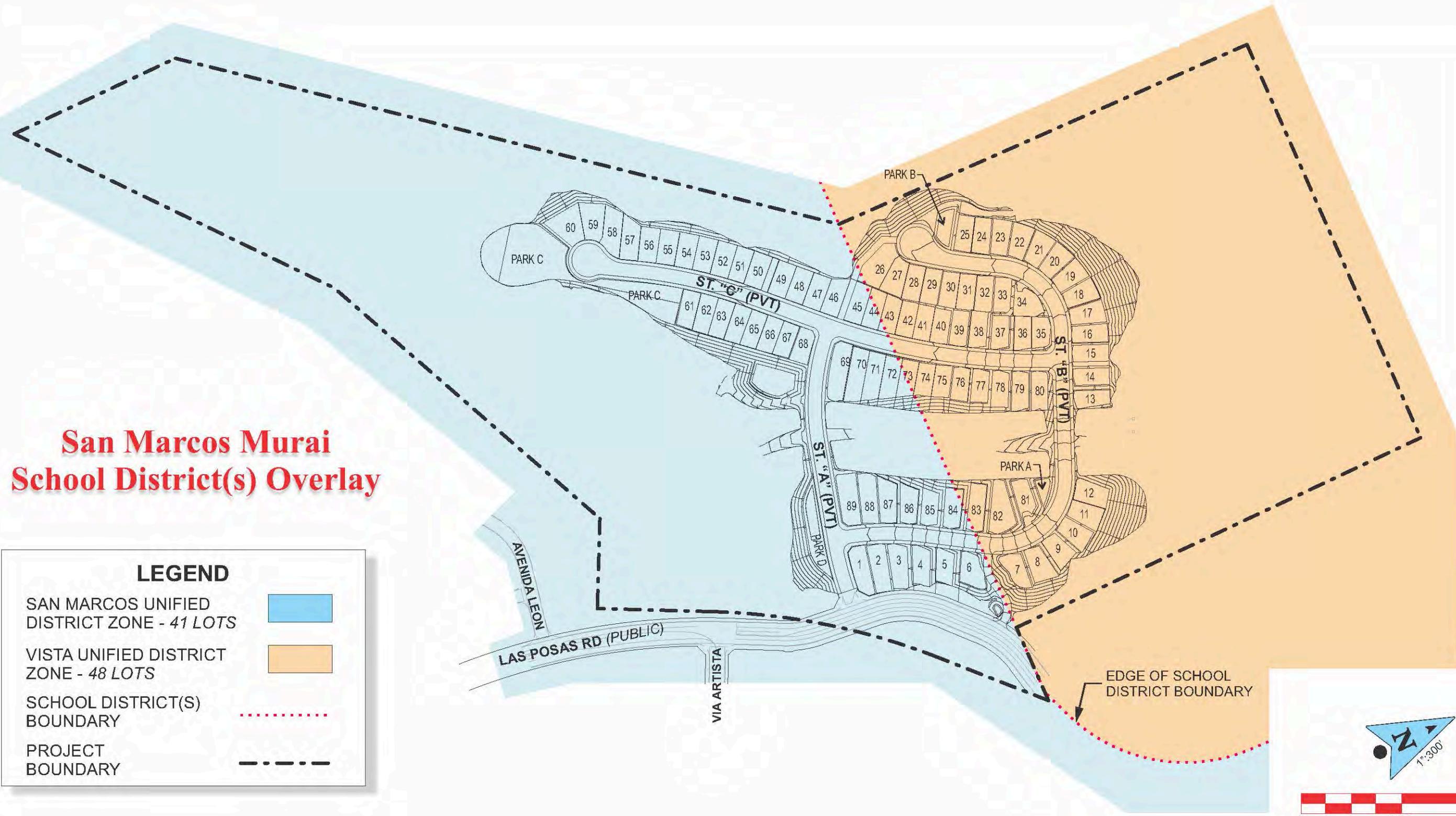
If VUSD services the Specific Plan area Hannalei Elementary School will accept all children K through 5<sup>th</sup> grade. Hannalei Elementary School is located at 120 Hannalei Dr. and is approximately 4 miles from the Muria Specific Plan area. Rancho Minerva Middle would accept children from grades 6 through 8 and is located at 2245 Foothill Dr. approximately 6 miles from the Specific Plan area. Highschool age children will attend Rancho Buena Vista High School located at 1601 Longhorn Dr. approximately 6 miles from the Specific Plan area.

The San Marcos Unified School District *School Facilities Needs Analysis report May 15, 2015* identified the student generation rates for single family detached residential units within the City of San Marcos boundary and sphere of influence. Vista student generation rates were acquired from VUSD staff. Under the split district scenario, SMUSD would contribute approximately 18 students and VUSD would contribute approximately 13 students to their respective school districts. Under the SMUSD only scenario the Murai Specific Plan area is expected to contribute approximately 26 elementary students, 7 middle school age students, and approximately 7 high school age students to the San Marcos Unified School District. Those generation rates are provided in **Table 4-1** below.

**Table 4-1 Student Generation Rates**

School Name	Generation rate	Students Generated
<b><i>Split School District Scenario</i></b>		
<b><i>San Marcos Unified School District</i></b>		
Joli Ann Leichtag Elementary School	0.2949	12
San Marcos Middle School	0.0832	3
San Marcos High School	0.0756	3
<b><i>Vista Unified School District</i></b>		
Monte Vista Elementary	0.12	6
Rancho Minerva Middle School	0.06	3
Rancho Buena Vista High School	0.08	4
<b>Total</b>	<b>-</b>	<b>31</b>
<b><i>San Marcos Unified School District Only Scenario</i></b>		
Joli Ann Leichtag Elementary School	0.2949	26
San Marcos Middle School	0.0832	7
San Marcos High School	0.0756	7
<b>Total</b>	<b>-</b>	<b>40</b>

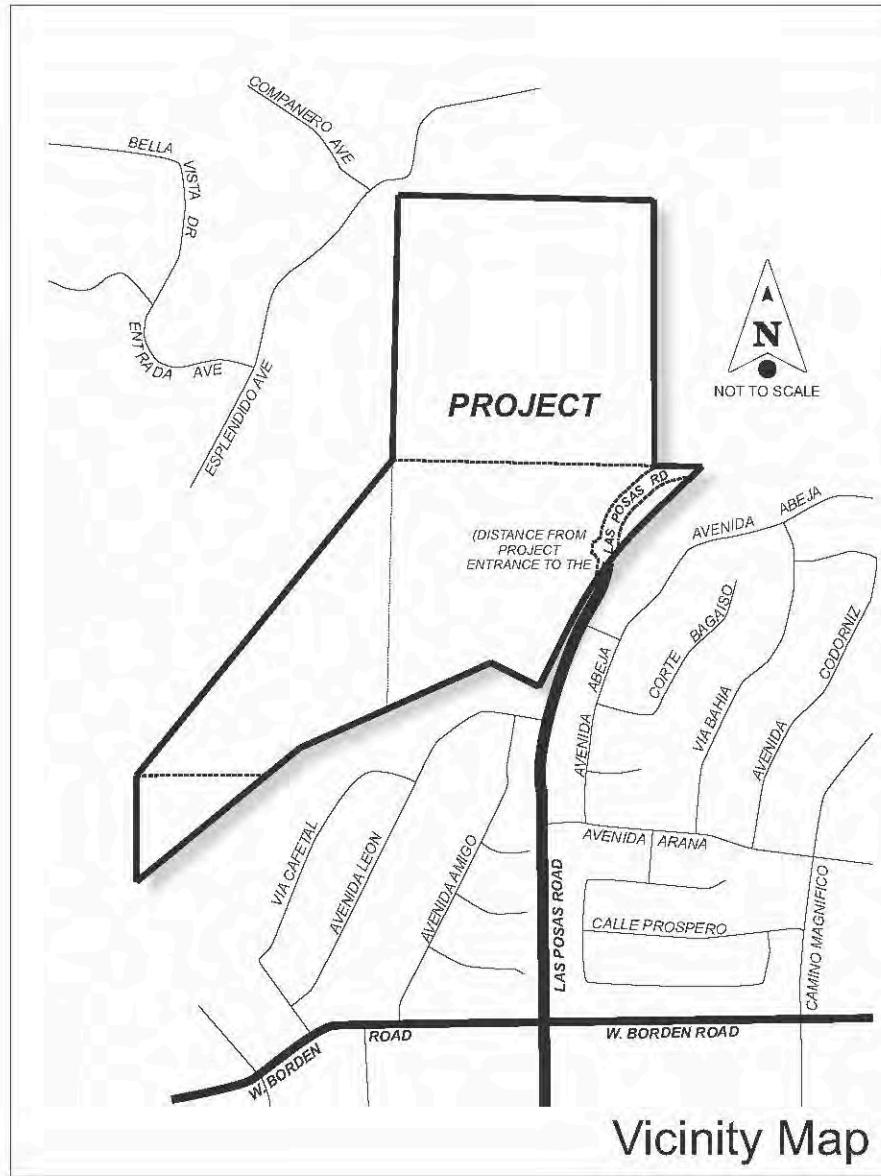
\*Student generation rates subject to change per current district policies.



**School District(s) Overlay Exhibit**

**SAN MARCOS MURAI**

*Exhibit 4-1*



## PROJECT APNs

217-050-36-00 SAN MARCOS UNIFIED SCHOOL DISTRICT  
217-050-38-00 SAN MARCOS UNIFIED SCHOOL DISTRICT  
218-011-10-00 SAN MARCOS UNIFIED SCHOOL DISTRICT  
184-241-03-00 VISTA UNIFIED SCHOOL DISTRICT

PER LOT SCHOOL DISTRICT TABLE							
LOT ID	SHOOL DISTRICT	LOT ID	SHOOL DISTRICT	LOT ID	SHOOL DISTRICT	LOT ID	SHOOL DISTRICT
1	SAN MARCOS UNIFIED	26	VISTA UNIFIED	51	SAN MARCOS UNIFIED	76	VISTA UNIFIED
2	SAN MARCOS UNIFIED	27	VISTA UNIFIED	52	SAN MARCOS UNIFIED	77	VISTA UNIFIED
3	SAN MARCOS UNIFIED	28	VISTA UNIFIED	53	SAN MARCOS UNIFIED	78	VISTA UNIFIED
4	SAN MARCOS UNIFIED	29	VISTA UNIFIED	54	SAN MARCOS UNIFIED	79	VISTA UNIFIED
5	SAN MARCOS UNIFIED	30	VISTA UNIFIED	55	SAN MARCOS UNIFIED	80	VISTA UNIFIED
6	SAN MARCOS UNIFIED	31	VISTA UNIFIED	56	SAN MARCOS UNIFIED	81	VISTA UNIFIED
7	VISTA UNIFIED	32	VISTA UNIFIED	57	SAN MARCOS UNIFIED	82	VISTA UNIFIED
8	VISTA UNIFIED	33	VISTA UNIFIED	58	SAN MARCOS UNIFIED	83	VISTA UNIFIED
9	VISTA UNIFIED	34	VISTA UNIFIED	59	SAN MARCOS UNIFIED	84	SAN MARCOS UNIFIED
10	VISTA UNIFIED	35	VISTA UNIFIED	60	SAN MARCOS UNIFIED	85	SAN MARCOS UNIFIED
11	VISTA UNIFIED	36	VISTA UNIFIED	61	SAN MARCOS UNIFIED	86	SAN MARCOS UNIFIED
12	VISTA UNIFIED	37	VISTA UNIFIED	62	SAN MARCOS UNIFIED	87	SAN MARCOS UNIFIED
13	VISTA UNIFIED	38	VISTA UNIFIED	63	SAN MARCOS UNIFIED	88	SAN MARCOS UNIFIED
14	VISTA UNIFIED	39	VISTA UNIFIED	64	SAN MARCOS UNIFIED	89	SAN MARCOS UNIFIED
15	VISTA UNIFIED	40	VISTA UNIFIED	65	SAN MARCOS UNIFIED		
16	VISTA UNIFIED	41	VISTA UNIFIED	66	SAN MARCOS UNIFIED		
17	VISTA UNIFIED	42	VISTA UNIFIED	67	SAN MARCOS UNIFIED		
18	VISTA UNIFIED	43	VISTA UNIFIED	68	SAN MARCOS UNIFIED		
19	VISTA UNIFIED	44	SAN MARCOS UNIFIED	69	SAN MARCOS UNIFIED		
20	VISTA UNIFIED	45	SAN MARCOS UNIFIED	70	SAN MARCOS UNIFIED		
21	VISTA UNIFIED	46	SAN MARCOS UNIFIED	71	SAN MARCOS UNIFIED		
22	VISTA UNIFIED	47	SAN MARCOS UNIFIED	72	SAN MARCOS UNIFIED		
23	VISTA UNIFIED	48	SAN MARCOS UNIFIED	73	VISTA UNIFIED		
24	VISTA UNIFIED	49	SAN MARCOS UNIFIED	74	VISTA UNIFIED		
25	VISTA UNIFIED	50	SAN MARCOS UNIFIED	75	VISTA UNIFIED		

## Per Lot School District(s) Table

## Exhibit 4-2

## SAN MARCOS MURAI

## 4.3 COMMUNITY FACILITIES

### 4.3.1 PARKS, RECREATION, AND OPEN SPACE

The Murai Specific Plan area incorporates private park and recreation space, and open space as a component of the land use concept. A multi-use trail with a public easement overlay has been designed to accommodate pedestrians, bicyclists, and horseback riding uses to connect to existing and proposed regional trails. In addition, the Plan area includes 40.51 acres of biological conservation area. The public open space components of the Plan area will be financed by the developer. The developer will contribute Public Facility Fees to the City of San Marcos for the maintenance and upkeep of the public multi-use trail. Biological open space shall be preserved onsite in perpetuity with the HOA or qualified entity maintaining open space as a biological conservation area thereafter. Easements for the public multi-use trail shall be recorded prior to Final Map.

***Agua Hedionda/San Diego Aqueduct Multi-Use Trail*** –The Agua Hedionda/San Diego Aqueduct Multi-Use Trail is the only public open space located within the Murai Plan area. A public access easement allows the community to share the trail with the San Diego County Water Authority, who uses the trail for maintenance of its water infrastructure. The Agua Hedionda/San Diego Aqueduct Multi-Use Trail connects the Murai Plan area to the San Marcos trail system and to the much larger regional County trail system. The trail includes a 10' DG surface for use by pedestrians, bicyclists, and horseback riders, as well as a paved surface for access by County Water Authority vehicles.

***Biological Conservation Area*** – The Murai Plan area will preserve approximately 40.51 acres of coastal sage, wetlands, and riparian habitat, thus establishing a long-term, conserved open space area for the public to enjoy.

***Other Recreational Opportunities*** – Existing parks and recreational facilities owned and maintained by the City of San Marcos in the vicinity of the Murai Specific Plan area include the Cerro De Las Posas Park and Aquatic Center. The Cerro De Las Posas Park and Aquatic Center is located just a short walk from the Plan area and includes open space as well as a pool open to the public and a spray ground and shaded deck areas. The 14-acre Mission Sports Complex is located approximately 1 mile from the Plan area and includes eight youth baseball fields, four artificial turf infields, batting cages, picnic shelters, as well as a tot lot and concession stand.

### 4.3.2 LIBRARY SERVICES

The Murai Plan area is served by the San Diego County Library System. The San Marcos branch is located at 2 Civic Center Drive and is approximately three miles from the Plan area. The San Marcos branch offers a variety of services to the public including book and music rentals, computer access, as well as literary programs and other programs beneficial to the community. Additional library resources are provided to the public through the two colleges located in San Marcos. Palomar Community College located at 1140 West Mission Road is a short distance from the Plan area and provides free access to materials with valid picture identification and proof of current mailing address. California State

University San Marcos (CSUSM) is approximately four miles from Murai. Purchase of an annual Community Borrower Card for \$30.00 allows the public access to privileges at CSUSM.

#### **4.4 FIRE PROTECTION**

The Murai Specific Plan is located within the San Marcos Fire Protection District boundary. The San Marcos Fire Department (SMFD) will provide fire protection for urban and wildland fires and emergency services to the entire Plan area. SMFD services San Marcos with four stations, the closest of which is Fire Station One located at 180 West Mission Road approximately three miles from the plan area. Fire Station One houses one paramedic engine company, one paramedic truck company, one paramedic rescue, and one paramedic ambulance. Back up fire service to the Murai Specific Plan area will be provided by the Fire Station Two located at 1250 South Rancho Santa Fe Road. Murai's proximity to open space areas with slopes, fuel, and fire hazards require wildland fire protection provided by SMFD. Residents of the Murai Specific Plan area, in accordance with the Community Wildfire Protection Plan (CWPP) and Hazard Risk Assessment (HRA) doctrines adopted by the SMFD, shall be required to comply with the rules and regulations established within the CWPP and HRA. A homeowners association, or a method identified in the Covenants, Conditions, and Restrictions (CC&R's) shall fully fund the identification, clearing, and maintenance of defensible space up to 150 feet around all structures. The measures incorporated in the above text contribute to Murai's comprehensive approach to fire safety.

#### **4.5 POLICE PROTECTION**

Police protection for the Murai Specific Plan shall be provided by the County of San Diego Sheriff's Department. The County Sheriff provides contract law enforcement services to the City of San Marcos through the station located at 182 Santar Place located within City limits. The station's location is approximately four miles from the Plan area and provides services to San Marcos and the surrounding unincorporated areas.

Community law enforcement services are provided year-round, 24-hours a day. The Sheriff's Department offers a variety of services to help keep the community safe. Deputies are responsible for general patrol services including traffic enforcement, suppression of drug activities, and response to theft and gang-related crimes. The San Marcos station has the only ASTREA (Sheriff's Aviation) landing pad in the County providing assistance to ground units and extending the range deputies can patrol. Additional services to the community include detective units responsible for crime investigations, the Community Oriented Policing and Problem Solving (COPPS) program assigned to investigate community quality of life issues, crime prevention units, crime analysis, and senior volunteers, as well as various administrative services. Child Protective Services, Adult Protective Services, and Juvenile Probation all operate out of the San Marcos Station. Together, these services offer the Murai Plan area comprehensive law enforcement to help maintain community safety.

#### **4.6 SOLID WASTE DISPOSAL**

Solid waste collection and recycling services to the Plan area shall be provided by EDCO Waste & Recycling. Non-recyclable waste, including general trash and green materials, is collected and

transported to the Sycamore Sanitary Landfill in Santee. Recyclable materials are transferred to the Escondido Resources Recovery Transfer Station for further processing. Household hazardous waste can be disposed free of charge for residents of San Marcos at the Vista HHW Collection Facility at 1145 E. Taylor Street or the Poway HHW Collection Facility at 12325 Crosthwaite Circle.



## 5.0 GRADING and UTILITIES PLAN

### 5.1 OVERVIEW OF GRADING and UTILITIES PLAN

This section of the Murai Specific Plan provides a detailed description of the grading and utility infrastructure needed to serve the Plan area. The Specific Plan is required to demonstrate the utilities, as designed, are capable of serving each specific land use upon full buildout of the Plan area, as well as to clarify the intensity of utility services provided. A detailed description of the design, capacity, and intensity of the following storm drainage infrastructure and utilities are provided below: Water, wastewater, stormwater drainage and detention, electricity, and natural gas. **Table 5-1** identifies the utility providers for the Specific Plan area.

Utility	Provider
Water	Vallecitos Water District
Sewer	Vallecitos Water District
Storm Drainage	Murai Homeowners Association/Project Owner
Natural Gas	San Diego Gas & Electric
Electricity	San Diego Gas & Electric

Table 5-1 Utility Providers

### 5.2 WATER SUPPLY

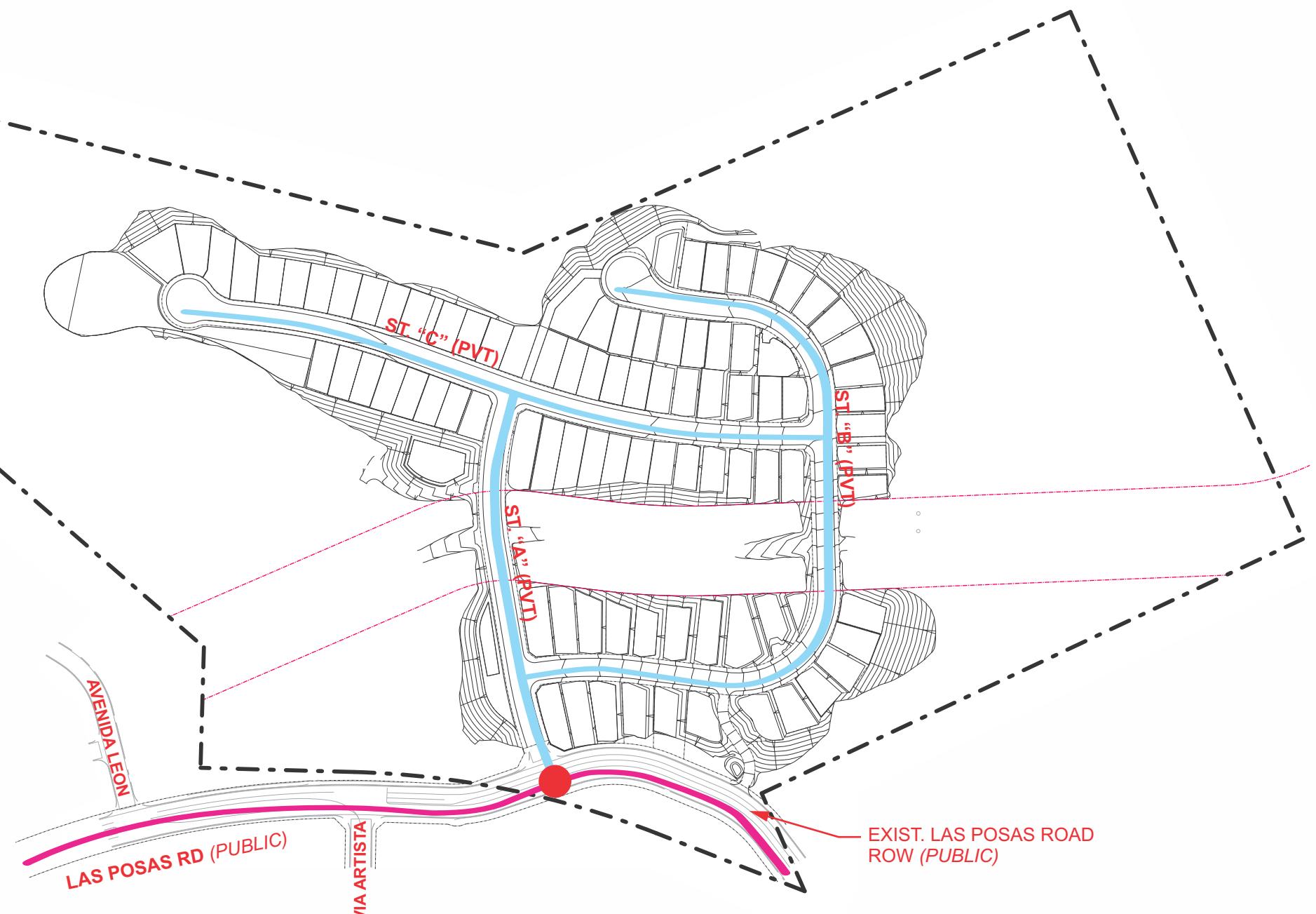
Provision of water is a critical component of any successful development; therefore, any development proceeding within the Murai Plan area must be carefully designed to provide adequate supply to residential home owners, as well as meeting the needs of open space use. Water supply to the Murai Specific Plan area shall be provided by the Vallecitos Water District (VWD). The Water District will provide potable water service for fire protection and residential use for all of the land uses included within the Plan area. The Plan area proposes water service to a maximum of 89 single-family residential units and recreational open space and landscaping will require water supply. Biological conservation areas requiring re-planting shall have access to water until the plant communities are established.

The entirety of Murai's 91.66-acres lies within VWD's 920 Richland Pressure Zone. An existing 12" diameter iron water main pipe located in Las Posas Road will provide a water service connection to the Murai Specific Plan area development. The Plan area will replace the existing 8" stub with a 10" stub and then convey water through 10" PVC pipes located along each private street, which will then connect to each lot in the development. A detailed layout of the Murai Specific Plan water service infrastructure can be seen on **Exhibit 5-1**.

## San Marcos Murai Water Utility Exhibit

### LEGEND

PROJECT BOUNDARY	- - - - -
EXISTING WATER MAIN (12" DIP)	—
PROPOSED WATER MAIN (10" PVC)	—
PROPOSED CONNECTION TO EXISTING WATER MAIN	●



Water Utility Exhibit  
**SAN MARCOS MURAI**

Exhibit 5-1

### 5.3 WASTEWATER

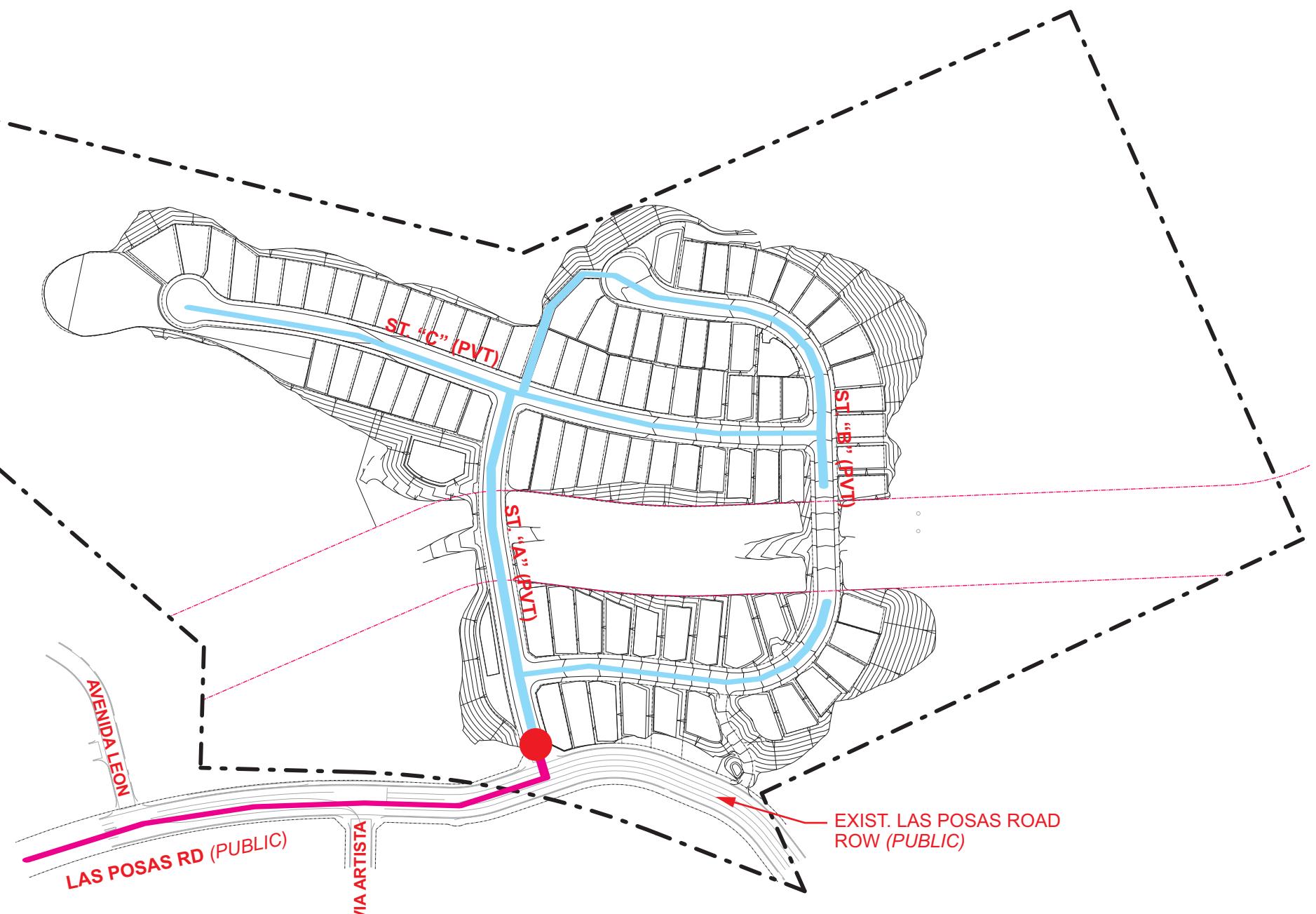
Like water service, sewer service is a critical component to the Specific Plan area and must be carefully designed to meet the needs of residents and provide a sanitary quality of life. Wastewater service to the Murai Specific Plan area is within the Vallecitos Water District boundary. The project site is located within the VWD water service area; however, only 4.02 acres of the project site are within the VWD sewer service area. The remaining acreage must be annexed into this boundary per approvals of the VWD board. Due to existing VWD sewer infrastructure in the project vicinity, the Specific Plan Area will be better served through and annexation into VWD sewer. After annexation sewer-service shall be provided wholly by VWD. No Local Agency Formation Commission (LAFCO) action is required for annexation to VWD. Sewer lines will be efficiently designed and strategically placed to provide maximum efficiency while meeting the requirements of the local wastewater service agency.

The Murai Specific Plan area projects to increase average wastewater flow to VWD facilities by approximately 7,662 gallons per day. The increase in wastewater flow will require improvements to the Murai Specific Plan area. An existing 15" PVC sewer main line located underneath Las Posas Road will connect the Murai Specific Plan area to sewer service. The 15" diameter sewer main pipe is proposed to connect to 8" diameter PVC pipes that run under each street with the exception of a small section that does not cross the Agua Hedionda/San Diego Aqueduct Multi-Use Trail. The internal pipes will connect to each lot within the Plan area meeting the sewage disposal needs of the Plan area. A diagram of the proposed sewer infrastructure can be seen on **Exhibit 5-2**.

## San Marcos Murai Sewer Utility Exhibit

### LEGEND

PROJECT BOUNDARY	- - - - -
EXISTING SEWER MAIN (15" PVC)	—
PROPOSED SEWER MAIN (8" PVC)	—
PROPOSED CONNECTION TO EXISTING SEWER MAIN	●



Sewer Utility Exhibit

Exhibit 5-2

**MURAI SPECIFIC PLAN AREA**

## 5.4 STORMWATER MANAGEMENT

Stormwater runoff from the site has been designed to be directed into several water quality basins strategically placed within the developable area within the Murai Specific Plan. Water quality reports prepared for the Plan area identified three major water quality drainage basins, one of which is proposed to be a detention basin. Combined, the large water quality basin and the smaller basins adequately perform for treatment, hydro modification, mitigation and peak detention of stormwater for the developed portions of the site.

Maintenance of the proposed water quality basins will be the responsibility of the Murai Homeowners Association (HOA). Until the formation of the HOA maintenance of the water quality basins is complete, the project developer or similar entity shall be responsible for the maintenance. A maintenance agreement shall be recorded with the City of San Marcos, clarifying maintenance roles and responsibilities. Water quality basins require regular landscape maintenance with semiannual inspections.

## 5.5 GRADING

Grading of the development area is necessary to level the site's hills, and surfaces in preparation for the construction of residential units and non-biological open space. Earthwork for the developable area is inclusive of building pads for 89 residential units, four private parks, water quality lots, roads, and common area landscaping. Grading activities will consist of cut and fill, over-excavation, re-compaction, and trenching. Earthwork associated with the developable area of the Murai Specific Plan will cut approximately 253,930 cubic yards of material. Fill material needed for the site is calculated to be approximately 271,080 cubic yards of material. It is anticipated grading of the site will balance. To complete balanced grading of the developable area within the Murai Specific Plan area approximately 17,150 cubic yards of material will be generated from water quality basins and utility trenches. If needed imported material will conform to the geotechnical and engineering consultants' requirements, as well as any and all local, regional, state or federal rules and regulations guiding import material.

## 5.6 GRADING VARIANCES

The Murai project has been strategically designed to create the smallest development footprint as possible for the creation of 89 single family home sites within the project limits. The project is requesting grading variances to maintain a smaller development footprint.

The soils conditions on site are conducive to the proposed grading for the project. The project soils engineer Advanced Geotechnical Solutions, inc. (AGS) has provided a letter stating the project slopes designed without benches in excess of 20 feet will be grossly stable.

The design of slopes as proposed, which are in excess of 20 feet in height, allows the project to minimize its footprint and therefore preserves more open space. This is due to the fact that additional slope area, if spread throughout the project, would push the proposed development footprint to the exterior and therefore would reduce the amount of open space preserved. This approach also helps reduce the

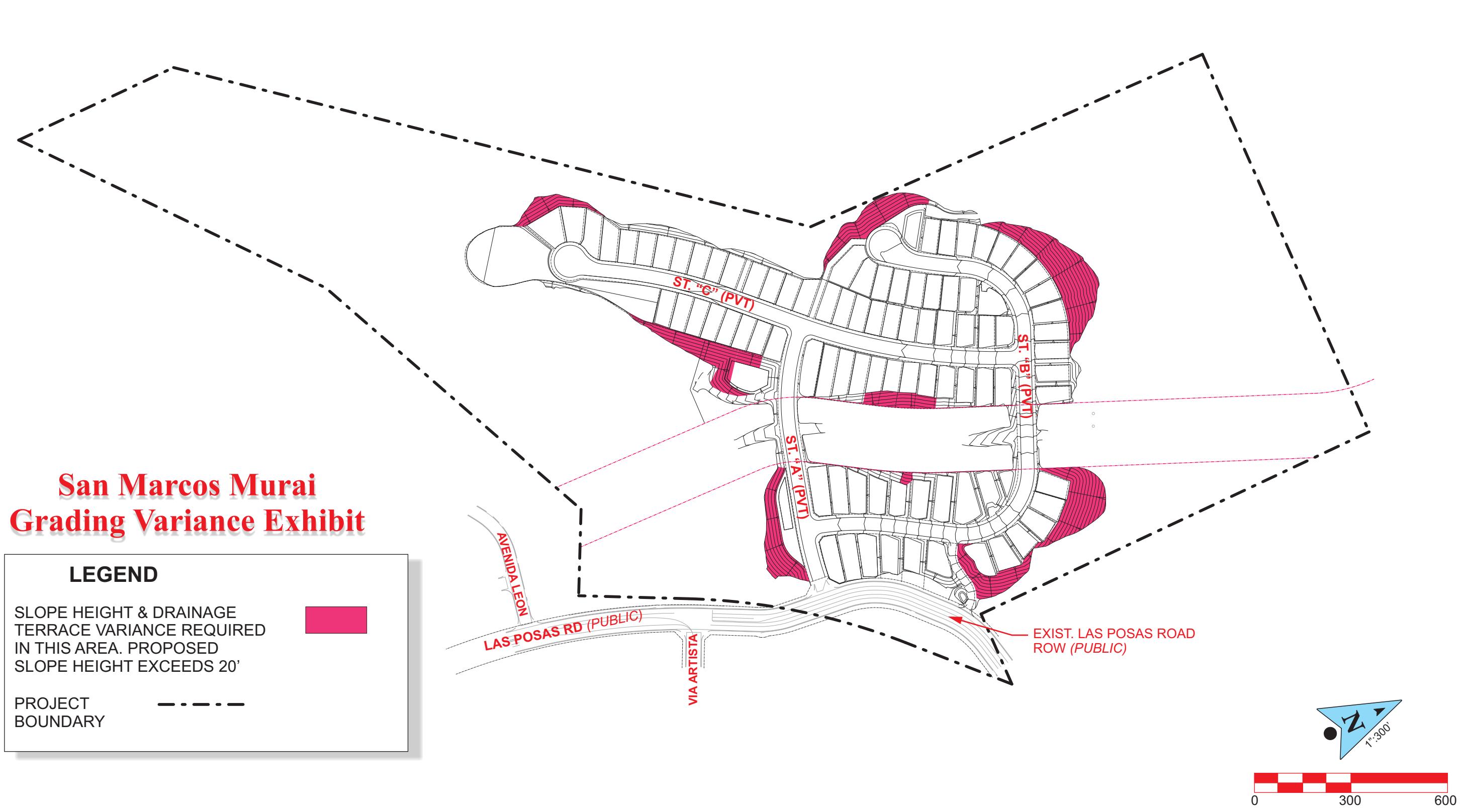
amount of overall project grading. With reduced grading quantities, the temporary impacts related to grading will be kept at a minimum.

By grading the slopes without benches the overall height of slopes will be reduced. If a bench was required every 20 vertical feet and a typical bench of 6 feet was added every 20 feet, the slopes would be much higher than the proposed design, creating greater visual impact by the project given the natural slope of the property. Following the 20-foot height and bench would also increase grading quantities which creates additional temporary impacts.

Slopes in the vicinity of the project area and adjacent to Las Posas Road, have slope heights in excess of 20 feet; therefore, the Murai project will be visually consistent with the surrounding projects.

The Murai project perimeter, which ties into some of the slopes, will blend with the current grading and provides for a consistent transition into those improvements.

**Exhibit 5-3** has been prepared to locate all proposed slopes included within the variance.



Grading Variance Exhibit

**MURAI SPECIFIC PLAN AREA**

*Exhibit 5-3*

## 5.7 DRY UTILITIES

### 5.7.1 GAS

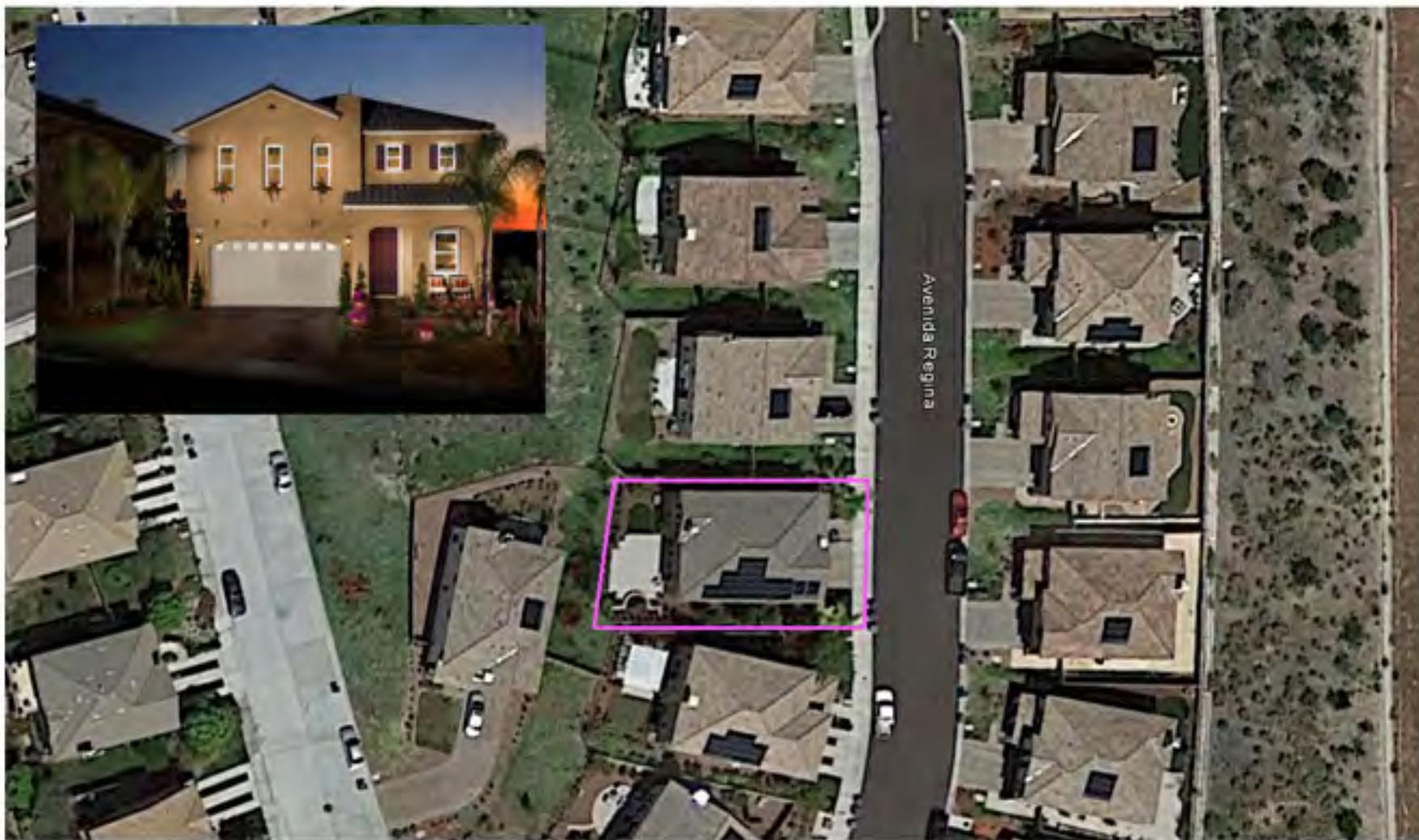
SDG&E maintains a gas distribution system within Las Posas Road. The gas lines will be extended to the developable area within the Murai Specific Plan area through the same joint trench alignment as electric, cable, and telephone facilities.

### 5.7.2 ELECTRICITY

Electrical service distribution systems within the Murai Specific Plan area shall be provided by San Diego Gas & Electric (SDG&E).

Developers of the Murai Specific Plan area will be required to hire a contractor to provide all trenching, backfill, substructures, conduits, and transformer pads necessary for electrical utility installation work. Should SDG&E find installation of extra facilities are required for system reliability, it shall be the responsibility of the developer to perform the related work aforementioned in this section. SDG&E shall be responsible for the installation of necessary cables, connectors, and pad mounted equipment as required.

As the Murai project is designed it will provide alternative electricity production systems which offset CO<sub>2</sub>e generation. The project may include photovoltaic solar systems or programs to generate electrical power. The photovoltaic systems may be visually similar to those pictured on **Exhibit 5-4** on page 5-9 of Chapter 5. At project implementation, all photovoltaic systems must be approved by the City Planning and Building Departments, and the City Fire Marshall.



Conceptual Onsite Photovoltaic System

*Exhibit 5-4*

**SAN MARCOS MURAI**



## 6.0 PUBLIC FACILITY AND FINANCING PLAN

### 6.1 OVERVIEW

The Public Facility and Financing Plan section of the Murai Specific Plan provides the framework for the financing of public improvements and the phasing of development of the Specific Plan area. This section includes the proposed mechanisms for financing the construction costs of public facilities and the long-term operation and maintenance of those improvements.

### 6.2 FINANCING OF PUBLIC IMPROVEMENTS

The development of the Murai Specific Plan area is contingent upon the availability of public facilities improvements and services. The following summaries describe the facilities and services needed and a description of the financing options for the comprehensive implementation of the Specific Plan.

#### 6.2.1 CIRCULATION IMPROVEMENTS

The Murai Specific Plan area includes a comprehensive circulation plan that includes both private and public road improvements. Development within the Specific Plan area is contingent upon the financing and maintenance of both private internal streets and external public road improvements, public trail improvements, and any mitigation measures for traffic impacts identified in the traffic study produced for the EIR. Internal private streets shall be financed and maintained by the HOA.

Improvements to public roads identified above shall be financed and constructed by the developer and/or through contributions by the developer to the City of San Marcos Community Facility District (CFD) program.

#### 6.2.2 FIRE, PARAMEDICS, AND LAW ENFORCEMENT SERVICES AND FACILITIES

**Fire and Paramedic Services and Facilities** – The Murai Specific Plan area is within the San Marcos Fire Protection District. Service to the Specific Plan area shall be provided by the San Marcos Fire Department (SMFD). The developer will pay its fair share contribution to the City of San Marcos' CFD for fire service to the Specific Plan area. Future homeowners will be assessed annual fees for this district with increases as determined by the City.

**Law Enforcement Services and Facilities** – The County of San Diego Sheriff's Department, under contract with the City of San Marcos, will provide police protection services to the Murai Specific Plan area. The Murai Specific Plan developer shall pay its fair share contribution to the City of San Marcos' CFD for law enforcement service. Future homeowners will be assessed annual fees for this district with increases as determined by the City.

### 6.2.3 SCHOOLS

The Murai Specific Plan Area is located within the Vista Unified School District (VUSD) and the San Marcos Unified School District (SMUSD). It is anticipated the project will require an annexation of the units located from VUSD to SMUSD in order to provide cohesive school district coverage. Upon annexation school services to the Specific Plan area shall be provided by the San Marcos Unified School District. Impacts to SMUSD or VUSD schools will be mitigated by a per square foot fee paid by the developer to the school district/s and based on total residential dwelling unit square footage.

### 6.2.4 RECREATION FACILITIES, PARKS, AND OPEN SPACE

The public multi-use trail shall be constructed by the developer and will be maintained by the City of San Marcos Community Services, Parks and Recreation Department. The developer will contribute payment into the CFD for the maintenance. The road surface component shall be maintained by the County Water Authority.

All categories of open space located within the Murai Specific Plan area, including common-area open space, parks, water quality features, and biological conservation areas, will be financed and constructed by the developer. Maintenance responsibilities of recreational facilities, parks, and open space are described in section 6.4.

### 6.2.5 FINANCING OPTIONS

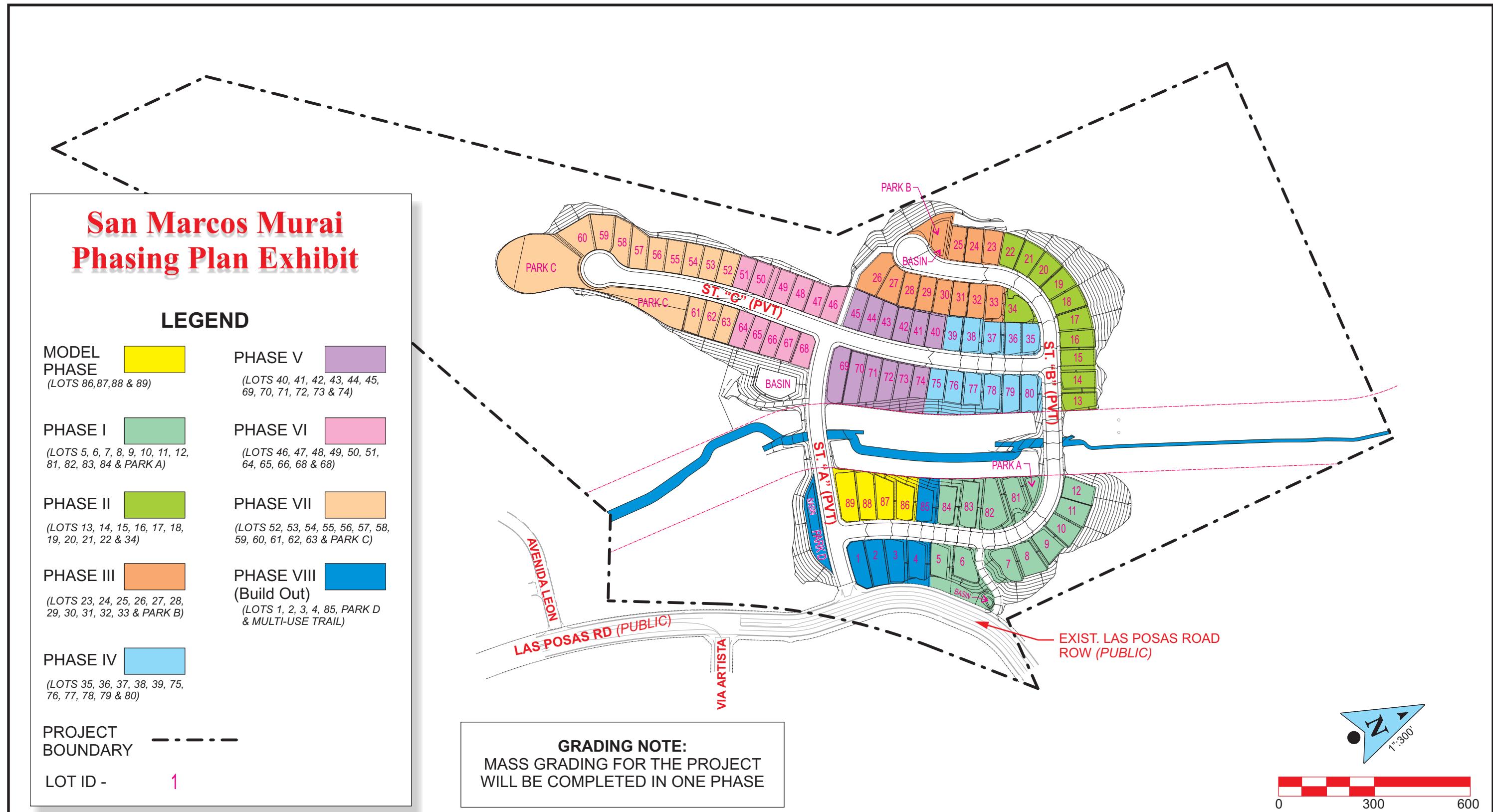
Developers of the Murai Specific Plan area must carefully package a variety of finance mechanisms to acquire, construct, and maintain public facilities in a manner conducive to successful implementation of the Plan. Developers of the Plan area will finance public improvements through the use of private financing and contributions toward the City of San Marcos' Public Facilities Fees (PFF's) and payment of a parks in-lieu fee to the City of San Marcos.

## 6.3 PHASING

The Murai Specific Plan area will be developed in a single phase, with construction occurring within the Plan area in multiple phases. Construction of improvements, residential homes, and common open space will occur in eight phases (**Exhibit 6-1**). Each of the 8 phases of construction will occur sequentially with some overlap construction between each individual phase. Additionally, Lots 86, 87, and 88 will be constructed first and act as model Lots with lot 89 serving as parking. Lots 1 through 4, and 85 will be constructed last upon buildout. Lots included within each phase are detailed in **Table 6-1** below. Mass grading of the site will be completed in one phase.

Phase	Lots
Model Phase	Lots 86-89
Phase I	Lots 5-12, 81-84, Park A
Phase II	Lots 13-22, 34
Phase III	Lots 23-25, 26-33, Park B
Phase IV	Lots 35-39, 75-80
Phase V	Lots 40-45, 69-74
Phase VI	Lots 46-51, 64-68
Phase VII	Lots 52-60, 61-63, Park C
Build Out	Lots 1-4, 85, Park D & Public Multi-Use Trail

Table 6-1 Proposed Construction Phasing



Phasing Plan Exhibit

**MURAI SPECIFIC PLAN AREA**

Exhibit 6-1

## 6.4 OPERATION AND MAINTENANCE OF PUBLIC IMPROVEMENTS AND PRIVATE FACILITIES

Maintenance responsibilities for all facilities and improvements within the Murai Specific Plan shall be as follows:

- Private park maintenance in Murai shall be the responsibility of the Murai HOA.
- Maintenance of public multi-use trails within the plan area shall be responsibility of the City of San Marcos, with a developer contribution to the City's Community Facility District (CFD) fee.
- Slopes located within the right-of-way along Las Posas Road shall be the responsibility of the City of San Marcos and, with a developer contribution to the City's CFD.
- Maintenance of landscaping for any brush management areas within the usable areas of individual lots shall be the responsibility of the homeowner.
- Maintenance of brush management and landscaped slope areas within the landscape easements (outside homeowners' fences) shall be the responsibility of the HOA.
- Private streets, landscaped parkways, entry monuments and gates, and common-area slopes shall be maintained by the HOA.
- All storm drain systems and sewer and water systems will be maintained by the HOA.
- Conserved open space shall be placed in a conservation easement and owned and maintained by the HOA.



## 7.0 IMPLEMENTATION

### 7.1 OVERVIEW

This section provides a detailed description of the mechanisms needed for implementation of the Specific Plan and should be the primary document consulted when questions arise concerning future development or development changes within the Plan area boundary. The City of San Marcos is the lead agency responsible for the administration of the Murai Specific Plan and as such is responsible for ensuring the rules and procedures described herein are implemented in a consistent manner with all City rules, regulations and policies. California Government Code 65451 (a) (4) and 65452 give the City discretion to address subjects in the Specific Plan the City deems necessary for proper implementation of the General Plan.

### 7.2 PROJECT REVIEW PROCEDURES AND FUTURE ENTITLEMENTS

This section outlines the procedures necessary to review entitlement efforts for all development within the Murai Specific Plan area. The intent of the development and design review process is to ensure development proposals are consistent with the provisions of the Murai Specific Plan and to ensure those proposals are compatible with surrounding land uses. The Development Review process may include, but is not limited to, subdivision maps, plot/site plans, architectural building plans, landscape plans, and materials boards. These review processes contribute to complete conformance with the General Plan and the Specific Plan.

#### **Specific Plan Authority**

The Murai Specific Plan is to be adopted by the City of San Marcos Council and used as the basis for review of all subsequent discretionary entitlements and permits. As a regulatory document, successful implementation of a development project within the Plan area is contingent upon meeting the land use and associated development, design, and infrastructure standards and other policies outlined within the Murai Specific Plan.

The Murai Specific Plan establishes development, design, and infrastructure parameters and incorporates those standards through reference of applicable Zoning Ordinance provisions, to establish specific zoning standards which govern all development within the Plan area. Any development and design activities within the Murai Specific Plan area must be consistent with the parameters established with this Plan. Should any requirements of this Plan conflict with the City of San Marcos' Zoning Ordinance, the Murai Specific Plan shall be the primary document used to resolve the conflict. If the Plan is silent on any issues, the San Marcos Zoning Ordinance, or other adopted City standards shall be referred to for regulations and standards.

## Administration

Two entities will be responsible for the administration and enforcement of the Specific Plan. The City of San Marco is the primary agency responsible for the implementation, administration, and enforcement of the Murai Specific Plan. The homeowners association established for the Murai Specific Plan area shall be responsible for the enforcement of private property and open space easement requirements pursuant to the standards identified herein as well as any covenants, conditions, and restrictions (CC&R's) developed separately from this Plan.

## 7.3 PROJECT PROCESSING

In addition to this Specific Plan, the San Marcos City Council shall concurrently consider a Tentative Map, General Plan Amendment, Conditional Use Permit, Site Development Plan, and Grading Variance. Any future development projects within the Plan area may be subject to further review and subsequent discretionary permits from the City of San Marco. Examples of subsequent permits include site plans, final maps, grading plans, improvement plans, and building permits. Application, fee, and processing requirements shall be in accordance with the City's regulations, unless modified by this Plan. Project applications will be reviewed for consistency with the Murai Specific Plan and all pertinent development standards, design standards, and mitigation measures identified during the environmental review process, as well as other applicable conditions of approval adopted as part of the Plan. Applications for subsequent development projects or public improvements and other activities will be reviewed by the City using established procedures for consistency with this Plan. Any other applicable regulation or review and analysis of subsequent projects permits may trigger additional conditions the City determines to be reasonably necessary to ensure the projects application and or plans achieve compliance with this Specific Plan. Procedures to amend the Specific Plan are detailed in Section 7.4, should the applicant or City determine any changes in the Specific Plan Area would trigger an amendment to the Specific Plan in order to maintain compliance with the adopted Specific Plan and the city's General Plan.

Project processing regulations described within this Plan apply to all development proposed within the Murai Specific Plan area. To complete the development of the Murai Specific Plan area the following entitlements need to be processed by the City of San Marcos:

**General Plan Amendment** – The Specific Plan area is currently designated in the City's adopted General Plan as "Specific Plan Area Residential (89 lots)/Open Space/Parks". The site is also identified as Focus Area 29 located in the College area neighborhood. The proposed 89-unit residential project with private mini-parks and preservation of on-site biological conservation areas area is in keeping with this designation.

The Parks, Recreation, and Community Health Element of the General Plan and the City of San Marcos-Parks Master Plan both identify public park space within the Specific Plan Area. Specifically, Table 5-2 of the Parks, Recreation, and Community Health Element identifies a 20-acre public park on the property, and Figure 20 of the Parks Master Plan identifies the Agua Hedionda Park, a 15-25-acre public park on the site. The 2012 General Plan describes the park amenities to include a playground, tot lot, picnic

tables, barbecue facility, trail staging area, fishing, wilderness area, on-site caretaker, concessions and a restroom.

The General Plan Amendment for the project is to remove the requirement of a 20-acre park and park amenities on this site. The site's designation to provide a 20-acre park with above mentioned amenities in the Parks, Recreation and Community Health Element of the General Plan (adopted in 2012) was based on the description of park acreage and amenities in the City's Parks Master Plan which was adopted in 1990.

The 1990 Parks Master Plan and the subsequent 2012 General Plan update did not fully analyze current biological and landform constraints and easements when designating the site to provide a 20-acre park, in addition to being developed with an 89-unit project. The area selected in the 1990 Parks Master Plan and the General Plan update for the park would impact species including but not limited to Diegan Coastal Sage Scrub, freshwater marsh, Mule Fat Scrub, and non-native grassland. Federal and State wildlife agency requirements and setbacks would severely limit the scope of development of a potential public park.

The City of San Marcos General Plan requirement is for developments to provide 5-acres of parkland for every 1000 residents. The Murai project proposes 89 single-family residential units and will contribute approximately 274 residents to the City of San Marcos, which will require a total of 1.37-acres of park space. The Murai project is providing 2-acres of private parks for its residents, as well as paying park in-lieu fees for public park space and maintenance elsewhere within the City of San Marcos, thereby satisfying its park acreage requirement.

**Specific Plans** –The Plan area has been established as a Specific Plan zone, therefore a Specific Plan is required to be reviewed and approved concurrently with all discretionary permits. The Specific Plan establishes the development rules and regulations of all land uses within the Plan area boundary. Upon adoption of the Specific Plan by the San Marcos City Council, all development within the Plan area must conform to the regulations of the Plan.

**Tentative Subdivision Map** – The Tentative Subdivision Map is a proposal of the design, improvements, grading, and existing conditions of the project area and adjacent land affected by the project. The Tentative Map requires discretionary review of proposed land subdivisions and grading pursuant to Title 20 of the San Marcos Zoning Ordinance and Subdivision Ordinance. Upon review and approval and subsequent fulfillment of all conditions tied to the Tentative Map, a Final Map will also be acted on by the City and then recorded, allowing for the creation of individual lots within the Specific Plan area.

**Site Development Plan** – The Site Plan identifies information from the Tentative Map including the buildable area within each lot based on minimum front, side, and rear setbacks. Maximum building heights and plotting of floor plans and elevations are also established through the Site Plan.

**Conditional Use Permit (rock crusher)** – A Conditional Use Permit is a temporary permit which allows for a special use not normally allowed within an established zone. The City of San Marcos has required a

Conditional Use Permit be applied for and approved for the use of rock crushing operations due to potential noise and dust impacts.

**Grading Variance** – A grading variance is processed to allow for deviations to normal grading design features. The grading variance will be processed concurrently with other discretionary permits to allow for slopes in excess of 20' in height without benching.

**Landscape Permits** – Front and rear yard construction irrigation and planting plans shall be prepared by the homeowner and/or their consultant for review and approval by the Murai HOA. All plans shall meet the requirements of the Water Efficient Landscape Ordinance (WELO) of the City of San Marcos, the site brush management zones, and all other City and HOA applicable standards and guidelines. Plans shall be reviewed by a licensed landscape architect for compliance to the requirements listed above. The HOA approval of the individual homeowner lot plans shall be for irrigation and planting only. Any ancillary structures requiring permitting such as but not limited to overheads or gas BBQ counters, will require permitting by the City of San Marcos and are not part of the landscape plan approval.

A Master Permit Plan shall be provided to the City identifying the construction phasing of development and will be used as a basis for confirming that each lot complies with the WELO requirements of the State. Submittal of a matrix of HOA approved landscape plans for each phase will be provided to the City twice yearly and will identify the lots within that phase that have been approved by the HOA. The total square footage of improved landscape area on each lot will be provided for use by the City.

**Other Permits** – Permits required from other governmental agencies may be required prior to project implementation and the City of San Marcos assumes no responsibility for identifying or pursuing these permits on behalf of the applicant. As appropriate, State, Federal and other local agency approvals are required for any development activity within the Plan area.

### **Environmental Review**

An EIR will be conducted for the Murai Specific Plan Area. The Environmental Impact Report (EIR) shall be certified concurrently with the Murai Specific Plan and shall serve as the primary environmental document for all subsequent discretionary entitlements within the Plan area. Each discretionary development application shall be reviewed on a project by project basis to determine consistency with the certified EIR. Subsequent administrative approvals are not subject to CEQA review because they do not trigger discretionary powers (CEQA Guidelines 15060[c] [1]). Each subsequent development project requiring discretionary approval shall be reviewed to ensure consistency and compliance with the California Environmental Quality Act (CEQA) Guidelines 15162c.

In accordance with CEQA Guidelines Section 15097, a Mitigation and Monitoring Program (MMRP) shall be adopted for the Specific Plan area. Adoption of a MMRP ensures all mitigation measures identified in the EIR are properly implemented. All future development projects within the Specific Plan area shall comply with the MMRP implementation measure to achieve full compliance with the EIR, unless lawfully modified.

### **Options for Further CEQA Review of Subsequent Discretionary Approvals**

Subsequent development proposals within the Murai Specific Plan area, if found by the City of San Marcos to be consistent with this plan and the impact analysis and mitigation measures found in the certified EIR, may be approved and implemented without further public environmental review per California Government Code Section 65457. The City of San Marcos shall determine if further environmental review and analysis is required to satisfy CEQA requirements if any amendments are proposed to this Specific Plan.

## **7.4 ADMINISTRATIVE AMENDMENTS and SPECIFIC PLAN AMENDMENTS**

### **Administrative Amendments**

Changes in the housing market and economy may necessitate slight modifications to the Specific Plan Area. California Government Code Section 65452 grants the City of San Marcos the authority to make Administrative Amendments to the Specific Plan to account for changes in market forces, either administratively through the Director's review or through the Planning Commission review. An applicant may submit an application to the City of San Marcos, which may include maps, text, and or technical studies describing the nature and intent of the modifications. Upon submittal, the Director will make a determination as to the applicability of the modification. The Development Services Director may delegate his/her administrative decision to the Planning Commission and conversely the applicant may appeal to the Planning Commission for an administrative decision.

Minor modifications are necessary tools the City can use to help develop the Specific Plan area. The conceptual land use plan and general guidelines and regulations of the Specific Plan allow a modification process to provide minor design changes to conform to the intent of the Specific Plan. The land uses and development yield identified herein have been carefully analyzed in the EIR. The results of the EIR analysis and subsequent mitigation requirements are valid for minor modifications to the land uses and development yields. At the City's discretion minor adjustments, including substitutions and reduction in density, may be allowable under this Specific Plan as minor modifications provided the amendments can be determined to be included within the project's EIR. A revision to the Specific Plan will not be considered minor if the revision causes an impact to the adjacent property or property owner that is determined to surpass the level of significance as determined by City guidelines for each studied environmental subject as described in the Final Environmental Impact Report, and as determined by the Development Services Director.

### **Entitlement Revisions**

If the Development Services Director of the City of San Marcos determines a proposed revision does not meet the criteria from the above listed minor modification guidelines, then a revised Tentative Map and/or a Minor Deviation to the Site Development Plan can be processed without concurrently processing a formal amendment to the Specific Plan. The Community Services Director shall determine the applicable process by referencing the procedures stated herein with the Subdivision Ordinance or Zoning Ordinance.

**Formal Specific Plan Amendments**

If no minor modification mechanism is present as defined above or as determined by the Development Services Director, a formal amendment to the Specific Plan shall be required. California Government Code Section 65453 allows for discretionary Specific Plan Amendment procedures and regulations. The City of San Marcos shall process all formal Specific Plan Amendments with additional environmental review in compliance with CEQA.