

TENTATIVE MAP FOR SAN MARCOS MURAI TSM 15-007

SHEET 1 OF 8 SHEETS
TITLE SHEET

EXISTING EASEMENTS AS NOTED IN AMENDED PRELIMINARY TITLE REPORT ORDER NO. LJ-4344952, DATED 8/11/2015

AN EASEMENT FOR PURPOSES OF VISTA IRRIGATION DISTRICT THEN EXISTING AND
INCIDENTAL PURPOSES, RECORDED JUNE 27, 1930 IN BOOK 1784, PAGE 343 OF DEEDS. THE ROUTE OR
LOCATION OF SAID EASEMENT CANNOT BE DETERMINED FROM THE RECORD.

1 AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF VISTA IRRIGATION DISTRICT,
RECORDED AUGUST 23, 1939 IN BOOK 3112, PAGE 1708 OF OFFICIAL RECORDS.

2 AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER
AUTHORITY, RECORDED JULY 31, 1950 IN BOOK 7182, PAGE 374 OF OFFICIAL RECORDS. SAN DIEGO
COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEANING AND MAINTENANCE WITHIN SAID EASEMENT
AREA.

3 AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER
AUTHORITY, RECORDED AUGUST 1, 1950 IN BOOK 7194, PAGE 18 OF OFFICIAL RECORDS. SAN DIEGO
COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEANING AND MAINTENANCE WITHIN THE EASEMENT
AREA.

4 AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER
AUTHORITY, RECORDED AUGUST 22, 1969 AS INSTRUMENT NO. 154340 OF OFFICIAL RECORDS. SAN
DIEGO COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEANING AND MAINTENANCE WITHIN THE
EASEMENT AREA.

5 AN EASEMENT FOR ACCESS AND DRAINAGE AND INCIDENTAL PURPOSES IN FAVOR OF CITY OF SAN
MARCOS, RECORDED NOVEMBER 3, 1991 AS INSTRUMENT NO. 91-0571687 OF OFFICIAL RECORDS.

6 AN EASEMENT FOR SLOPE AND INCIDENTAL PURPOSES IN FAVOR OF THE CITY OF SAN MARCOS,
RECORDED NOVEMBER 3, 1991 AS INSTRUMENT NO. 91-0571688 OF OFFICIAL RECORDS.

7 AN EASEMENT FOR DRAINAGE AND INCIDENTAL PURPOSES IN FAVOR OF CITY OF SAN MARCOS,
RECORDED OCTOBER 21, 2003 AS INSTRUMENT NO. 03-1088667 OF OFFICIAL RECORDS.

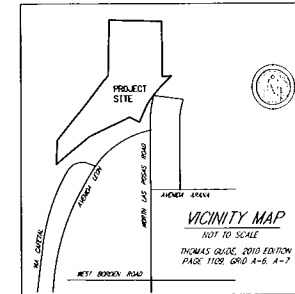
8 AN EASEMENT FOR SLOPES AND INCIDENTAL PURPOSES IN FAVOR OF CITY OF SAN MARCOS, RECORDED
OCTOBER 21, 2003 AS INSTRUMENT NO. 03-1088668 OF OFFICIAL RECORDS.

9 AN EASEMENT FOR PUBLIC STREET AND UTILITY AND DRAINAGE PURPOSES AND INCIDENTAL PURPOSES
IN FAVOR OF CITY OF SAN MARCOS, RECORDED FEBRUARY 26, 2004 AS INSTRUMENT NO.
2004-0152472 OF OFFICIAL RECORDS.

10 AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER
AUTHORITY, RECORDED FEBRUARY 14, 2014 AS INSTRUMENT NO. 2014-0145474 OF OFFICIAL RECORDS. SAN
DIEGO COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEANING AND MAINTENANCE WITHIN THE
EASEMENT AREA.

11 AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER
AUTHORITY, RECORDED MAY 20, 2015 AS INSTRUMENT NO. 2015-0145474 AND RE-RECORDED
FEBRUARY 14, 2014 AS INSTRUMENT NO. 2014-0145474 OF OFFICIAL RECORDS. SAN DIEGO COUNTY
WATER AUTHORITY IS RESPONSIBLE FOR CLEANING AND MAINTENANCE WITHIN THE EASEMENT AREA.

12 A PERPETUAL CONSERVATION EASEMENT, RECORDED OCTOBER 26, 2004 AS DOCUMENT NO.
2004-0151057 OF OFFICIAL RECORDS.



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PUBLIC UTILITIES & DISTRICTS

SEWER - TO BE ANNECTED INTO VALLECITOS WATER DISTRICT
WATER - VALLECITOS WATER DISTRICT
GAS & ELECTRIC - SAN DIEGO GAS & ELECTRIC
TELEPHONE - PACIFIC BELL TELEPHONE COMPANY
FIRE - SAN MARCOS FIRE PROTECTION DISTRICT
SCHOOLS - SAN MARCOS HIGH SCHOOL DISTRICT & VISTA UNIFIED SCHOOL DISTRICT

EASEMENT NOTE

EASEMENTS OF RECORD NOT SHOWN HEREON SHALL BE HONORED, ABANDONED AND / OR RELOCATED TO THE
SATISFACTION OF ALL INTERESTED PARTIES. PUBLIC UTILITY EASEMENTS ARE NECESSARY TO SERVE THIS PROJECT
AND WILL BE COORDINATED WITH THE SERVING UTILITY COMPANY.

MAP PREPARED BY:

EXCEL ENGINEERING
440 STATE PLACE
ESCONDIDO, CA 92029
PHONE (760) 745-8116
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MICHAEL D. LEVIN, P.L.S. NO. 6398

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LEGAL DESCRIPTION

A PORTION OF SECTION 34, TOWNSHIP 11 SOUTH AND SECTION 3 AND SECTION 4, TOWNSHIP 12 SOUTH, ALL OF
RANGE 13 WEST, SAN BERNARDINO MERIDIAN IN THE CITY OF SAN MARCOS, COUNTY OF SAN DIEGO, STATE OF
CALIFORNIA.

SOURCE OF TOPOGRAPHY

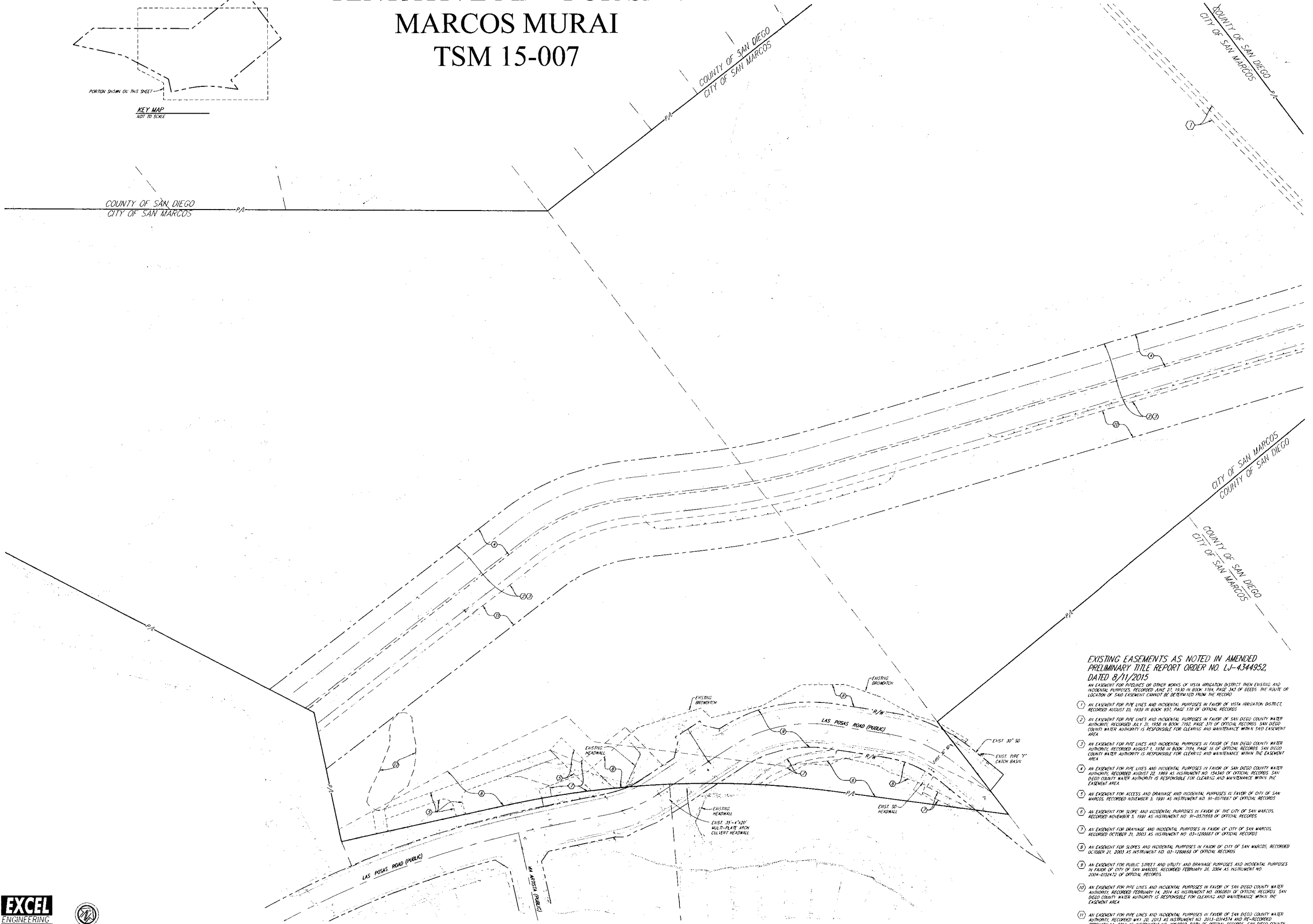
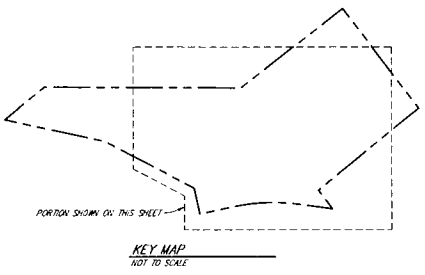
AERIAL TOPOGRAPHY PERFORMED BY AEROTECH MAPPING, JULY 15, 2013.

ASSESSOR'S PARCEL NUMBERS

217-050-56-00, 217-050-56-01, 217-050-56-02, 217-050-56-03, 217-050-56-04, 217-050-56-05, 217-050-56-06, 217-050-56-07, 217-050-56-08, 217-050-56-09, 217-050-56-10, 217-050-56-11, 217-050-56-12, 217-050-56-13, 217-050-56-14, 217-050-56-15, 217-050-56-16, 217-050-56-17, 217-050-56-18, 217-050-56-19, 217-050-56-20, 217-050-56-21, 217-050-56-22, 217-050-56-23, 217-050-56-24, 217-050-56-25, 217-050-56-26, 217-050-56-27, 217-050-56-28, 217-050-56-29, 217-050-56-30, 217-050-56-31, 217-050-56-32, 217-050-56-33, 217-050-56-34, 217-050-56-35, 217-050-56-36, 217-050-56-37, 217-050-56-38, 217-050-56-39, 217-050-56-40, 217-050-56-41, 217-050-56-42, 217-050-56-43, 217-050-56-44, 217-050-56-45, 217-050-56-46, 217-050-56-47, 217-050-56-48, 217-050-56-49, 217-050-56-50, 217-050-56-51, 217-050-56-52, 217-050-56-53, 217-050-56-54, 217-050-56-55, 217-050-56-56, 217-050-56-57, 217-050-56-58, 217-050-56-59, 217-050-56-60, 217-050-56-61, 217-050-56-62, 217-050-56-63, 217-050-56-64, 217-050-56-65, 217-050-56-66, 217-050-56-67, 217-050-56-68, 217-050-56-69, 217-050-56-70, 217-050-56-71, 217-050-56-72, 217-050-56-73, 217-050-56-74, 217-050-56-75, 217-050-56-76, 217-050-56-77, 217-050-56-78, 217-050-56-79, 217-050-56-80, 217-050-56-81, 217-050-56-82, 217-050-56-83, 217-050-56-84, 217-050-56-85, 217-050-56-86, 217-050-56-87, 217-050-56-88, 217-050-56-89, 217-050-56-90, 217-050-56-91, 217-050-56-92, 217-050-56-93, 217-050-56-94, 217-050-56-95, 217-050-56-96, 217-050-56-97, 217-050-56-98, 217-050-56-99, 217-050-56-100, 217-050-56-101, 217-050-56-102, 217-050-56-103, 217-050-56-104, 217-050-56-105, 217-050-56-106, 217-050-56-107, 217-050-56-108, 217-050-56-109, 217-050-56-110, 217-050-56-111, 217-050-56-112, 217-050-56-113, 217-050-56-114, 217-050-56-115, 217-050-56-116, 217-050-56-117, 217-050-56-118, 217-050-56-119, 217-050-56-120, 217-050-56-121, 217-050-56-122, 217-050-56-123, 217-050-56-124, 217-050-56-125, 217-050-56-126, 217-050-56-127, 217-050-56-128, 217-050-56-129, 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TENTATIVE MAP FOR SAN
MARCOS MURAI
TSM 15-007

SHEET 2 OF 8 SHEETS
EXISTING SITE CONDITIONS



- EXISTING EASEMENTS AS NOTED IN AMENDED
PRELIMINARY TITLE REPORT ORDER NO. LJ-4344952
DATED 8/11/2015
- AN EASEMENT FOR PIPELINES OR OTHER WORKS OF VISTA IRRIGATION DISTRICT THEN EXISTING AND INCIDENTAL PURPOSES, RECORDED JUNE 21, 1930 IN BOOK 1784, PAGE 347 OF DEEDS. THE ROUTE OR LOCATION OF SAID EASEMENT CANNOT BE DETERMINED FROM THE RECORDS.
- 1 AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF VISTA IRRIGATION DISTRICT, RECORDED AUGUST 25, 1939 IN BOOK 937, PAGE 178 OF OFFICIAL RECORDS.
- 2 AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER AUTHORITY, RECORDED JULY 31, 1958 IN BOOK 7782, PAGE 377 OF OFFICIAL RECORDS. SAN DIEGO COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEARING AND MAINTENANCE WITHIN SAID EASEMENT AREA.
- 3 AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER AUTHORITY, RECORDED AUGUST 22, 1968 AS INSTRUMENT NO. 154240 OF OFFICIAL RECORDS. SAN DIEGO COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEARING AND MAINTENANCE WITHIN THE EASEMENT AREA.
- 4 AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER AUTHORITY, RECORDED AUGUST 1, 1968 IN BOOK 7784, PAGE 36 OF OFFICIAL RECORDS. SAN DIEGO COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEARING AND MAINTENANCE WITHIN THE EASEMENT AREA.
- 5 AN EASEMENT FOR ACCESS AND DRAINAGE AND INCIDENTAL PURPOSES IN FAVOR OF CITY OF SAN MARCOS, RECORDED NOVEMBER 5, 1991 AS INSTRUMENT NO. 91-1017857 OF OFFICIAL RECORDS.
- 6 AN EASEMENT FOR SLOPE AND INCIDENTAL PURPOSES IN FAVOR OF THE CITY OF SAN MARCOS, RECORDED NOVEMBER 5, 1991 AS INSTRUMENT NO. 91-1017858 OF OFFICIAL RECORDS.
- 7 AN EASEMENT FOR DRAINAGE AND INCIDENTAL PURPOSES IN FAVOR OF CITY OF SAN MARCOS, RECORDED OCTOBER 21, 2003 AS INSTRUMENT NO. 03-1268667 OF OFFICIAL RECORDS.
- 8 AN EASEMENT FOR SLOPES AND INCIDENTAL PURPOSES IN FAVOR OF CITY OF SAN MARCOS, RECORDED OCTOBER 21, 2003 AS INSTRUMENT NO. 03-1268668 OF OFFICIAL RECORDS.
- 9 AN EASEMENT FOR PUBLIC STREET AND UTILITY AND DRAINAGE PURPOSES AND INCIDENTAL PURPOSES IN FAVOR OF CITY OF SAN MARCOS, RECORDED FEBRUARY 26, 2004 AS INSTRUMENT NO. 2004-0152472 OF OFFICIAL RECORDS.
- 10 AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER AUTHORITY, RECORDED FEBRUARY 14, 2004 AS INSTRUMENT NO. 040040 OF OFFICIAL RECORDS. SAN DIEGO COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEARING AND MAINTENANCE WITHIN THE EASEMENT AREA.
- 11 AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER AUTHORITY, RECORDED MAY 20, 2013 AS INSTRUMENT NO. 2013-0114574 AND RE-RECORDED FEBRUARY 14, 2014 AS INSTRUMENT NO. 040040 OF OFFICIAL RECORDS. SAN DIEGO COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEARING AND MAINTENANCE WITHIN THE EASEMENT AREA.
- 12 A PERPETUAL CONSERVATION EASEMENT, RECORDED OCTOBER 26, 2004 AS DOCUMENT NO. 04004-1011057 OF OFFICIAL RECORDS.

TENTATIVE MAP FOR SAN MARCOS MURAI

TSM 15-007

LEGEND

EXIST. DITCH CENTERLINE
NEW DITCH CENTERLINE
DAYLIGHT / LIMITS OF GRADING
GRADE
RETAINING WALL**
OUTFALL SLOPE
TRAIL

700
2:1
2.1

** MATERIALS AND DECORATIVE FACINGS TO BE DETERMINED BY PLANNING DEPARTMENT AND DEVELOPER

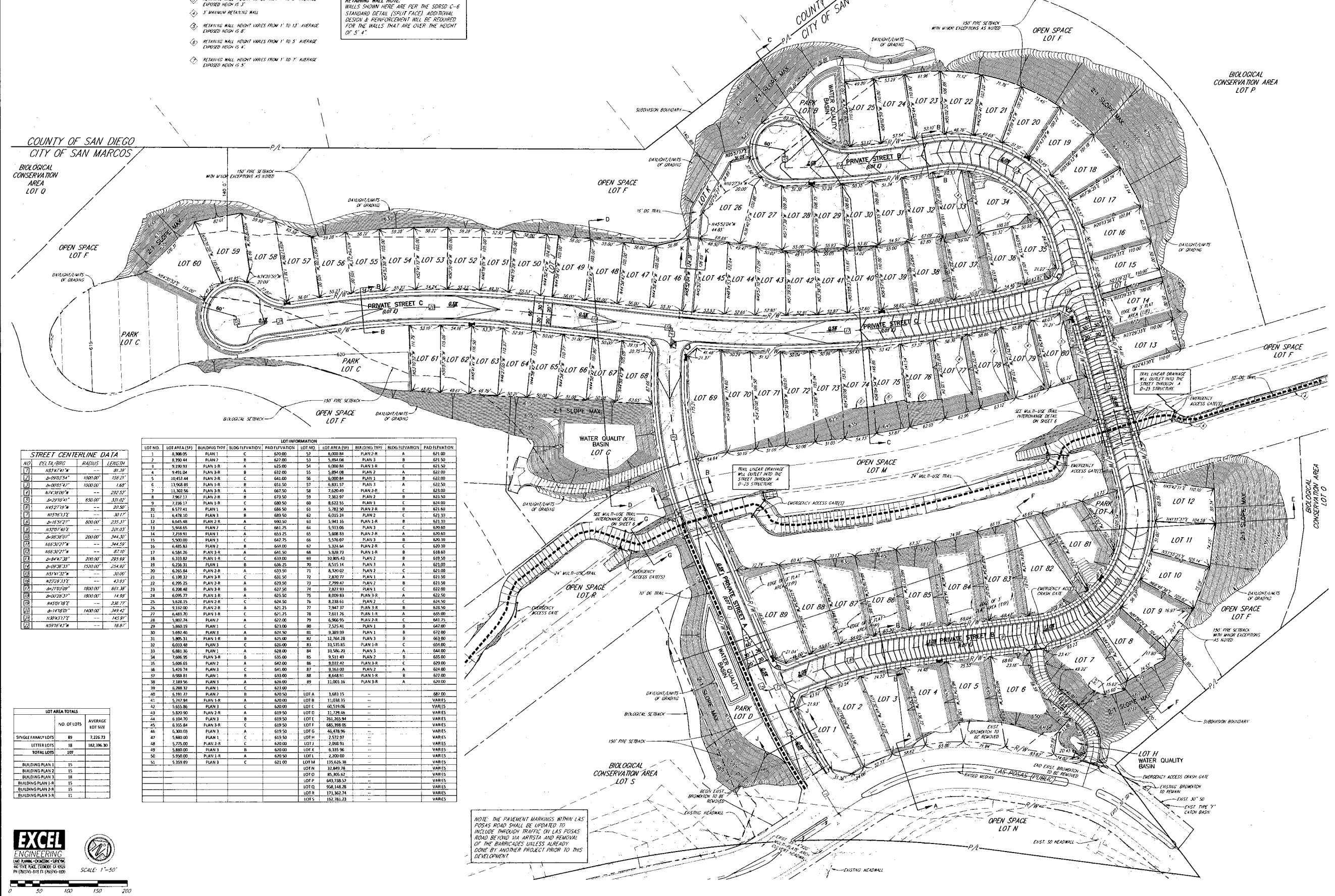
NOTES

- SEE SHEET 4 FOR LOT INFORMATION.
- SEE SHEET 5 FOR PROPOSED UTILITIES.
- SEE SHEET 6 FOR PROPOSED CROSS SECTIONS.
- SEE SHEET 6 FOR TYPICAL ROAD SECTIONS.
- SEE SHEET 6 FOR EMERGENCY VEHICLE TURNING MOTIONS.

PROPOSED RETAINING WALL NOTES

- RETAINING WALL HEIGHT VARIES FROM 1' TO 10' AVERAGE EXPOSED HEIGHT IS 7'.
- RETAINING WALL HEIGHT VARIES FROM 1' TO 5' AVERAGE EXPOSED HEIGHT IS 4'.
- RETAINING WALL HEIGHT VARIES FROM 1' TO 5' AVERAGE EXPOSED HEIGHT IS 5'.
- 3' BATTERY RETAINING WALL
- RETAINING WALL HEIGHT VARIES FROM 1' TO 15' AVERAGE EXPOSED HEIGHT IS 8'.
- RETAINING WALL HEIGHT VARIES FROM 1' TO 5' AVERAGE EXPOSED HEIGHT IS 4'.
- RETAINING WALL HEIGHT VARIES FROM 1' TO 7' AVERAGE EXPOSED HEIGHT IS 5'.

RETAINING WALL NOTE:
WALLS SHOWN HERE ARE PER THE SLOPED C-6 STANDARD DETAIL (SPILT FACE). ADDITIONAL DESIGN & REINFORCEMENT WILL BE REQUIRED FOR THE WALLS THAT ARE OVER THE HEIGHT OF 5' 4".



STREET CENTERLINE DATA

NO.	DELTA (BRG)	RADIUS	LENGTH
1	N63°42'41"W	1000.00'	156.21'
2	S69°03'24"E	1000.00'	156.21'
3	S69°03'24"E	1000.00'	156.21'
4	N63°42'41"W	1000.00'	156.21'
5	N63°42'41"W	1000.00'	156.21'
6	N63°42'41"W	1000.00'	156.21'
7	N63°42'41"W	1000.00'	156.21'
8	N63°42'41"W	1000.00'	156.21'
9	N63°42'41"W	1000.00'	156.21'
10	N63°42'41"W	1000.00'	156.21'
11	N63°42'41"W	1000.00'	156.21'
12	N63°42'41"W	1000.00'	156.21'
13	N63°42'41"W	1000.00'	156.21'
14	N63°42'41"W	1000.00'	156.21'
15	N63°42'41"W	1000.00'	156.21'
16	N63°42'41"W	1000.00'	156.21'
17	N63°42'41"W	1000.00'	156.21'
18	N63°42'41"W	1000.00'	156.21'
19	N63°42'41"W	1000.00'	156.21'
20	N63°42'41"W	1000.00'	156.21'
21	N63°42'41"W	1000.00'	156.21'
22	N63°42'41"W	1000.00'	156.21'
23	N63°42'41"W	1000.00'	156.21'
24	N63°42'41"W	1000.00'	156.21'
25	N63°42'41"W	1000.00'	156.21'
26	N63°42'41"W	1000.00'	156.21'
27	N63°42'41"W	1000.00'	156.21'
28	N63°42'41"W	1000.00'	156.21'
29	N63°42'41"W	1000.00'	156.21'
30	N63°42'41"W	1000.00'	156.21'
31	N63°42'41"W	1000.00'	156.21'
32	N63°42'41"W	1000.00'	156.21'
33	N63°42'41"W	1000.00'	156.21'
34	N63°42'41"W	1000.00'	156.21'
35	N63°42'41"W	1000.00'	156.21'
36	N63°42'41"W	1000.00'	156.21'
37	N63°42'41"W	1000.00'	156.21'
38	N63°42'41"W	1000.00'	156.21'
39	N63°42'41"W	1000.00'	156.21'
40	N63°42'41"W	1000.00'	156.21'
41	N63°42'41"W	1000.00'	156.21'
42	N63°42'41"W	1000.00'	156.21'
43	N63°42'41"W	1000.00'	156.21'
44	N63°42'41"W	1000.00'	156.21'
45	N63°42'41"W	1000.00'	156.21'
46	N63°42'41"W	1000.00'	156.21'
47	N63°42'41"W	1000.00'	156.21'
48	N63°42'41"W	1000.00'	156.21'
49	N63°42'41"W	1000.00'	156.21'
50	N63°42'41"W	1000.00'	156.21'
51	N63°42'41"W	1000.00'	156.21'
52	N63°42'41"W	1000.00'	156.21'
53	N63°42'41"W	1000.00'	156.21'
54	N63°42'41"W	1000.00'	156.21'
55	N63°42'41"W	1000.00'	156.21'
56	N63°42'41"W	1000.00'	156.21'
57	N63°42'41"W	1000.00'	156.21'
58	N63°42'41"W	1000.00'	156.21'
59	N63°42'41"W	1000.00'	156.21'
60	N63°42'41"W	1000.00'	156.21'

LOT INFORMATION

LOT NO.	LOT AREA (SF)	BUILDING TYPE	BUILDING ELEVATION	PAD ELEVATION	LOT NO.	LOT AREA (SF)	BUILDING TYPE	BUILDING ELEVATION	PAD ELEVATION
1	8,308.95	PLAN 1	C	620.00	51	6,000.84	PLAN 2	C	621.50
2	8,308.95	PLAN 2	B	620.00	52	6,000.84	PLAN 2	C	621.50
3	8,308.95	PLAN 1	A	620.00	53	6,000.84	PLAN 2	C	621.50
4	8,308.95	PLAN 1	B	620.00	54	6,000.84	PLAN 2	C	621.50
5	8,308.95	PLAN 2	C	620.00	55	6,000.84	PLAN 2	C	621.50
6	8,308.95	PLAN 1	A	620.00	56	6,000.84	PLAN 2	C	621.50
7	8,308.95	PLAN 1	B	620.00	57	6,000.84	PLAN 2	C	621.50
8	8,308.95	PLAN 1	C	620.00	58	6,000.84	PLAN 2	C	621.50
9	8,308.95	PLAN 1	A	620.00	59	6,000.84	PLAN 2	C	621.50
10	8,308.95	PLAN 1	B	620.00	60	6,000.84	PLAN 2	C	621.50
11	8,308.95	PLAN 1	C	620.00	61	6,000.84	PLAN 2	C	621.50
12	8,308.95	PLAN 1	A	620.00	62	6,000.84	PLAN 2	C	621.50
13	8,308.95	PLAN 1	B	620.00	63	6,000.84	PLAN 2	C	621.50
14	8,308.95	PLAN 1	C	620.00	64	6,000.84	PLAN 2	C	621.50
15	8,308.95	PLAN 1	A	620.00	65	6,000.84	PLAN 2	C	621.50
16	8,308.95	PLAN 1	B	620.00	66	6,000.84	PLAN 2	C	621.50
17	8,308.95	PLAN 1	C	620.00	67	6,000.84	PLAN 2	C	621.50
18	8,308.95	PLAN 1	A	620.00	68	6,000.84	PLAN 2	C	621.50
19	8,308.95	PLAN 1	B	620.00	69	6,000.84	PLAN 2	C	621.50
20	8,308.95	PLAN 1	C	620.00	70	6,000.84	PLAN 2	C	621.50
21	8,308.95	PLAN 1	A	620.00	71	6,000.84	PLAN 2	C	621.50
22	8,308.95	PLAN 1	B	620.00	72	6,000.84	PLAN 2	C	621.50
23	8,308.95	PLAN 1	C	620.00	73	6,000.84	PLAN 2	C	621.50
24	8,308.95	PLAN 1	A	620.00	74	6,000.84	PLAN 2	C	621.50
25	8,308.95	PLAN 1	B	620.00	75	6,000.84	PLAN 2	C	621.50
26	8,308.95	PLAN 1	C	620.00	76	6,000.84	PLAN 2	C	621.50
27	8,308.95	PLAN 1	A	620.00	77	6,000.84	PLAN 2	C	621.50
28	8,308.95	PLAN 1	B	620.00	78	6,000.84	PLAN 2	C	621.50
29	8,308.95	PLAN 1	C	620.00	79	6,000.84	PLAN 2	C	621.50
30	8,308.95	PLAN 1	A	620.00	80	6,000.84	PLAN 2	C	621.50
31	8,308.95	PLAN 1	B	620.00	81	6,000.84	PLAN 2	C	621.50
32	8,308.95	PLAN 1	C	620.00	82	6,000.84	PLAN 2	C	621.50
33	8,308.95	PLAN 1	A	620.00	83	6,000.84	PLAN 2	C	621.50
34	8,308.95	PLAN 1	B	620.00	84	6,000.84	PLAN 2	C	621.50
35	8,308.95	PLAN 1	C	620.00	85	6,000.84	PLAN 2	C	621.50
36	8,308.95	PLAN 1	A	620.00	86	6,000.84	PLAN 2	C	621.50
37	8,308.95	PLAN 1	B	620.00	87	6,000.84	PLAN 2	C	621.50
38	8,308.95	PLAN 1	C	620.00	88	6,000.84	PLAN 2	C	621.50
39	8,308.95	PLAN 1	A	620.00	89	6,000.84	PLAN 2	C	621.50
40	8,308.95	PLAN 1	B	620.00	90	6,000.84	PLAN 2	C	621.50
41	8,308.95	PLAN 1	C	620.00	91	6,000.84	PLAN 2	C	621.50
42	8,308.95	PLAN 1	A	620.00	92	6,000.84	PLAN 2	C	621.50
43	8,308.95	PLAN 1	B	620.00	93	6,000.84	PLAN 2	C	621.50
44	8,308.95	PLAN 1	C	620.00	94	6,000.84	PLAN 2	C	621.50
45	8,308.95	PLAN 1	A	620.00	95	6,000.84	PLAN 2	C	621.50
46	8,308.95	PLAN 1	B	620.00	96	6,000.84	PLAN 2	C	621.50
47	8,308.95	PLAN 1	C	620.00	97	6,000.84	PLAN 2	C	621.50
48	8,308.95	PLAN 1	A	620.00	98	6,000.84	PLAN 2	C	621.50
49	8,308.95	PLAN 1	B	620.00	99	6,000.84	PLAN 2	C	621.50
50	8,308.95	PLAN 1	C	620.00	100	6,000.84	PLAN 2	C	621.50

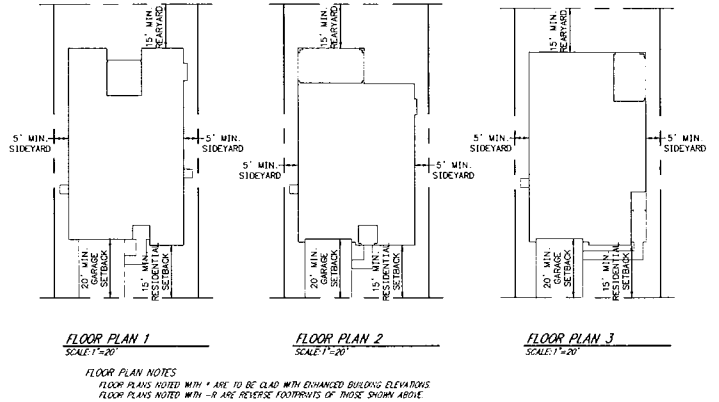
LOT AREA TOTALS

	NO. OF LOTS	AVERAGE LOT SIZE
SINGLE FAMILY LOTS	89	7,226.73
LETTER LOTS	18	182,396.30
TOTAL LOTS	107	
BUILDING PLAN 1	15	
BUILDING PLAN 2	15	
BUILDING PLAN 3	15	
BUILDING PLAN 4	15	
BUILDING PLAN 5	15	
BUILDING PLAN 6	15	

NOTE: THE PAVEMENT MARKINGS WITHIN LAS POSAS ROAD SHALL BE UPDATED TO INCLUDE THROUGH TRAFFIC ON LAS POSAS ROAD BEYOND VIA ARTISTA AND REMOVAL OF THE BARRICADES UNLESS ALREADY DONE BY ANOTHER PROJECT PRIOR TO THIS DEVELOPMENT.

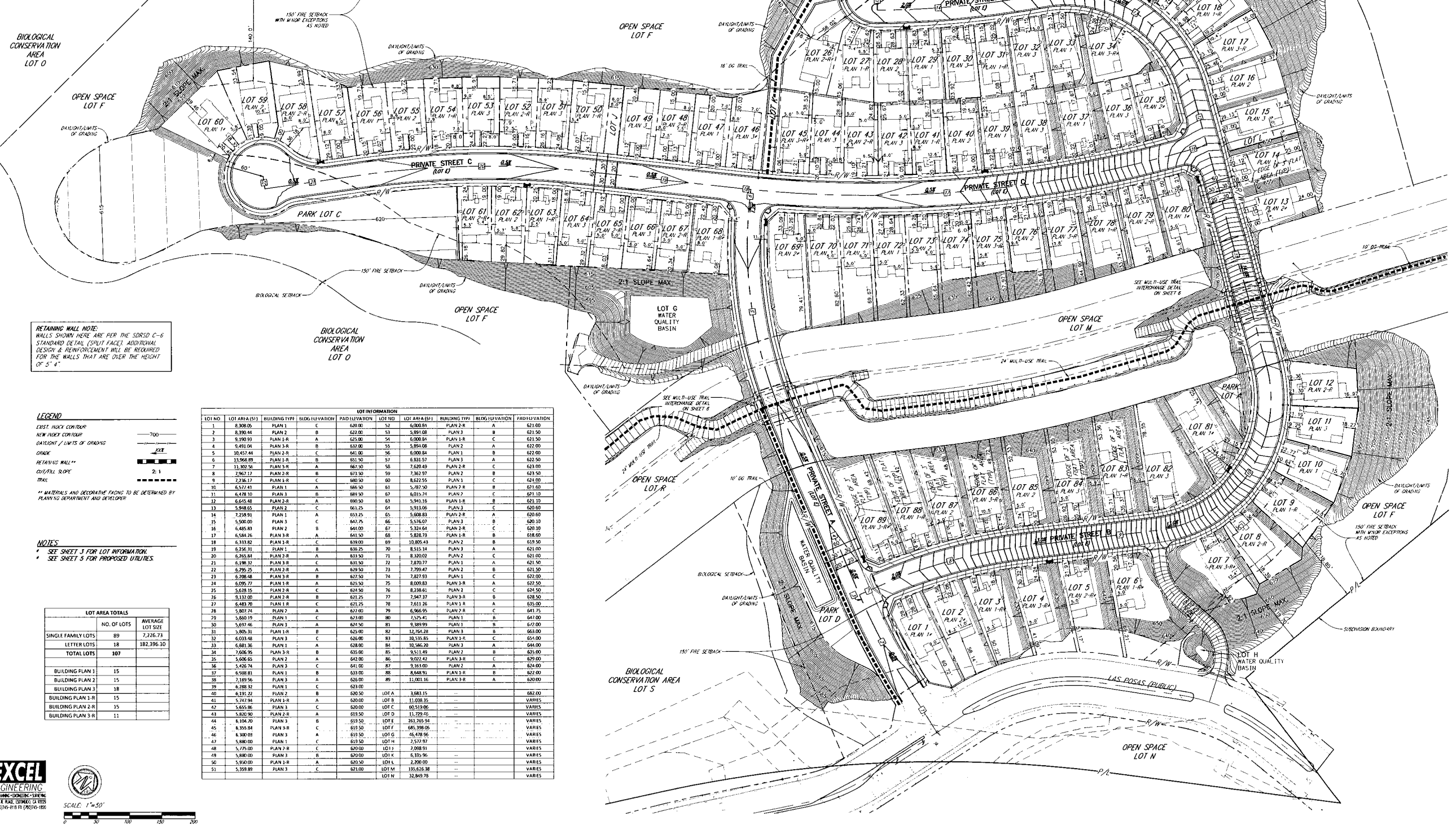
SITE DEVELOPMENT PLAN FOR SAN MARCOS MURAI SDP 16-002

TYPICAL LOT LAYOUT



NO.	DELTA/BNG	RADIUS	LENGTH
1	165°41'41"	1000.00'	81.19'
2	165°41'41"	1000.00'	155.21'
3	165°41'41"	1000.00'	1.68'
4	165°41'41"	1000.00'	292.52'
5	165°41'41"	650.00'	331.02'
6	165°41'41"	1000.00'	20.50'
7	165°41'41"	1000.00'	30.12'
8	165°41'41"	800.00'	235.37'
9	165°41'41"	200.00'	200.00'
10	165°41'41"	200.00'	344.50'
11	165°41'41"	87.10'	87.10'
12	165°41'41"	200.00'	292.89'
13	165°41'41"	1500.00'	254.82'
14	165°41'41"	1000.00'	30.60'
15	165°41'41"	1000.00'	43.83'
16	165°41'41"	1000.00'	661.38'
17	165°41'41"	14.58'	14.58'
18	165°41'41"	236.77'	236.77'
19	165°41'41"	1400.00'	316.42'
20	165°41'41"	145.91'	145.91'
21	165°41'41"	18.87'	18.87'

COUNTY OF SAN DIEGO
CITY OF SAN MARCOS



RETAINING WALL NOTE:
WALLS SHOWN HERE ARE PER THE SDCS C-6
STANDARD DETAIL (SPLIT FACE). ADDITIONAL
DESIGN & REINFORCEMENT WILL BE REQUIRED
FOR THE WALLS THAT ARE OVER THE HEIGHT
OF 5' 4".

LEGEND
EXIST. INDEX CONTOUR
NEW INDEX CONTOUR
DAYLIGHT / LIMITS OF GRADING
GRADE
RETAINING WALL
CUT/FILL SLOPE
TRAIL
1" MATERIALS AND DECORATIVE FINISH TO BE DETERMINED BY PLANNING DEPARTMENT AND DEVELOPER

NOTES:
• SEE SHEET 3 FOR LOT INFORMATION.
• SEE SHEET 5 FOR PROPOSED UTILITIES.

LOT AREA TOTALS
NO. OF LOTS
AVERAGE LOT SIZE
SINGLE FAMILY LOTS
LETTER LOTS
TOTAL LOTS
BUILDING PLAN 1
BUILDING PLAN 2
BUILDING PLAN 3
BUILDING PLAN 1-R
BUILDING PLAN 2-R
BUILDING PLAN 3-R

LOT NO.	LOT AREA (SQ. FT.)	BUILDING TYPE	BUILDING ELEVATION	PAID ELEVATION	LOT NO.	LOT AREA (SQ. FT.)	BUILDING TYPE	BUILDING ELEVATION	PAID ELEVATION
1	8,308.05	PLAN 1	C	620.00	52	6,000.85	PLAN 2-R	A	621.00
2	8,308.05	PLAN 2	B	620.00	53	5,891.08	PLAN 3	B	621.00
3	5,190.93	PLAN 1-R	A	620.00	54	6,000.84	PLAN 1-R	C	621.00
4	5,491.04	PLAN 3-R	B	620.00	55	5,891.08	PLAN 2	A	622.00
5	10,457.44	PLAN 2-R	C	621.00	56	6,000.84	PLAN 1	B	622.00
6	13,964.89	PLAN 1-R	B	621.00	57	6,001.57	PLAN 3	A	622.00
7	11,302.56	PLAN 3-R	A	621.00	58	7,620.49	PLAN 2-R	C	623.00
8	2,962.17	PLAN 2-R	B	621.00	59	7,620.49	PLAN 2	B	623.00
9	2,236.12	PLAN 1-R	C	620.00	60	8,027.55	PLAN 1	C	623.00
10	6,577.41	PLAN 1	A	620.00	61	5,787.50	PLAN 2-R	B	623.00
11	6,478.10	PLAN 3	B	620.00	62	6,015.74	PLAN 2	C	623.10
12	6,655.58	PLAN 2-R	A	620.00	63	5,943.15	PLAN 3-R	B	623.10
13	5,988.05	PLAN 2	C	621.00	64	5,913.06	PLAN 3	C	620.00
14	7,259.91	PLAN 1	A	623.25	65	5,608.83	PLAN 2-R	A	620.00
15	5,500.00	PLAN 3	C	647.75	66	5,516.07	PLAN 3	B	620.10
16	4,485.40	PLAN 2	B	640.00	67	5,516.07	PLAN 2-R	C	620.10
17	6,584.26	PLAN 3-R	A	641.50	68	5,828.73	PLAN 1-R	B	618.00
18	6,333.82	PLAN 1-R	C	639.00	69	10,805.43	PLAN 2	B	619.50
19	6,236.31	PLAN 1	B	636.25	70	8,515.34	PLAN 3	A	621.00
20	6,293.84	PLAN 2-R	A	631.50	71	8,300.00	PLAN 2	C	621.00
21	6,198.32	PLAN 3-R	C	631.50	72	7,870.77	PLAN 1	A	621.50
22	6,795.25	PLAN 2-R	A	629.50	73	7,799.47	PLAN 2	B	621.50
23	6,798.68	PLAN 3-R	B	627.50	74	7,807.93	PLAN 1	C	622.00
24	6,095.77	PLAN 1-R	A	625.50	75	8,009.83	PLAN 3-R	A	622.50
25	6,628.15	PLAN 2-R	C	624.50	76	8,238.61	PLAN 3	C	624.50
26	6,122.00	PLAN 2-R	B	621.25	77	7,947.37	PLAN 3-R	B	628.50
27	6,480.28	PLAN 1-R	C	621.25	78	7,651.25	PLAN 1-R	A	633.00
28	5,807.74	PLAN 2	A	627.00	79	6,966.95	PLAN 2-R	C	641.75
29	5,800.19	PLAN 1	C	623.00	80	7,525.41	PLAN 1	B	647.00
30	5,679.46	PLAN 3	A	624.50	81	9,889.99	PLAN 1	B	647.00
31	5,800.31	PLAN 1-R	B	623.00	82	12,764.28	PLAN 3	B	648.00
32	6,033.48	PLAN 3	C	626.00	83	10,335.85	PLAN 3-R	C	655.00
33	6,881.36	PLAN 1	A	628.00	84	10,366.20	PLAN 3	A	644.00
34	7,606.96	PLAN 3-R	B	635.00	85	9,511.49	PLAN 2	B	635.00
35	5,696.40	PLAN 2	A	640.00	86	9,022.42	PLAN 3-R	C	629.00
36	5,426.74	PLAN 3	C	641.00	87	9,363.00	PLAN 2	A	624.00
37	6,198.81	PLAN 1	B	633.00	88	8,648.91	PLAN 3-R	B	627.00
38	7,180.56	PLAN 3	A	636.00	89	11,081.16	PLAN 2-R	A	620.00
39	6,288.32	PLAN 1	C	623.00	LOT A	3,683.15	VARIES	VARIES	682.00
40	6,191.22	PLAN 2	B	630.50	LOT B	11,038.85	VARIES	VARIES	VARIES
41	5,747.94	PLAN 3-R	C	620.00	LOT C	60,519.06	VARIES	VARIES	VARIES
42	5,850.86	PLAN 1	C	620.00	LOT D	11,729.45	VARIES	VARIES	VARIES
43	5,820.90	PLAN 2-R	A	619.50	LOT E	261,265.94	VARIES	VARIES	VARIES
44	6,104.00	PLAN 3	B	619.50	LOT F	685,398.06	VARIES	VARIES	VARIES
45	6,355.94	PLAN 3-R	C	619.50	LOT G	46,478.96	VARIES	VARIES	VARIES
46	6,300.01	PLAN 3	A	619.50	LOT H	2,517.97	VARIES	VARIES	VARIES
47	5,880.00	PLAN 1	C	620.00	LOT I	2,098.91	VARIES	VARIES	VARIES
48	5,175.00	PLAN 2	B	620.00	LOT J	6,375.96	VARIES	VARIES	VARIES
49	5,880.00	PLAN 3	B	620.00	LOT K	2,200.00	VARIES	VARIES	VARIES
50	5,930.00	PLAN 1-R	A	620.00	LOT L	135,626.38	VARIES	VARIES	VARIES
51	5,359.89	PLAN 3	C	621.00	LOT M	32,849.78	VARIES	VARIES	VARIES

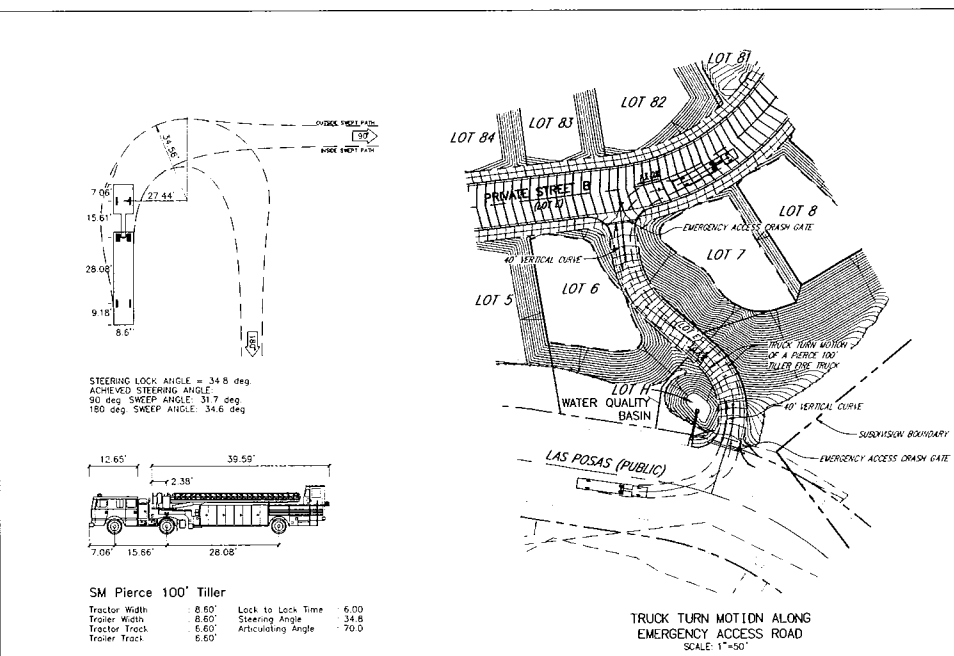
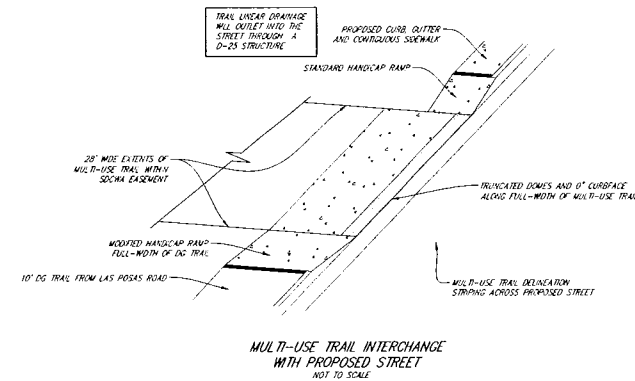
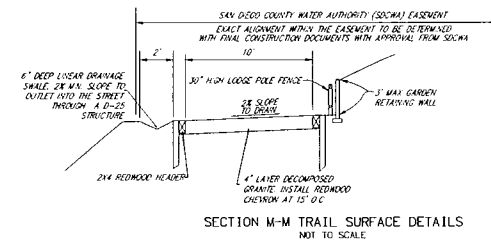
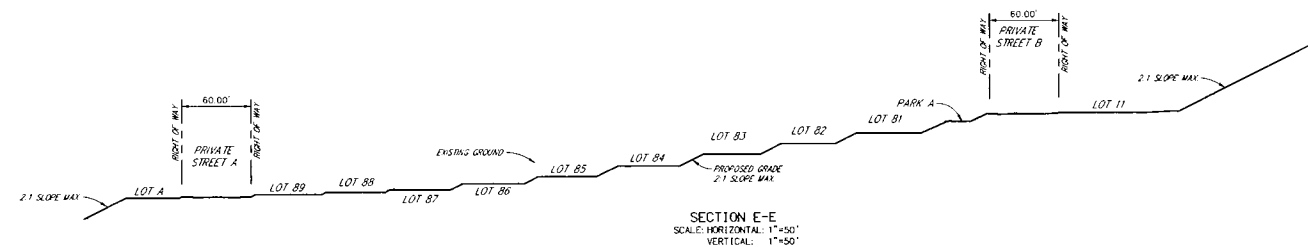
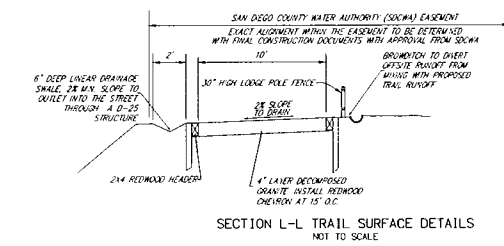
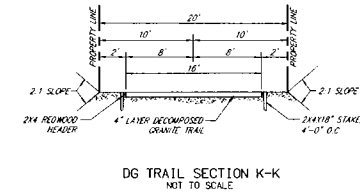
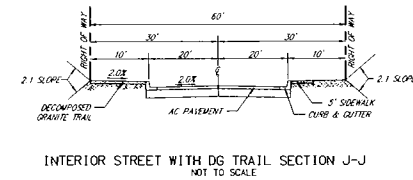
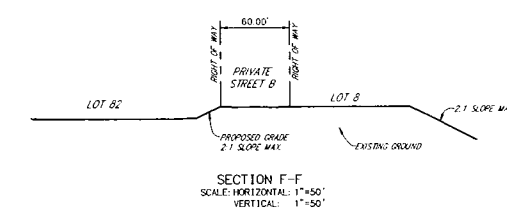
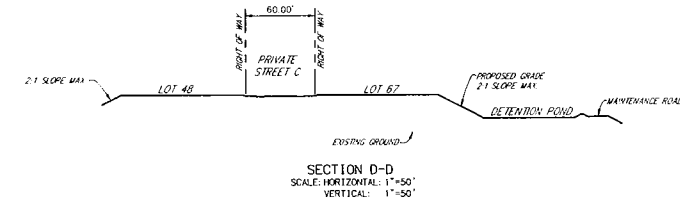
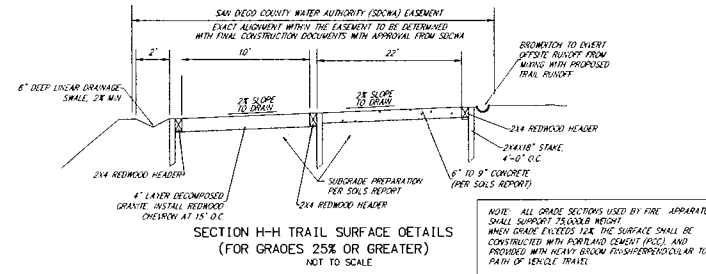
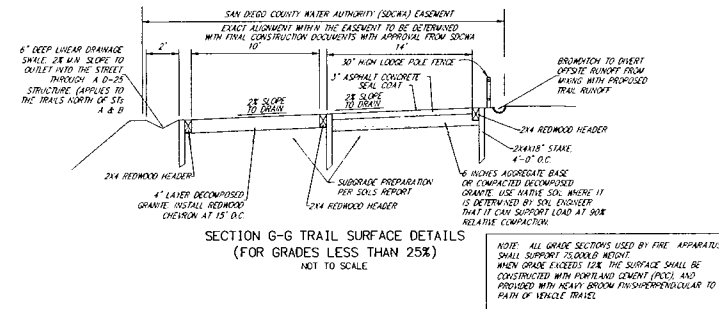
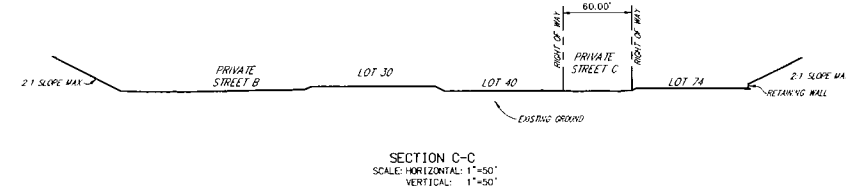
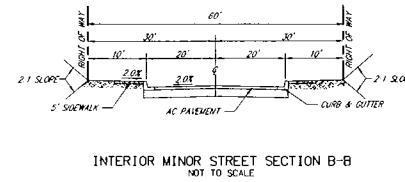
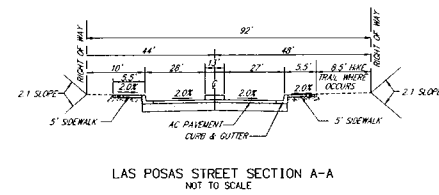
COUNTY OF SAN DIEGO
CITY OF SAN MARCOS



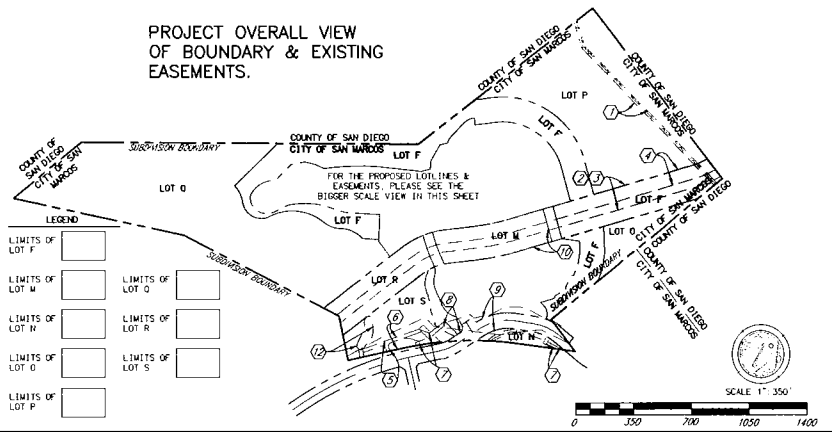
TENTATIVE MAP FOR SAN MARCOS MURAI

TSM 15-007

SHEET 6 OF 8 SHEETS
PROJECT CROSS SECTIONS



PROJECT OVERALL VIEW
OF BOUNDARY & EXISTING
EASEMENTS.



TENTATIVE MAP FOR SAN MARCOS MURAI TSM 15-007

EXISTING EASEMENTS AS NOTED IN AMENDED
PRELIMINARY TITLE REPORT ORDER NO. LJ-4344952,
DATED 8/11/2015

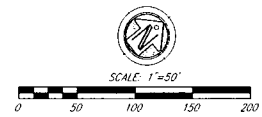
SHEET 7 OF 8 SHEETS
MAP SHEET

- AN EASEMENT FOR PIPELINES OR OTHER WORKS OF VISTA IRRIGATION DISTRICT THEN EXISTING AND INCIDENTAL PURPOSES IN FAVOR OF VISTA IRRIGATION DISTRICT, RECORDED AUGUST 25, 1939 IN BOOK 937, PAGE 172 OF OFFICIAL RECORDS.
- AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER AUTHORITY, RECORDED JULY 31, 1958 IN BOOK 7152, PAGE 371 OF OFFICIAL RECORDS. SAN DIEGO COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEARING AND MAINTENANCE WITHIN THE EASEMENT AREA.
- AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER AUTHORITY, RECORDED AUGUST 1, 1958 IN BOOK 7154, PAGE 18 OF OFFICIAL RECORDS. SAN DIEGO COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEARING AND MAINTENANCE WITHIN THE EASEMENT AREA.
- AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER AUTHORITY, RECORDED AUGUST 22, 1959 AS INSTRUMENT NO. 154240 OF OFFICIAL RECORDS. SAN DIEGO COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEARING AND MAINTENANCE WITHIN THE EASEMENT AREA.
- AN EASEMENT FOR ACCESS AND DRAINAGE AND INCIDENTAL PURPOSES IN FAVOR OF CITY OF SAN MARCOS, RECORDED NOVEMBER 5, 1991 AS INSTRUMENT NO. 91-057668 OF OFFICIAL RECORDS.

- AN EASEMENT FOR SLOPE AND INCIDENTAL PURPOSES IN FAVOR OF THE CITY OF SAN MARCOS, RECORDED NOVEMBER 5, 1991 AS INSTRUMENT NO. 91-057668 OF OFFICIAL RECORDS.
- AN EASEMENT FOR DRAINAGE AND INCIDENTAL PURPOSES IN FAVOR OF CITY OF SAN MARCOS, RECORDED OCTOBER 21, 2001 AS INSTRUMENT NO. 03-128867 OF OFFICIAL RECORDS.
- AN EASEMENT FOR SLOPES AND INCIDENTAL PURPOSES IN FAVOR OF CITY OF SAN MARCOS, RECORDED OCTOBER 21, 2003 AS INSTRUMENT NO. 03-128868 OF OFFICIAL RECORDS.
- AN EASEMENT FOR PUBLIC STREET AND UTILITY AND DRAINAGE PURPOSES AND INCIDENTAL PURPOSES IN FAVOR OF CITY OF SAN MARCOS, RECORDED FEBRUARY 26, 2004 AS INSTRUMENT NO. 2004-0152472 OF OFFICIAL RECORDS.
- AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER AUTHORITY, RECORDED FEBRUARY 14, 2014 AS INSTRUMENT NO. 2013-014574 AND RE-CORDED FEBRUARY 14, 2014 AS INSTRUMENT NO. 00000000 OF OFFICIAL RECORDS. SAN DIEGO COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEARING AND MAINTENANCE WITHIN THE EASEMENT AREA.
- AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SAN DIEGO COUNTY WATER AUTHORITY, RECORDED MAY 20, 2013 AS INSTRUMENT NO. 2013-014574 AND RE-CORDED FEBRUARY 14, 2014 AS INSTRUMENT NO. 00000000 OF OFFICIAL RECORDS. SAN DIEGO COUNTY WATER AUTHORITY IS RESPONSIBLE FOR CLEARING AND MAINTENANCE WITHIN THE EASEMENT AREA.
- A PERPETUAL CONSERVATION EASEMENT, RECORDED OCTOBER 26, 2004 AS INSTRUMENT NO. 2004-0152472 OF OFFICIAL RECORDS.

NOTES ON THE PROPOSED LETTERED LOTS
LOT "A" - FOR PARK PURPOSES
LOT "B" - FOR PARK PURPOSES
LOT "C" - FOR PARK PURPOSES
LOT "D" - FOR PARK PURPOSES
LOT "E" - FOR PRIVATE STREET DRAINAGE ACCESS & PUBLIC UTILITY PURPOSES
LOT "F" - FOR OPEN SPACE PURPOSES
LOT "G" - FOR DRAINAGE & WATER QUALITY PURPOSES
LOT "H" - FOR DRAINAGE ACCESS & SEWER PURPOSES
LOT "I" - FOR DRAINAGE PURPOSES
LOT "J" - FOR OPEN SPACE PURPOSES
LOT "K" - FOR OPEN SPACE PURPOSES

LOT INFORMATION					
LOT NO.	GROSS/NET LOT AREA(S)	PAD ELEVATION	LOT NO.	GROSS/NET LOT AREA(S)	PAD ELEVATION
1	8,398.05	620.00	55	5,891.08	622.00
2	8,190.44	622.00	56	6,000.84	622.00
3	9,190.93	625.00	57	6,831.57	622.50
4	9,491.04	622.00	58	7,620.49	621.00
5	10,451.44	641.00	59	7,562.57	621.50
6	11,968.89	651.50	60	6,622.55	624.00
7	11,302.56	667.50	61	5,782.50	621.60
8	7,967.17	673.50	62	6,035.21	621.10
9	7,136.17	680.50	63	5,341.16	621.10
10	6,577.41	686.50	64	5,913.06	620.60
11	6,478.10	689.50	65	5,108.83	620.60
12	6,645.48	690.50	66	5,579.07	620.10
13	5,938.65	691.25	67	5,116.66	620.10
14	7,259.91	693.25	68	5,828.73	618.60
15	5,500.00	697.75	69	10,806.43	619.50
16	6,495.83	694.00	70	8,515.14	621.00
17	6,584.26	691.50	71	8,130.02	621.00
18	6,333.82	693.00	72	7,876.77	621.50
19	6,256.31	696.25	73	7,799.47	621.50
20	6,155.84	693.50	74	7,812.93	621.00
21	6,198.32	691.50	75	8,009.83	621.50
22	6,295.25	692.50	76	8,288.61	624.50
23	6,208.48	697.50	77	7,941.27	628.50
24	6,099.77	695.50	78	7,411.76	635.00
25	6,678.15	694.50	79	6,966.95	641.75
26	9,132.00	691.25	80	7,543.41	647.00
27	6,483.70	691.25	81	9,388.99	672.00
28	5,807.74	692.00	82	12,364.28	663.00
29	5,860.19	693.00	83	10,535.85	654.00
30	5,692.46	691.50	84	10,586.20	641.00
31	5,895.31	695.00	85	9,541.49	651.00
32	6,033.48	696.00	86	9,022.42	639.00
33	6,881.36	698.00	87	9,183.00	634.00
34	7,026.99	695.00	88	8,649.91	632.00
35	5,006.85	691.00	89	11,093.19	620.00
36	5,426.74	691.00			
37	6,998.81	693.00	LOT A	3,681.15	682.00
38	7,289.54	696.00	LOT B	13,038.15	VARIES
39	6,288.32	693.00	LOT C	60,519.06	VARIES
40	6,191.22	690.50	LOT D	11,725.46	VARIES
41	5,747.94	690.00	LOT E	261,265.84	VARIES
42	5,055.86	690.00	LOT F	685,788.06	VARIES
43	5,820.90	619.50	LOT G	46,478.96	VARIES
44	6,104.70	619.50	LOT H	2,572.97	VARIES
45	6,355.84	619.50	LOT I	2,088.91	VARIES
46	6,300.00	619.50	LOT J	6,315.96	VARIES
47	6,880.00	619.50	LOT K	2,200.00	VARIES
48	5,775.00	620.00	LOT L	135,828.38	VARIES
49	6,880.00	620.00	LOT M	52,885.78	VARIES
50	5,950.00	620.00	LOT N	85,305.42	VARIES
51	5,159.89	621.00	LOT P	843,738.52	VARIES
52	6,002.81	621.00	LOT Q	598,148.28	VARIES
53	5,891.08	621.50	LOT R	171,362.74	VARIES
54	6,000.84	621.50	LOT S	162,781.23	VARIES



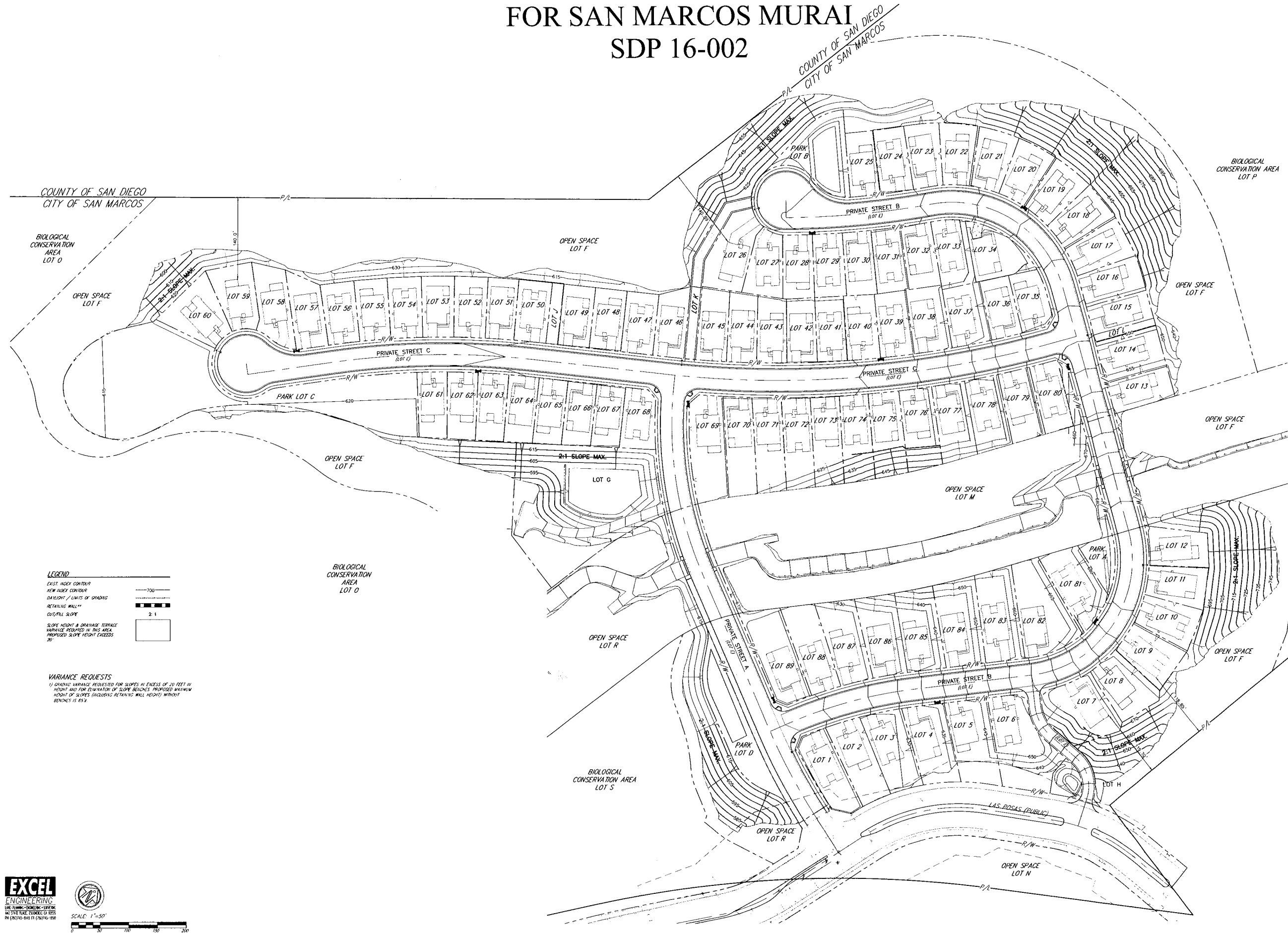
STREET CENTERLINE DATA		
NO.	DELT/AL/BERG	LENGTH
1	N51°42'47"W	81.39'
2	S81°01'34"W	158.21'
3	S81°01'34"W	158.21'
4	N74°38'00"W	232.52'
5	S81°01'34"W	158.21'
6	N45°27'19"W	20.50'
7	N57°16'12"E	30.17'
8	S81°01'34"W	158.21'
9	N51°07'40"E	201.03'
10	S81°01'34"W	158.21'
11	S81°01'34"W	158.21'
12	S81°01'34"W	158.21'
13	S81°01'34"W	158.21'
14	S81°01'34"W	158.21'
15	S81°01'34"W	158.21'
16	S81°01'34"W	158.21'
17	S81°01'34"W	158.21'
18	S81°01'34"W	158.21'
19	S81°01'34"W	158.21'
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21	S81°01'34"W	158.21'
22	S81°01'34"W	158.21'
23	S81°01'34"W	158.21'
24	S81°01'34"W	158.21'
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36	S81°01'34"W	158.21'
37	S81°01'34"W	158.21'
38	S81°01'34"W	158.21'
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49	S81°01'34"W	158.21'
50	S81°01'34"W	158.21'
51	S81°01'34"W	158.21'
52	S81°01'34"W	158.21'
53	S81°01'34"W	158.21'
54	S81°01'34"W	158.21'

EXCEL
ENGINEERING

0:\13\1307\TSM 15-007\TSM 15-007.TXD - LOT 15-007 - AMENDED - 8/11/2015

TENTATIVE MAP FOR SAN MARCOS MURAI SDP 16-002

SHEET 8 OF 8 SHEETS
SLOPE VARIANCE EXHIBIT

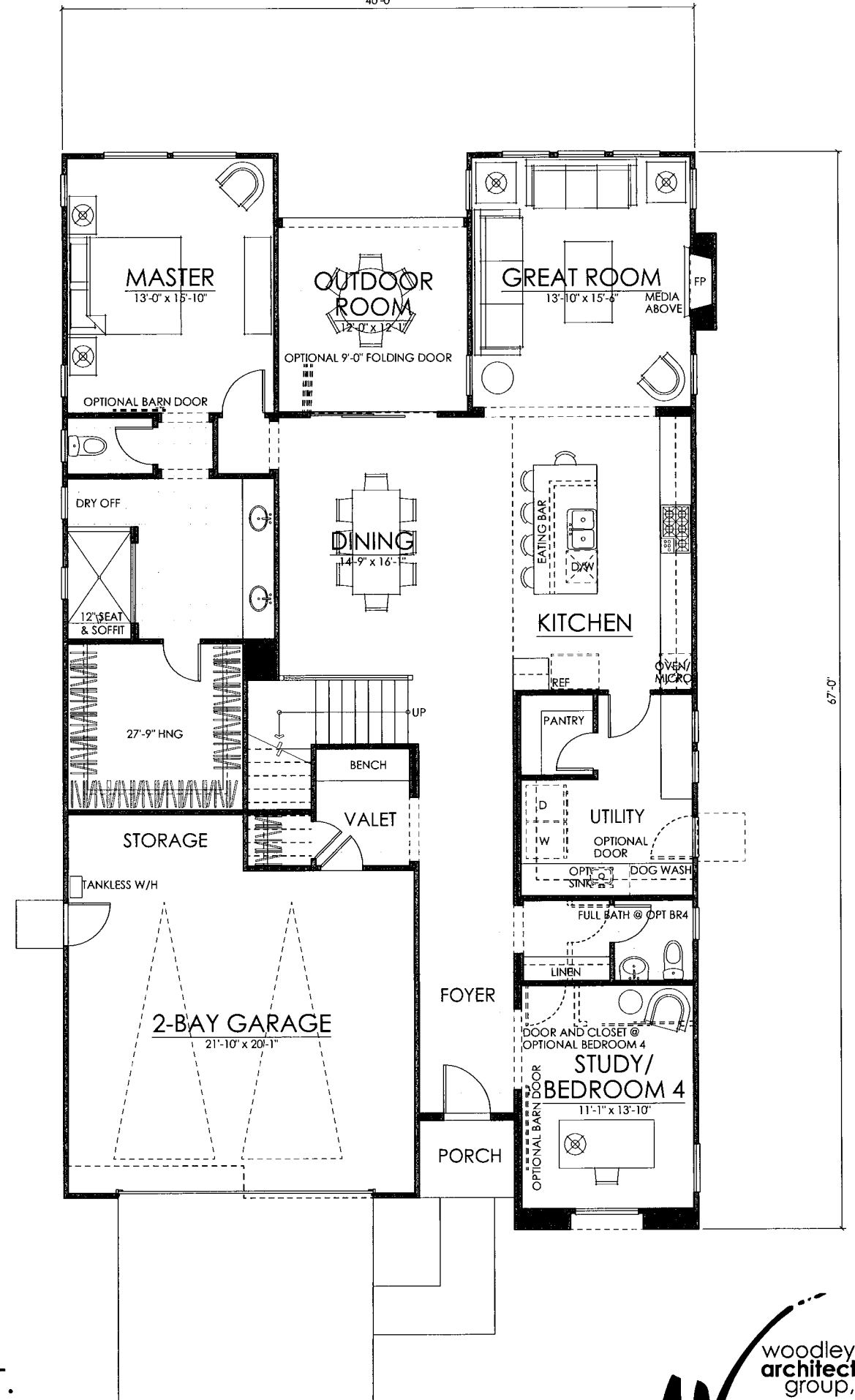
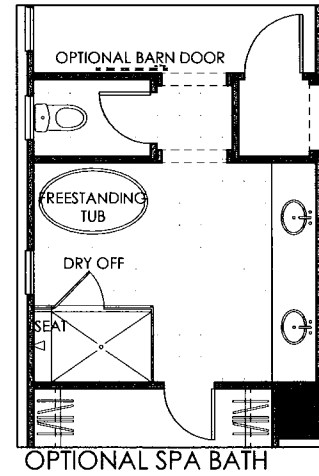
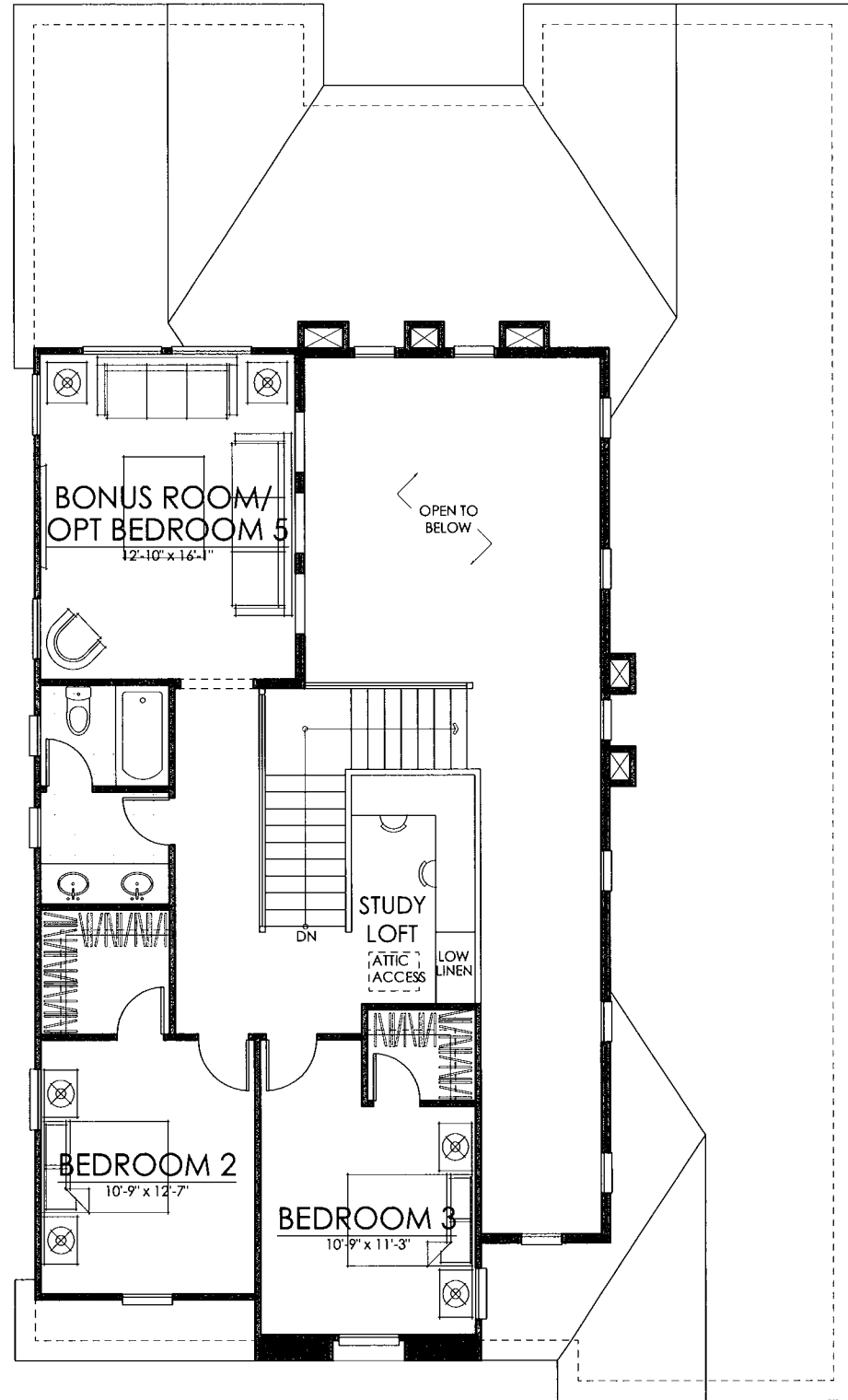


EXCEL
ENGINEERING
INCORPORATED
14000 LINDSEY DRIVE, SUITE 100
SAN MARCOS, CA 92069-1000
TEL: (760) 734-1100 FAX: (760) 734-1101



SCALE: 1"=50'

DATE: 10/17/24, BY: D.A.S., CHECKED: J.L.M., DATE: 10/17/24, BY: J.L.M., DATE: 10/17/24, BY: J.L.M.



FIRST FLOOR 1899 SQ. FT.
 SECOND FLOOR 854 SQ. FT.
 TOTAL LIVING 2753 SQ. FT.

PLAN ONE | 2753 SQ. FT.

MURAI | COLRICH
SAN MARCOS, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS
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02.01.16





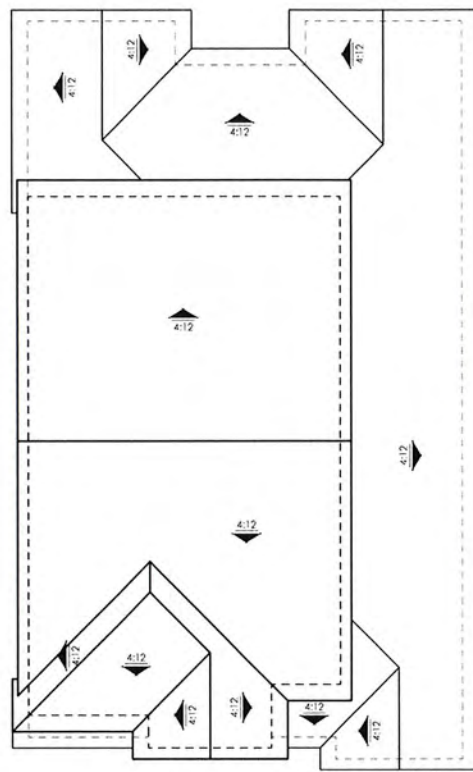
elevationA- santa barbara



elevationB- contemporary farmhouse



elevationC- contemporary craftsman



ROOF PLAN

SCALE: 1/8" = 1'-0"



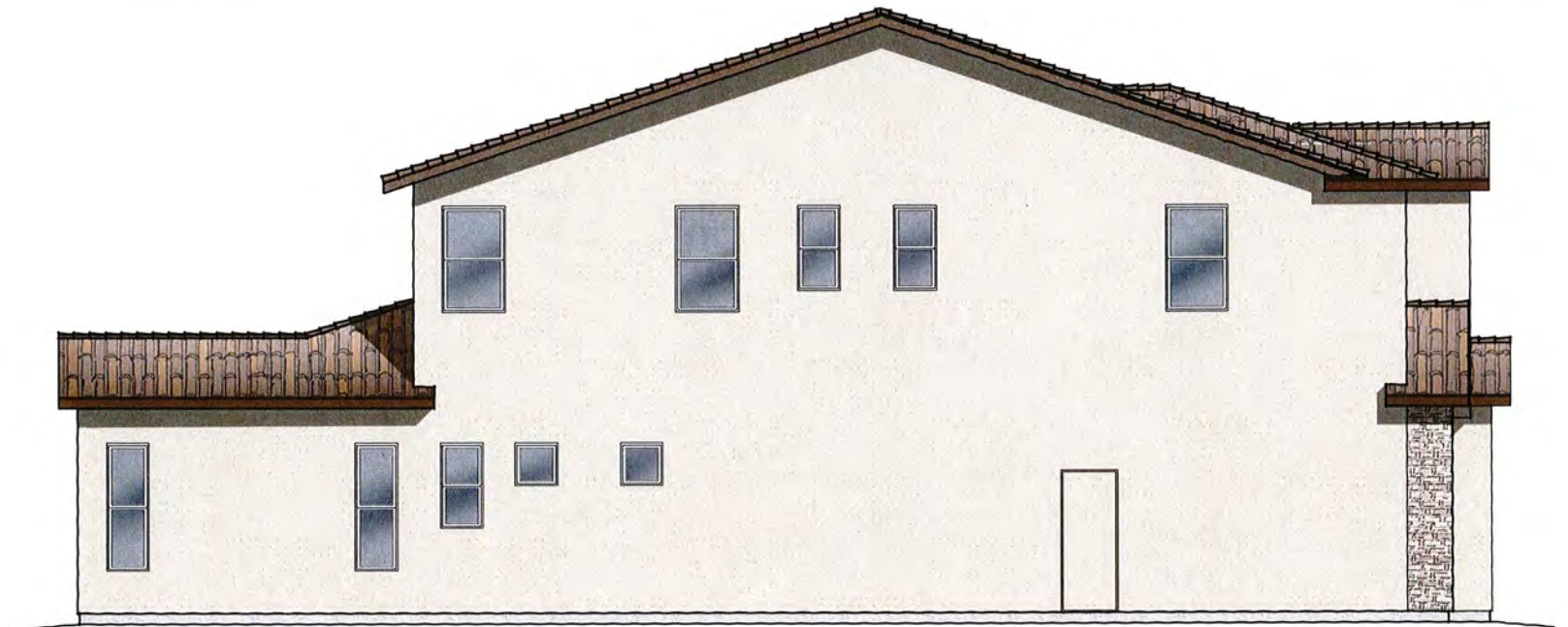
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

02.01.16



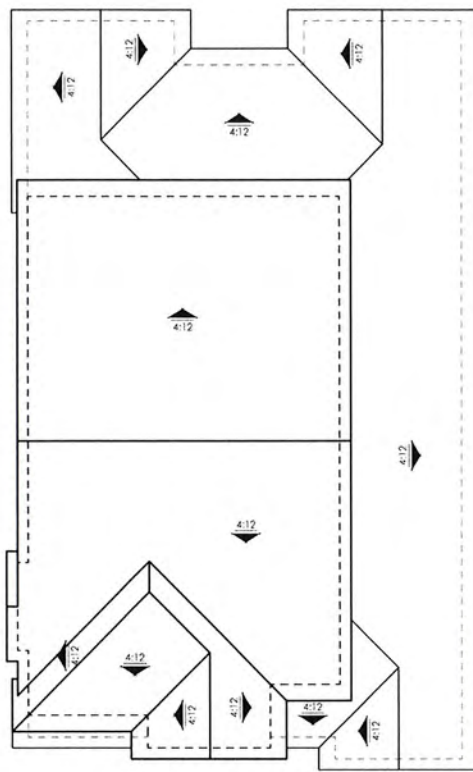
PLAN ONE | ELEVATION 'A'-SANTA BARBARA

MURAI | COLRICH
SAN MARCOS, CALIFORNIA



A3

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ROOF PLAN

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

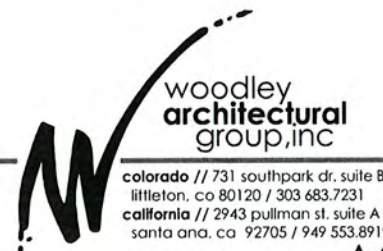
SCALE: 1/4" = 1'-0"

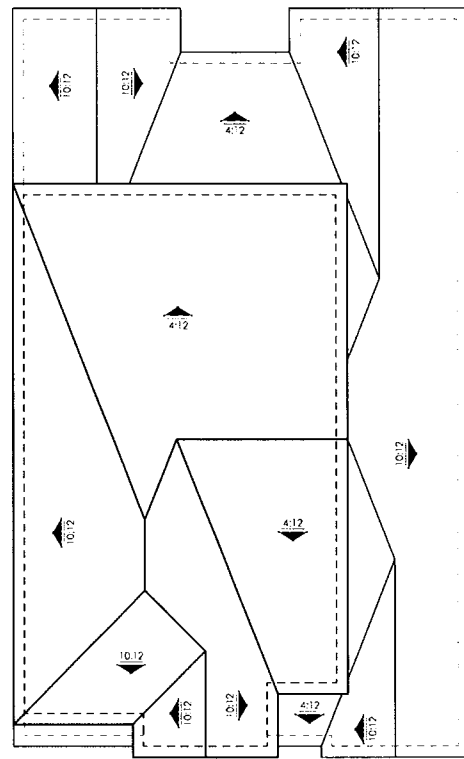
02.01.16

PLAN ONE | ELEVATION 'A' ENHANCED-SANTA BARBARA



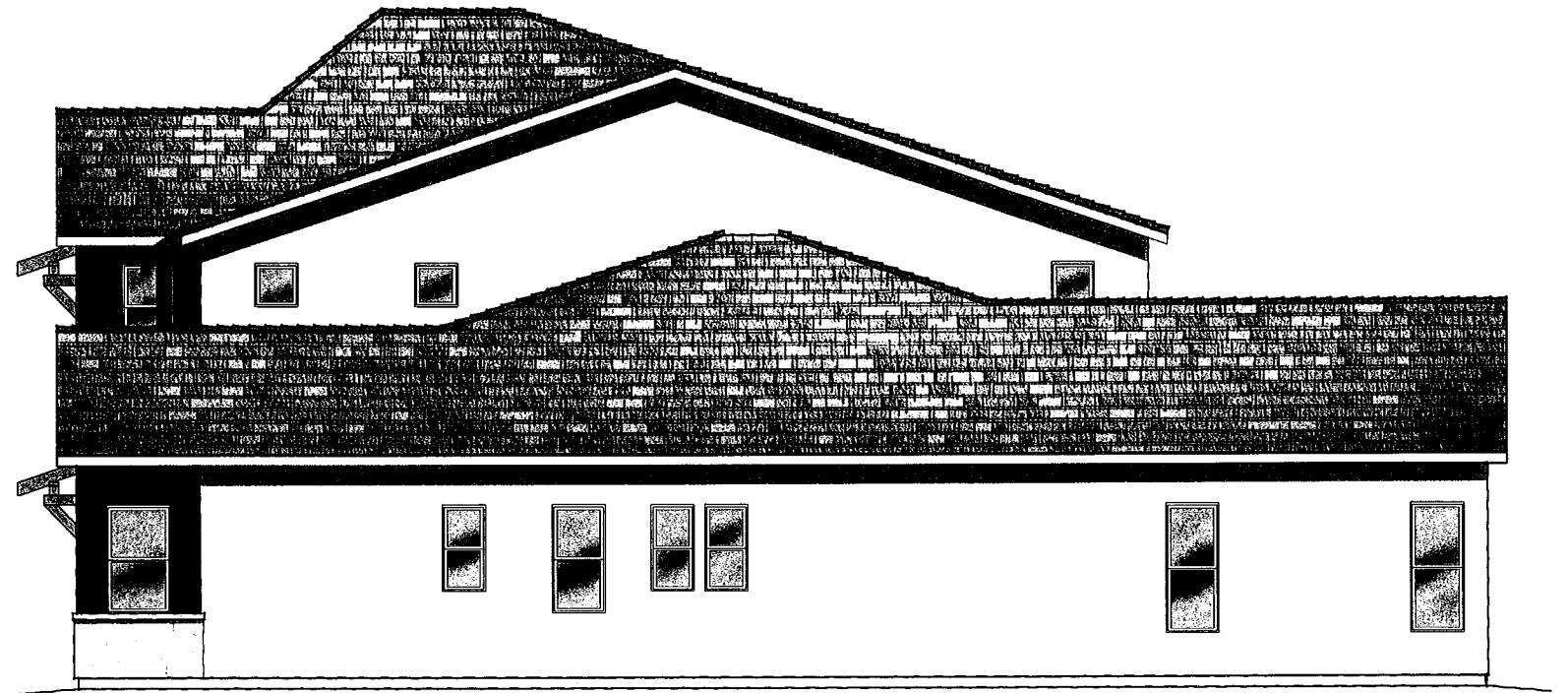
MURAI | COLRICH
SAN MARCOS, CALIFORNIA





ROOF PLAN

SCALE: 1/8" = 1'-0"



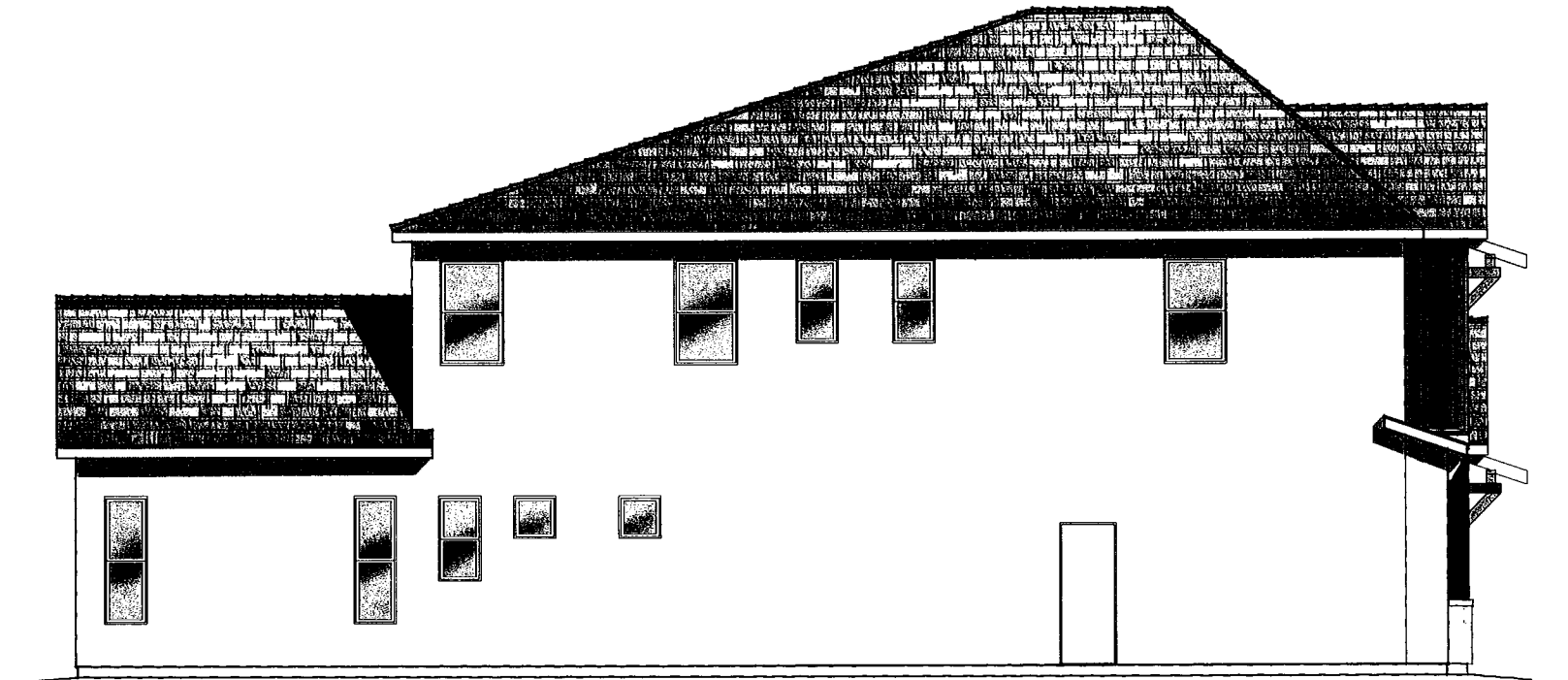
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

02.01.16

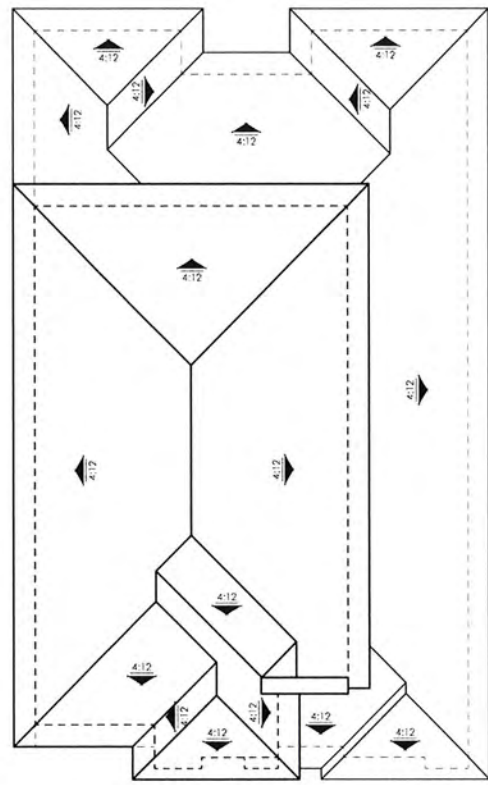


PLAN ONE | ELEVATION 'B'-CONTEMPORARY FARMHOUSE

MURAI | COLRICH
SAN MARCOS, CALIFORNIA

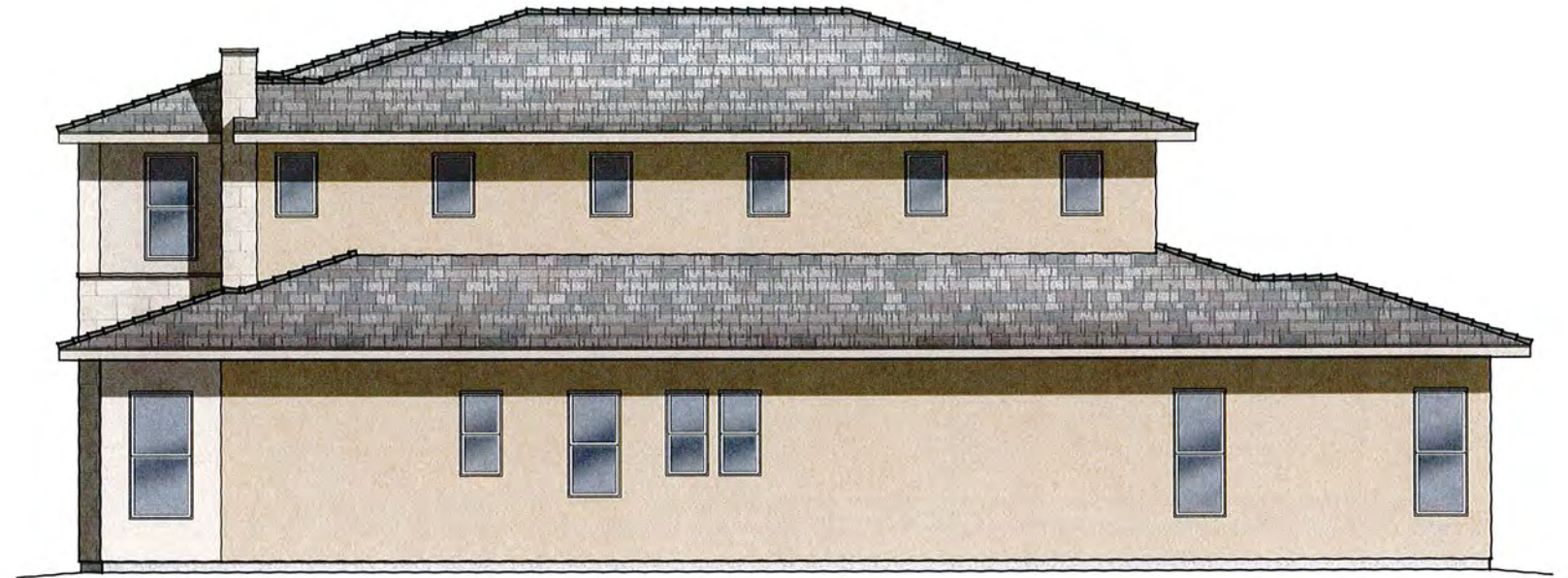
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architectural
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littleton, co 80120 / 303.683.7231
california // 2943 pullman st, suite A
san jose, ca 95128 / 408.553.8919

A5



ROOF PLAN

SCALE: 1/8" = 1'-0"



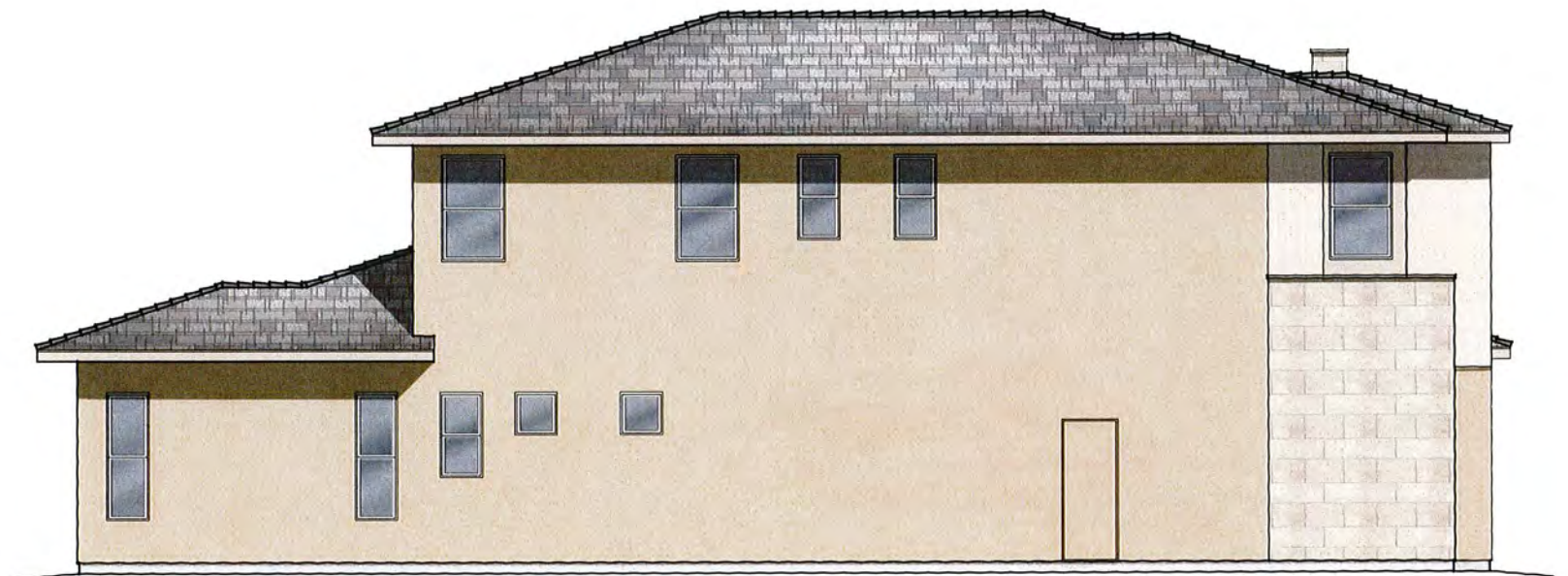
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

02.09.15



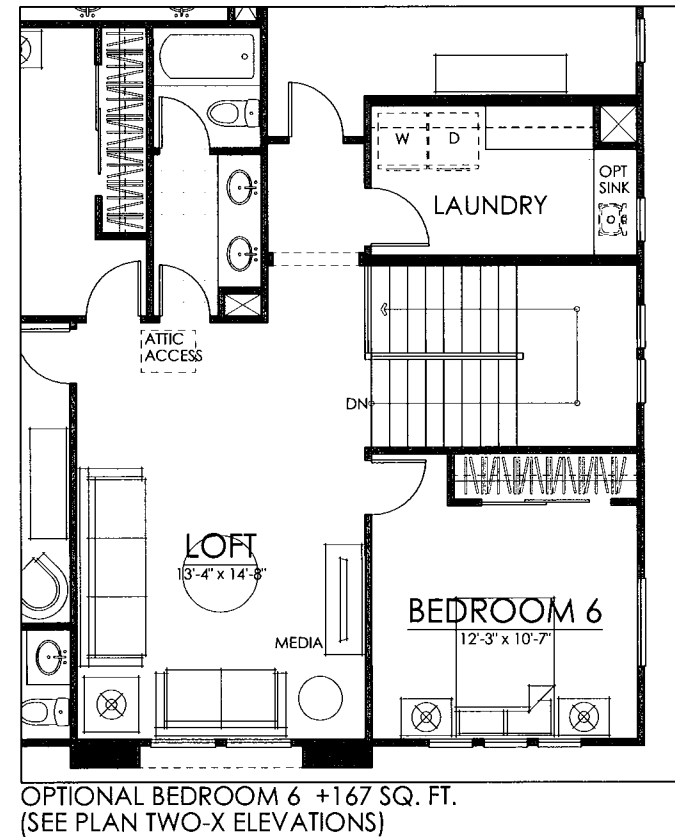
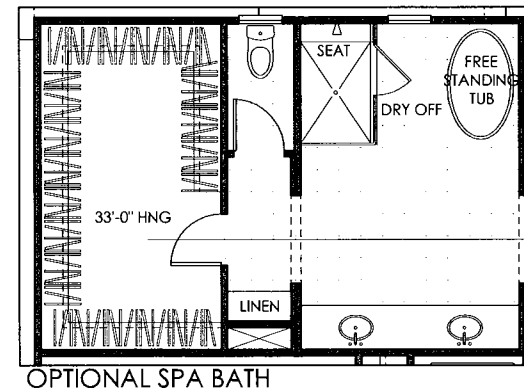
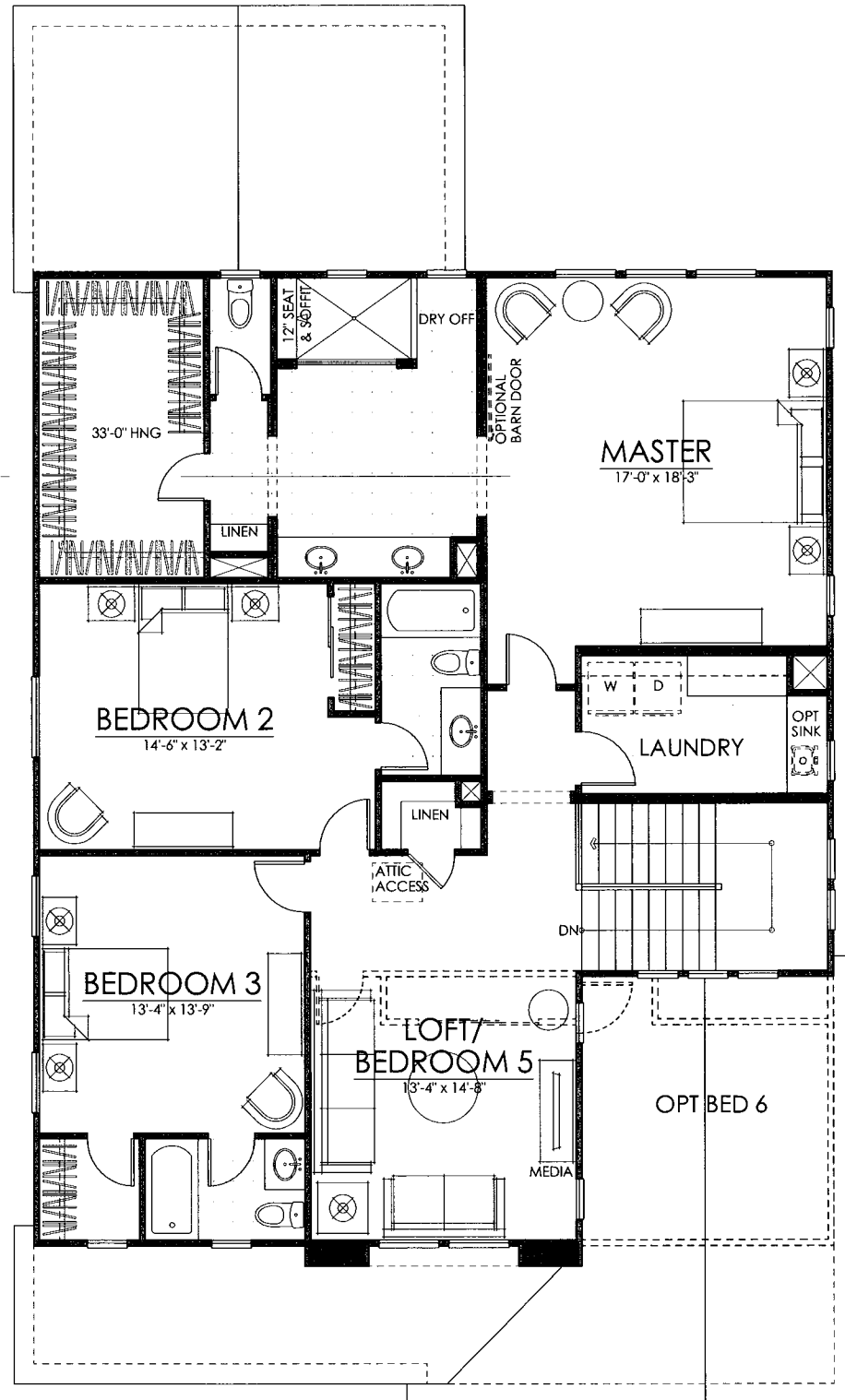
PLAN ONE | ELEVATION 'C'-CONTEMPORARY CRAFTSMAN

MURAI | COLRICH
SAN MARCOS, CALIFORNIA



A6

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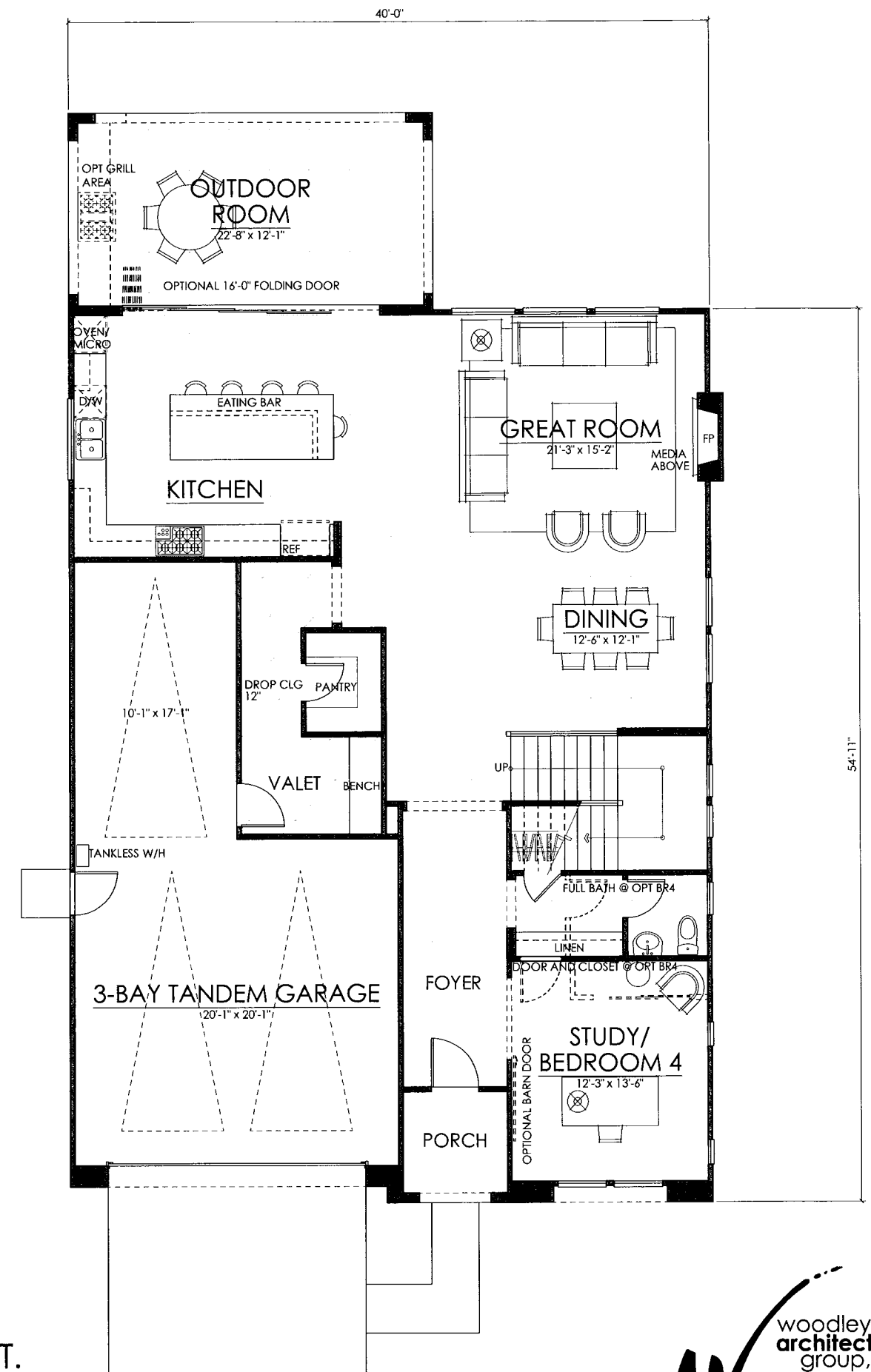
FIRST FLOOR 1505 SQ. FT.
SECOND FLOOR 1651 SQ. FT.
TOTAL LIVING 3156 SQ. FT.

PLAN TWO | 3156 SQ. FT.

MURAI | COLRICH
SAN MARCOS, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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A7



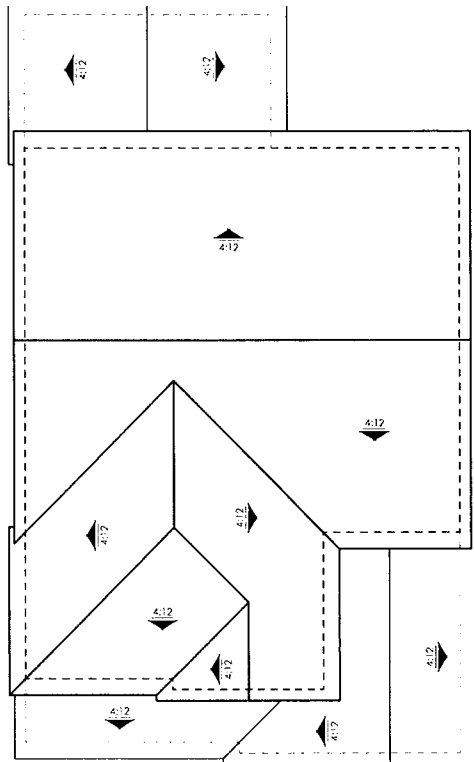
elevationA- santa barbara



elevationB- contemporary farmhouse



elevationC- contemporary craftsman



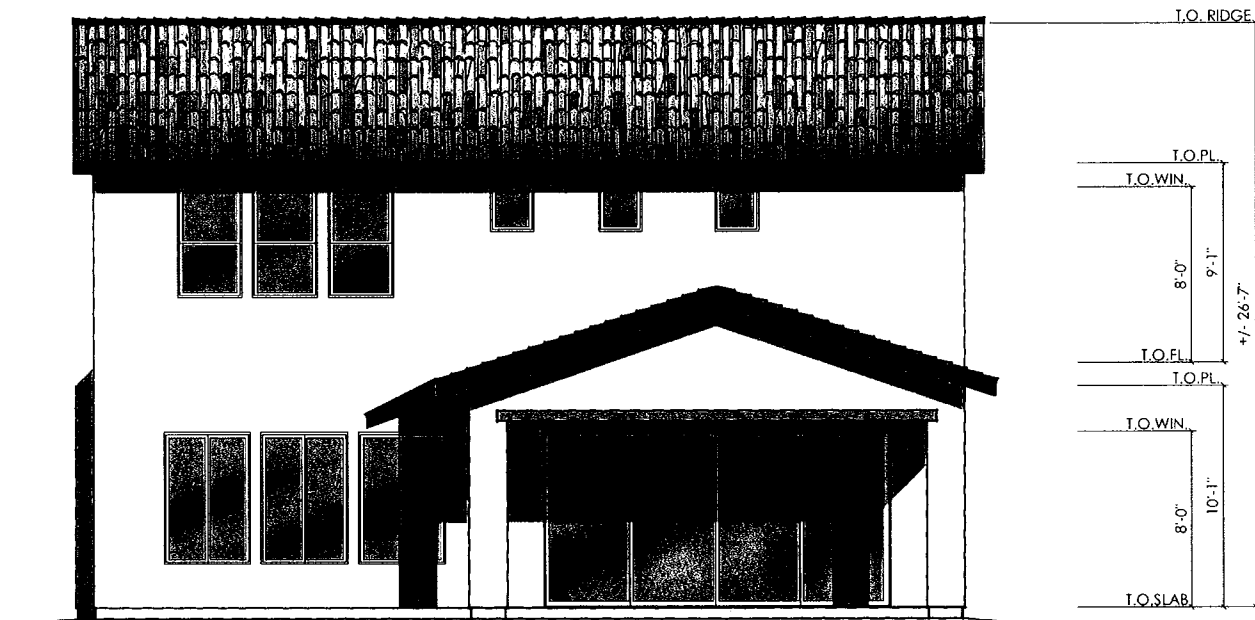
ROOF PLAN

SCALE: 1/8" = 1'-0"



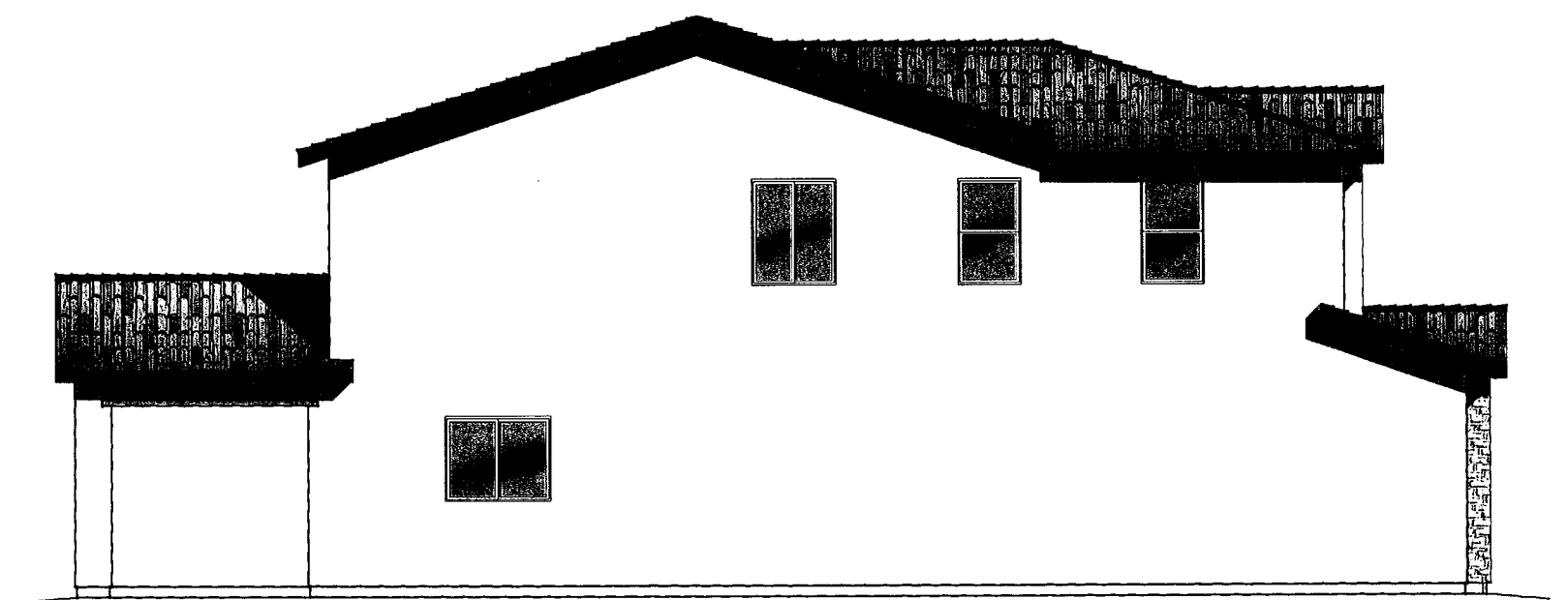
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

02.01.16

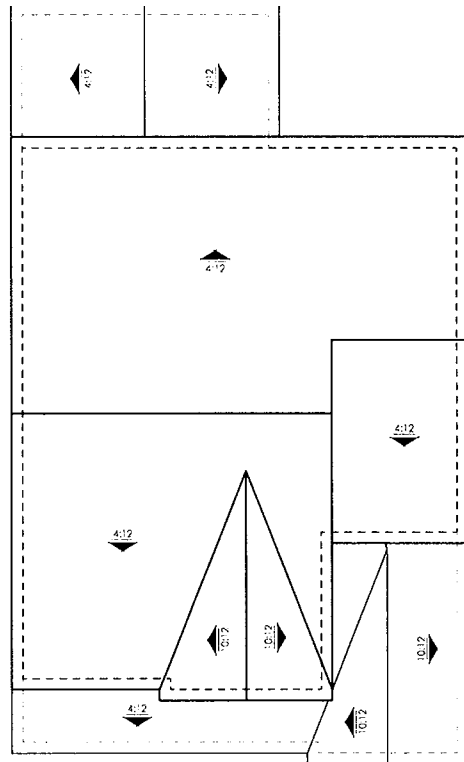


PLAN TWO | ELEVATION 'A'-SANTA BARBARA

MURAI | COLRICH
SAN MARCOS, CALIFORNIA



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ROOF PLAN

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

02.01.16

PLAN TWO | ELEVATION 'B'-CONTEMPORARY FARMHOUSE

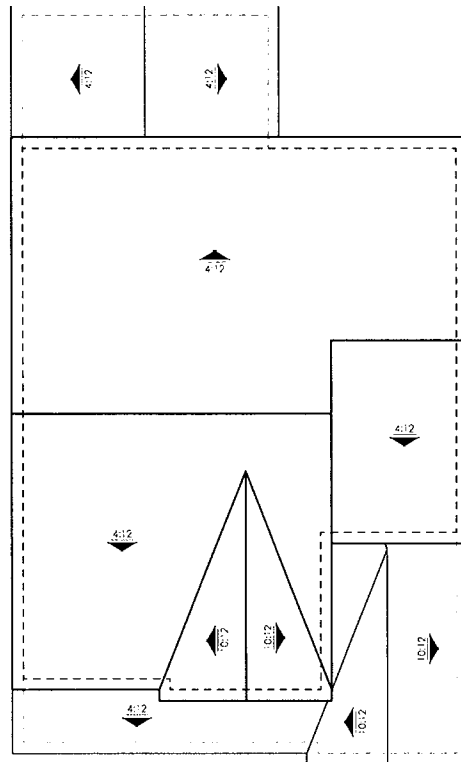
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A10

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ROOF PLAN

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



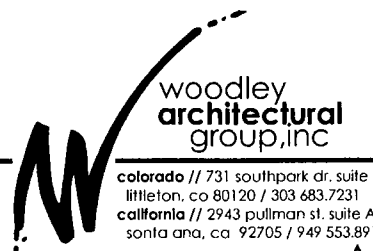
LEFT ELEVATION

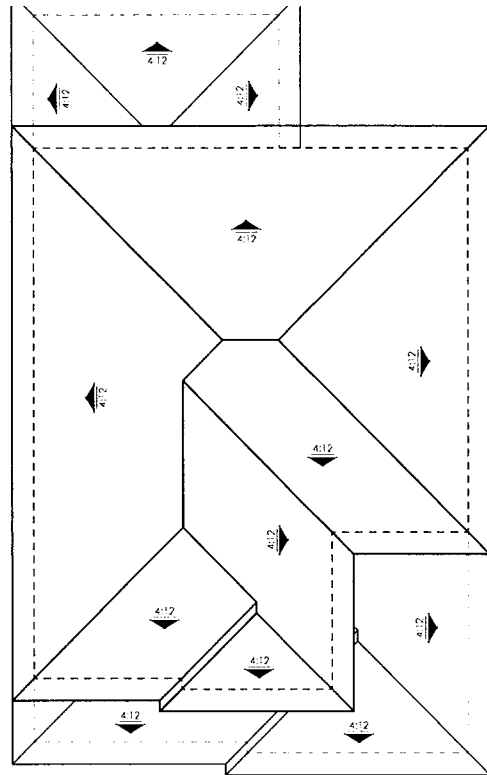
SCALE: 1/4" = 1'-0"

02.01.16

PLAN TWO | ELEVATION 'B' ENHANCED-CONTEMPORARY FARMHOUSE

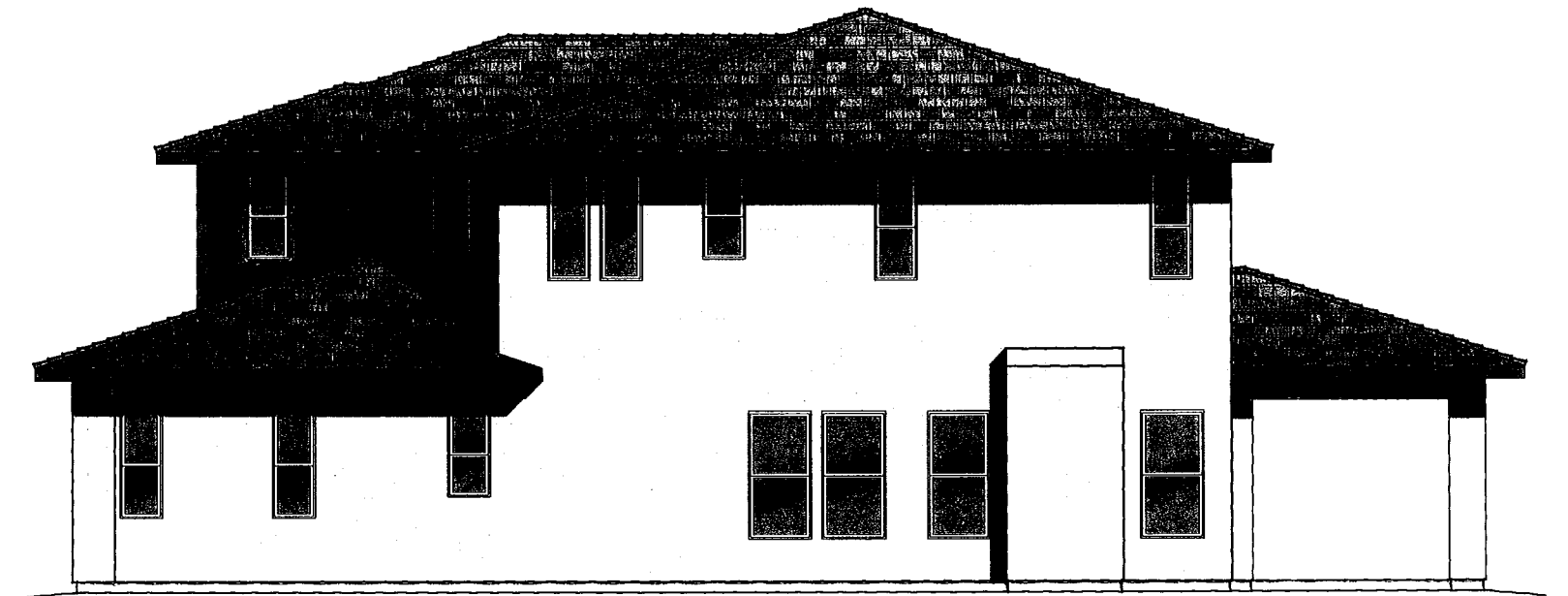
MURAI | COLRICH
SAN MARCOS, CALIFORNIA





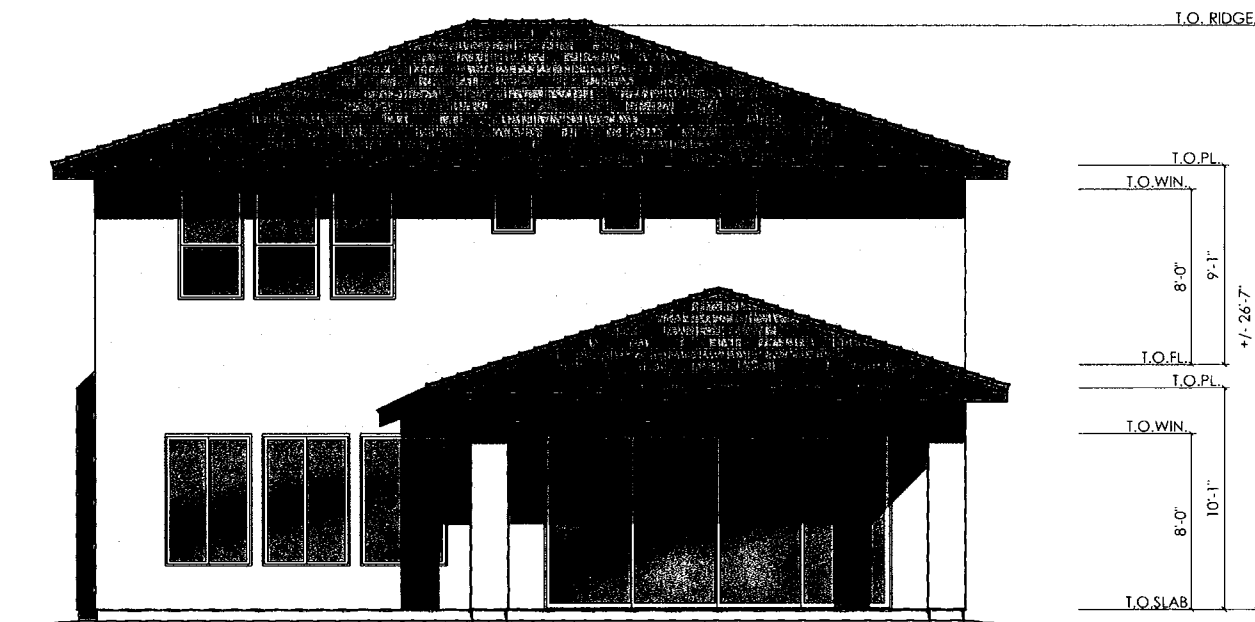
ROOF PLAN

SCALE: 1/8" = 1'-0"



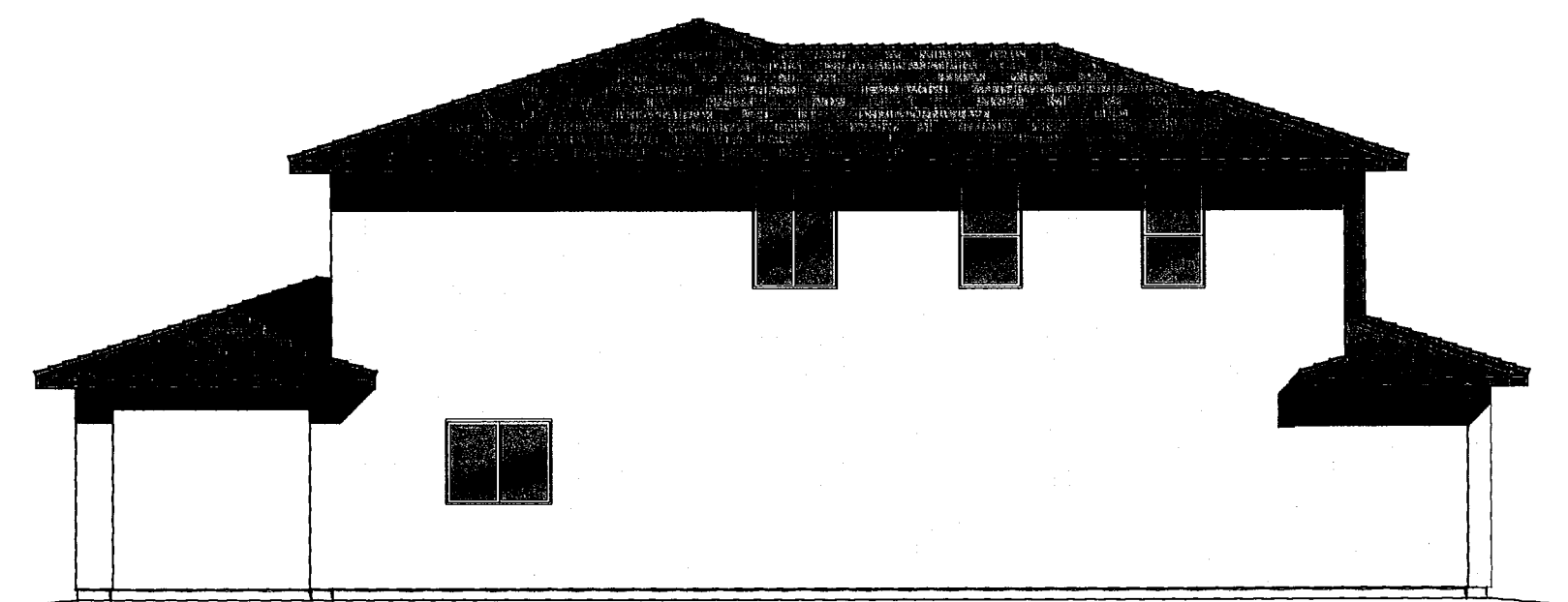
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

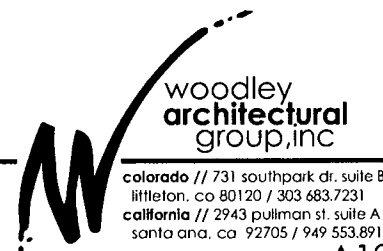
SCALE: 1/4" = 1'-0"

02.01.16

PLAN TWO | ELEVATION 'C'-CONTEMPORARY CRAFTSMAN



MURAI | COLRICH
SAN MARCOS, CALIFORNIA



A12

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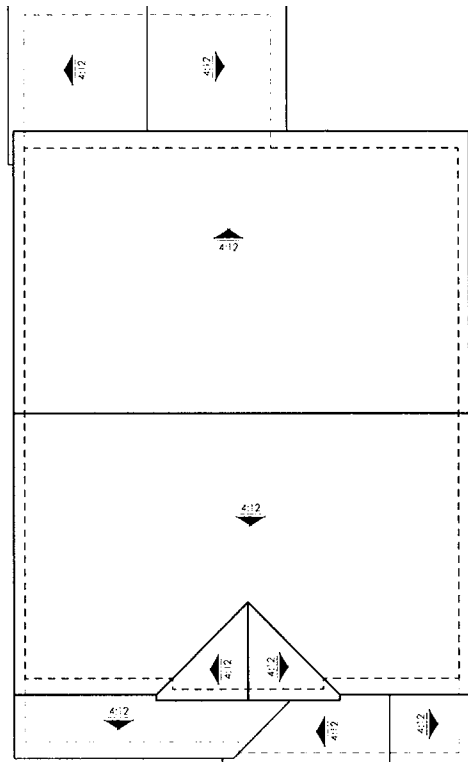
elevationA- santa barbara



elevationB- contemporary farmhouse



elevationC- contemporary craftsman



ROOF PLAN

SCALE: 1/8" = 1'-0"



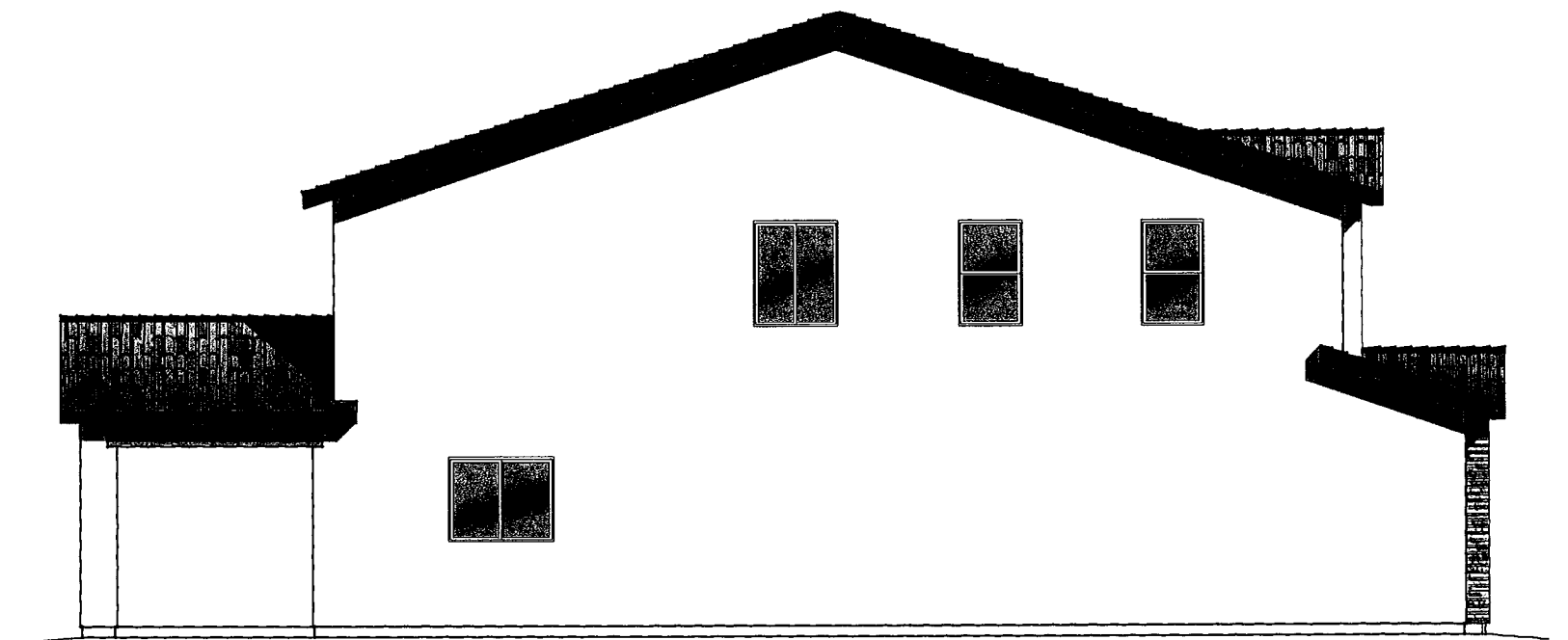
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

02.01.16

PLAN TWO-X | ELEVATION 'A'-SANTA BARBARA

MURAI | COLRICH
SAN MARCOS, CALIFORNIA



A14

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SCALE: 1/8" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



MURAI | COLRICH
SAN MARCOS, CALIFORNIA

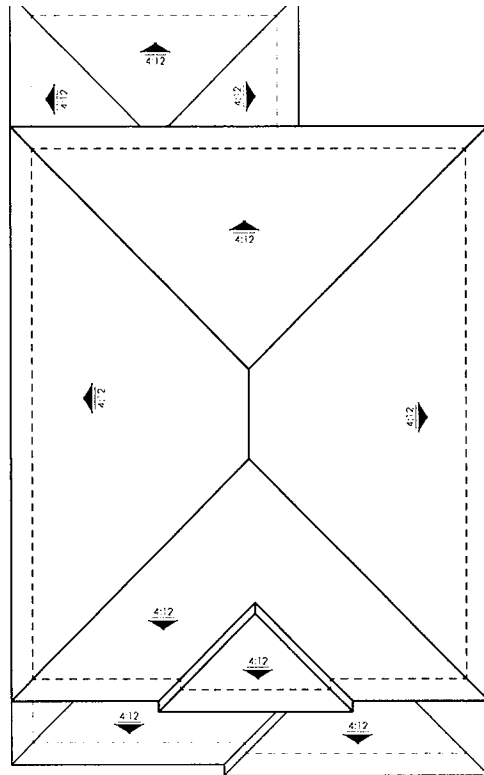
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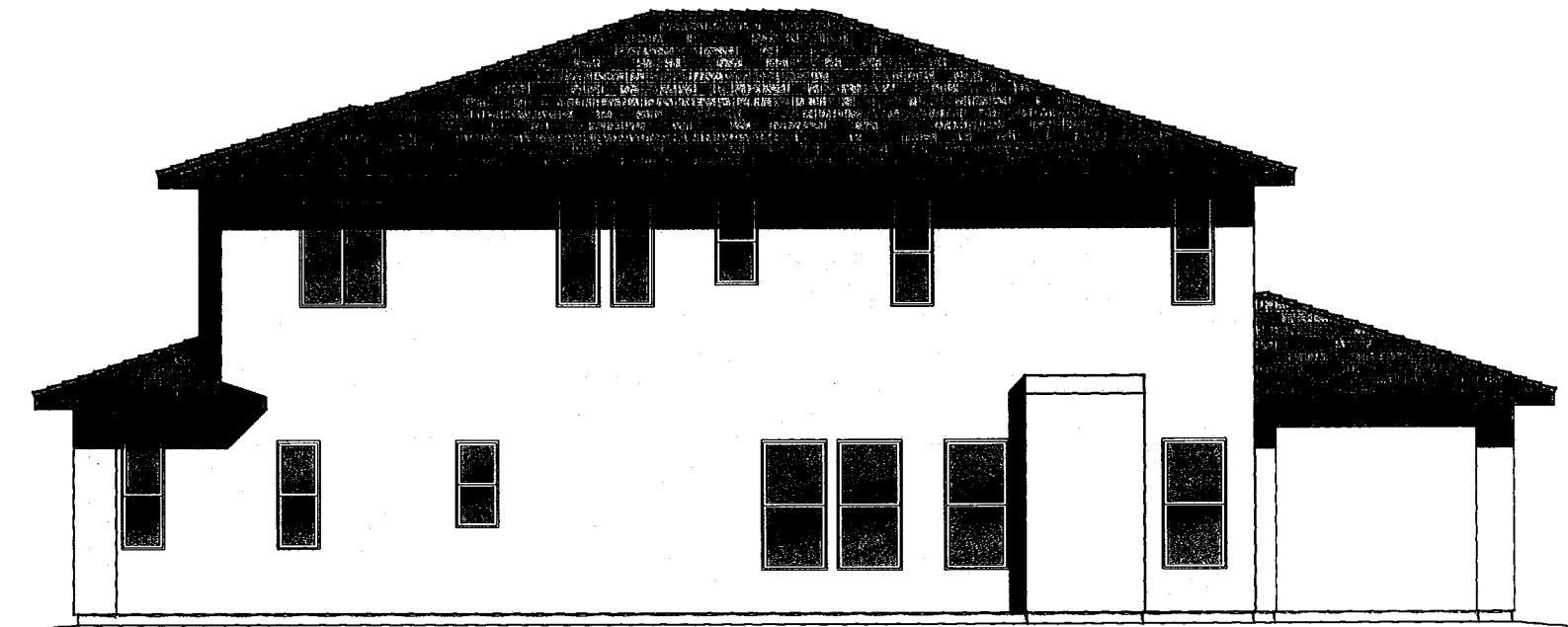
colorado // 731 southpark dr. suite
littletan, co 80120 / 303.683.7231
california // 2943 pullman st. suite A
santa ana, ca 92705 / 949.553.89

A15



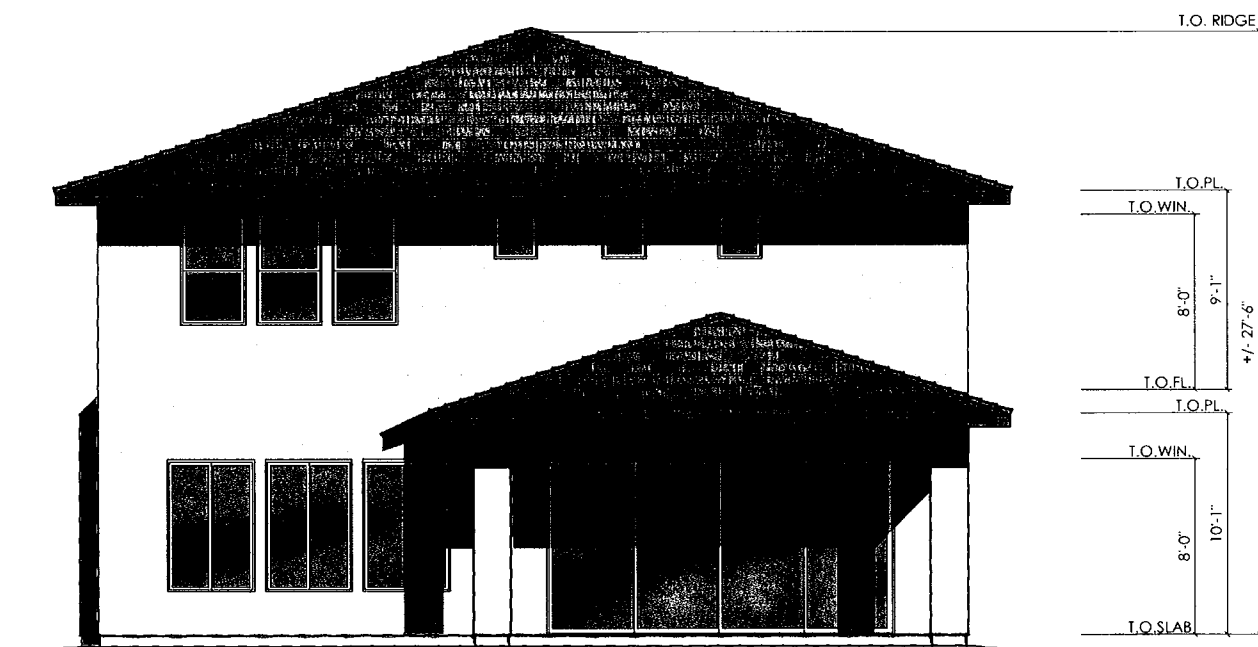
ROOF PLAN

SCALE: 1/8" = 1'-0"



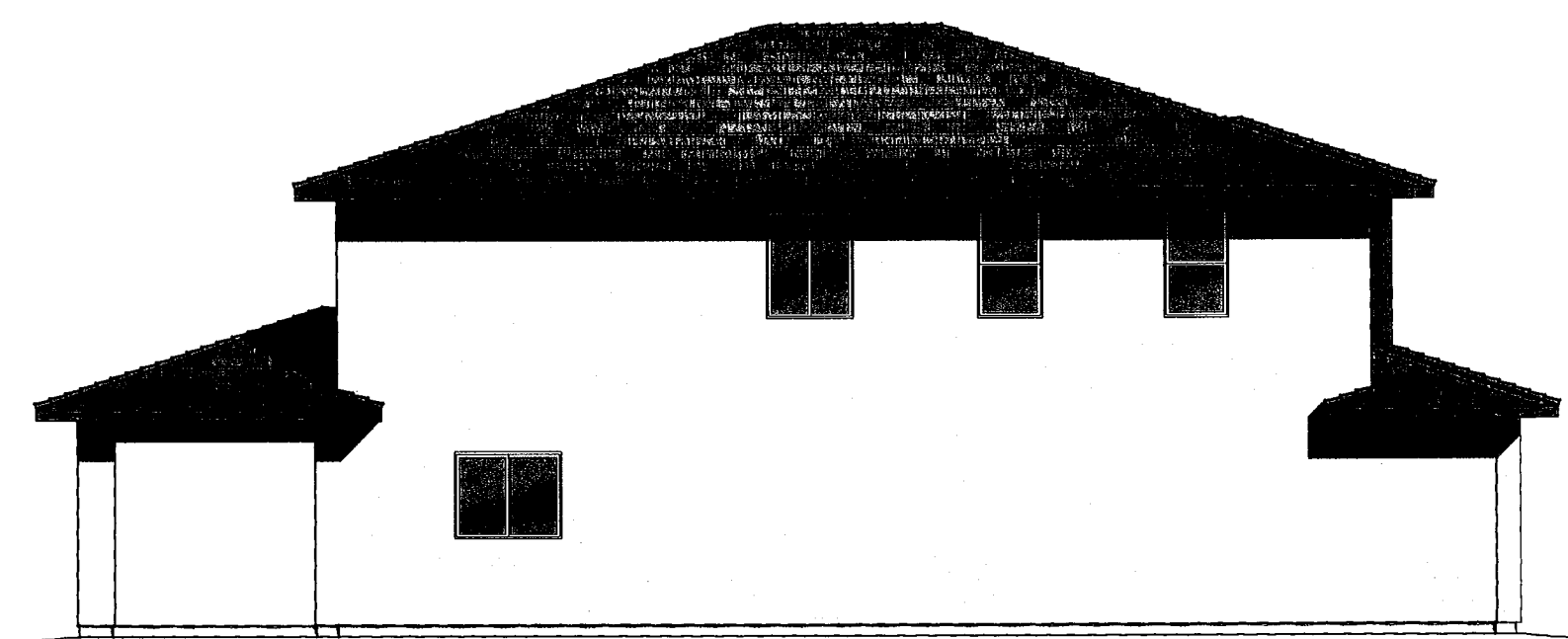
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

02.01.16

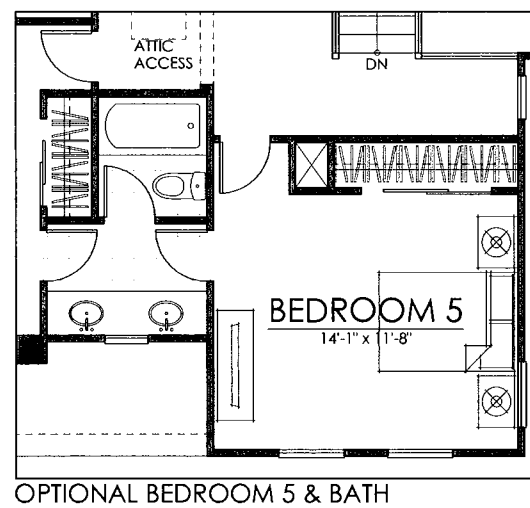
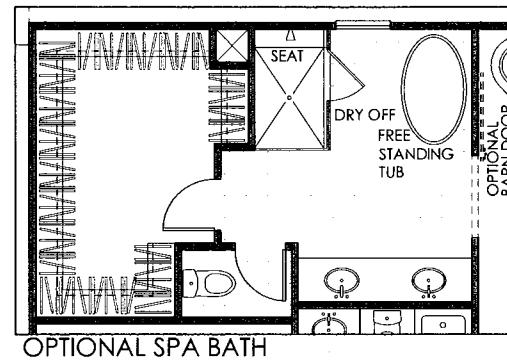
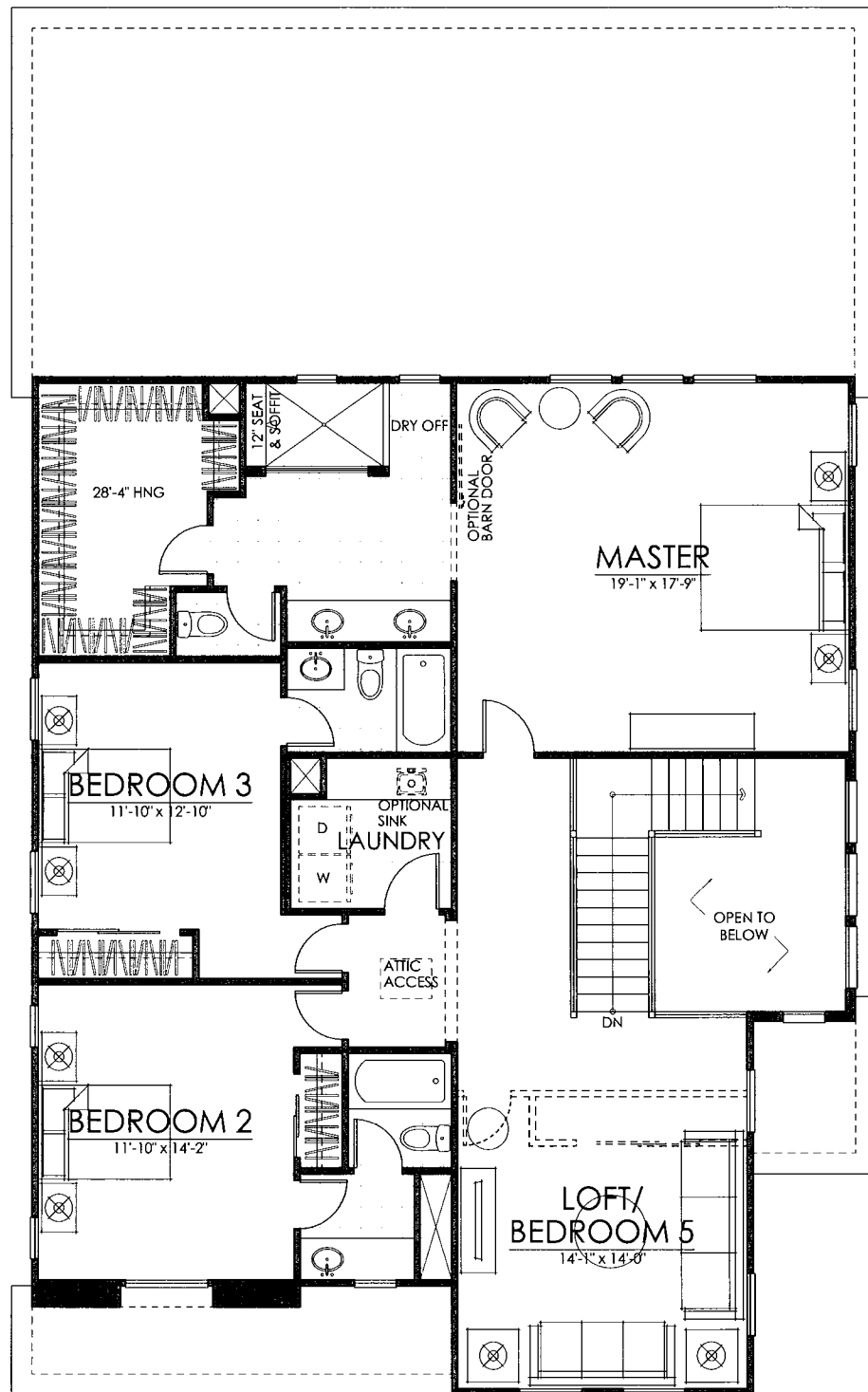
PLAN TWO-X | ELEVATION 'C'-CONTEMPORARY CRAFTSMAN



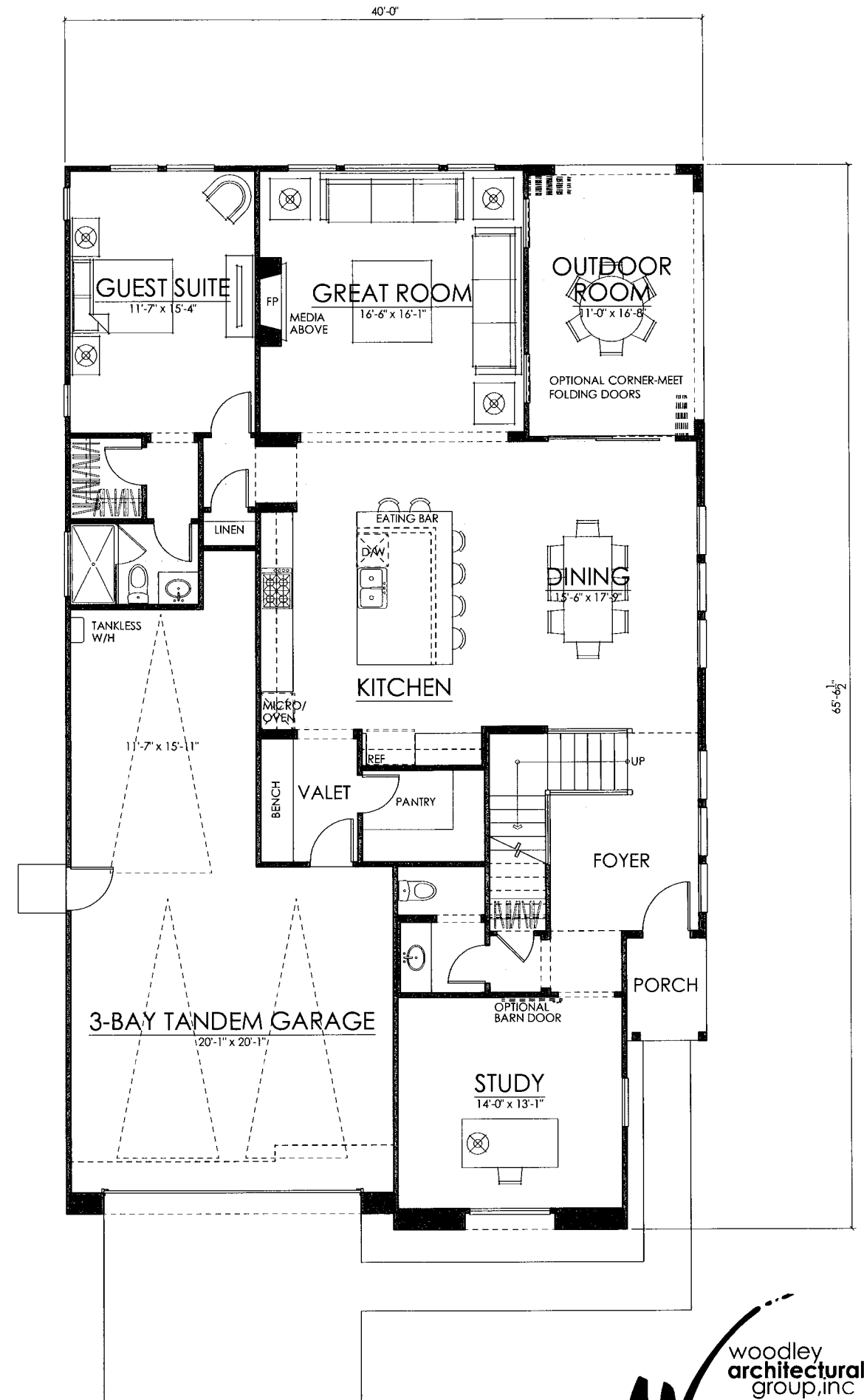
MURAI | COLRICH
SAN MARCOS, CALIFORNIA



A16



FIRST FLOOR 1677 SQ. FT.
SECOND FLOOR 1586 SQ. FT.
TOTAL LIVING 3263 SQ. FT.



02.01.16



PLAN THREE | 3263 SQ. FT.

MURAI | COLRICH
SAN MARCOS, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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A17



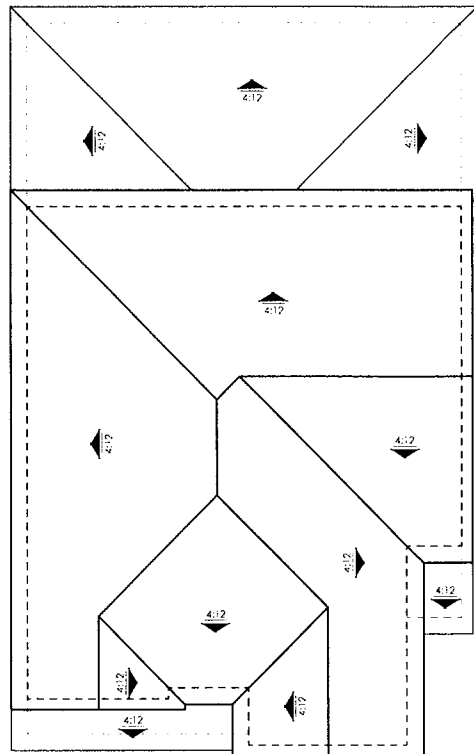
elevationA- santa barbara



elevationB- contemporary farmhouse



elevationC- contemporary craftsman



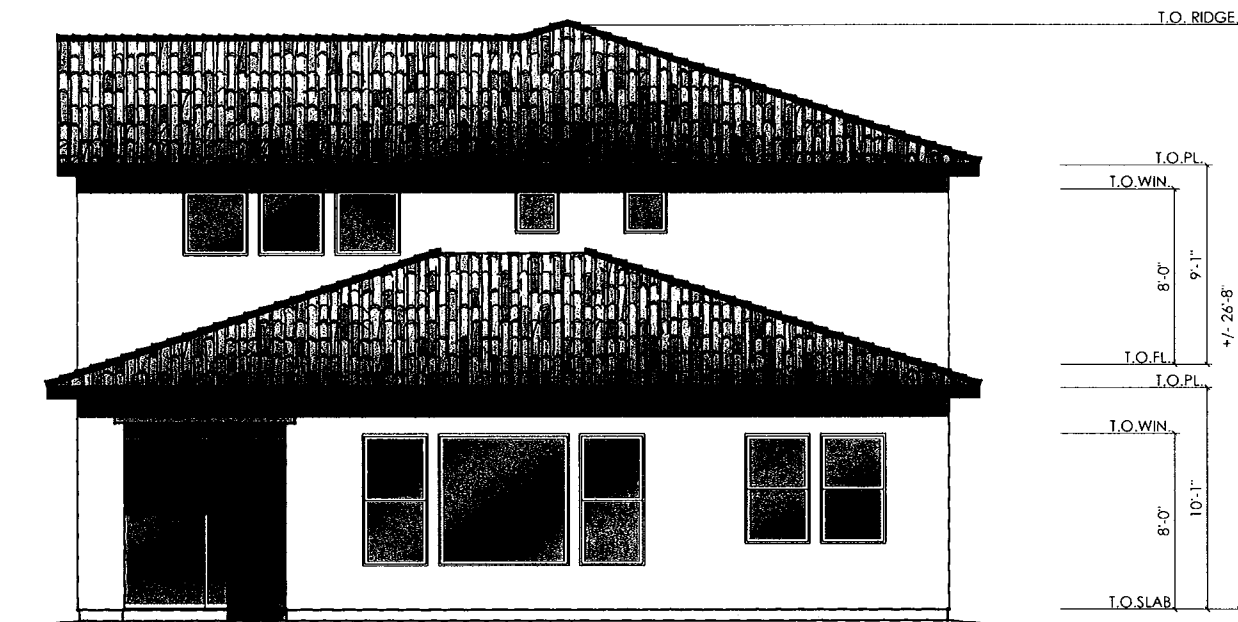
ROOF PLAN

SCALE: 1/8" = 1'-0"



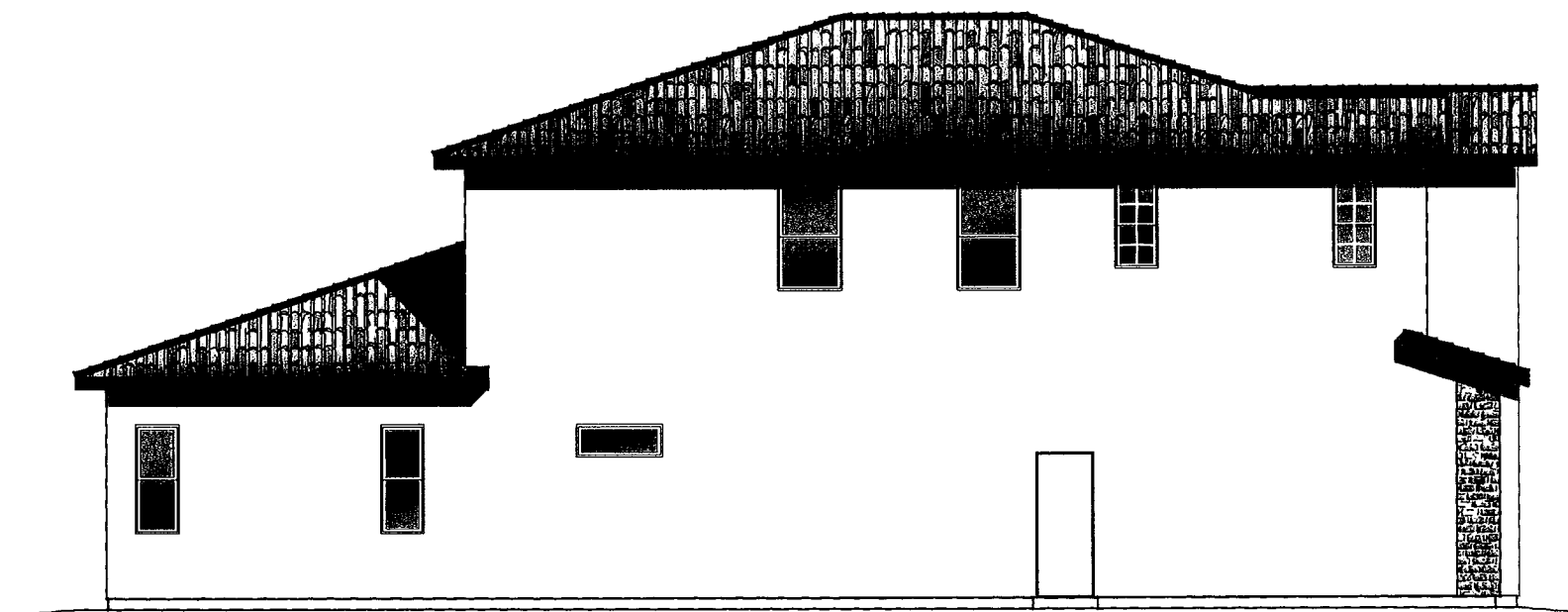
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

02.01.16

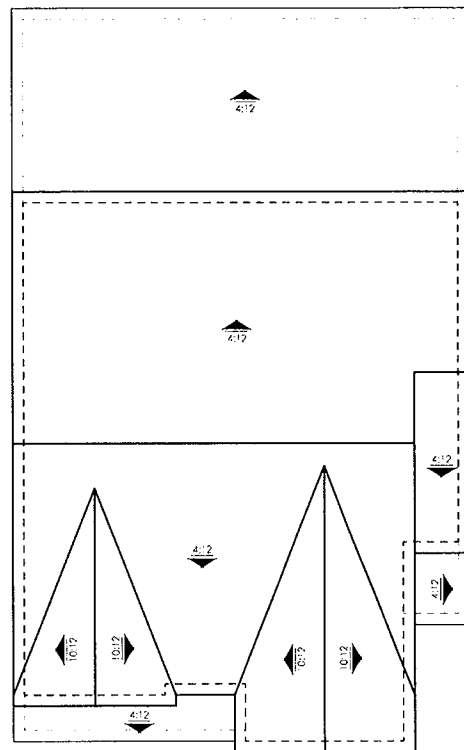
PLAN THREE | ELEVATION 'A'-SANTA BARBARA

MURAI | COLRICH
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A19

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ROOF PLAN

SCALE: 1/8" = 1'-0"

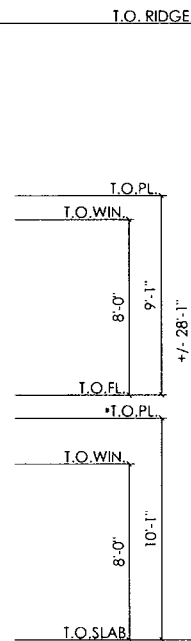


RIGHT ELEVATION

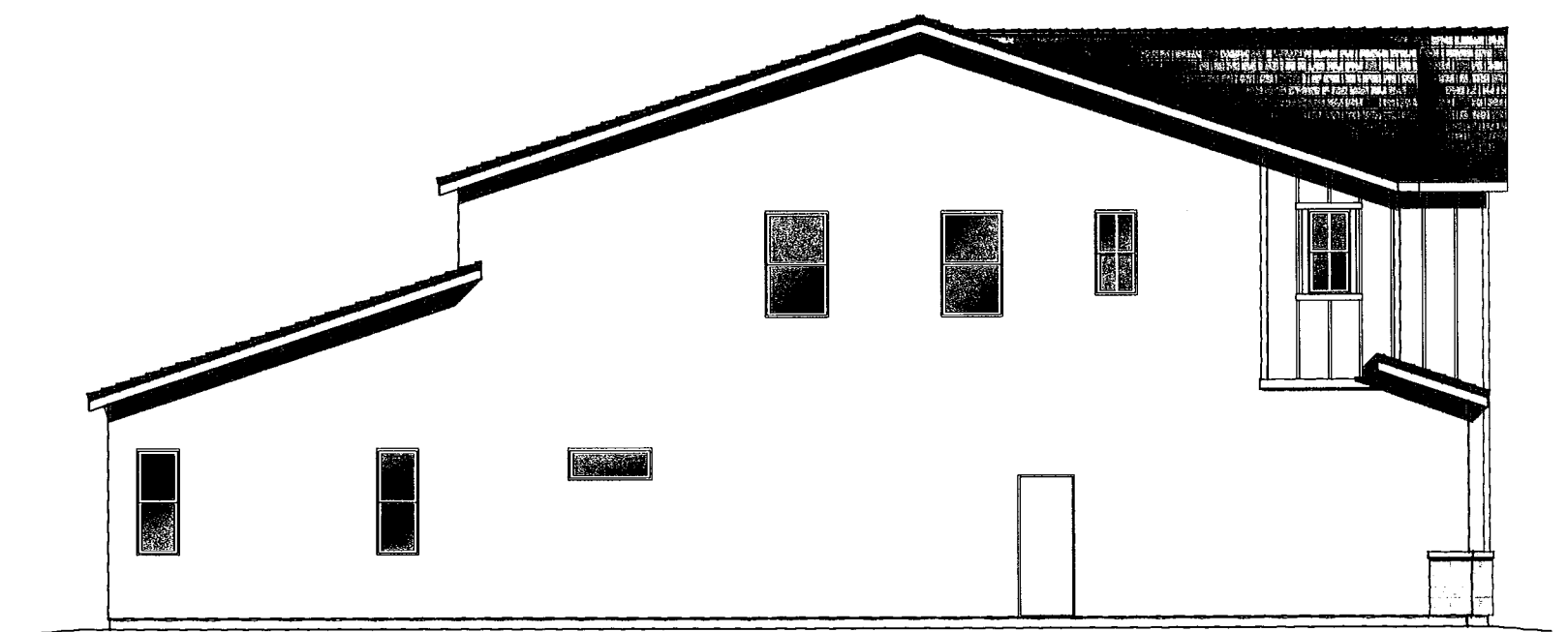
SCALE: 1/4" = 1'-0"



REAR ELEVATION



SCALE: 1/4" = 1'-0"



LEFT ELEVATION

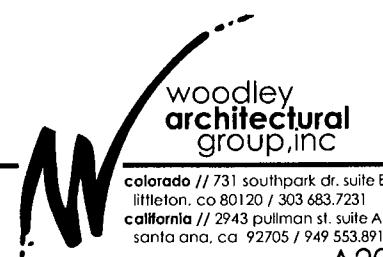
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02.01.16

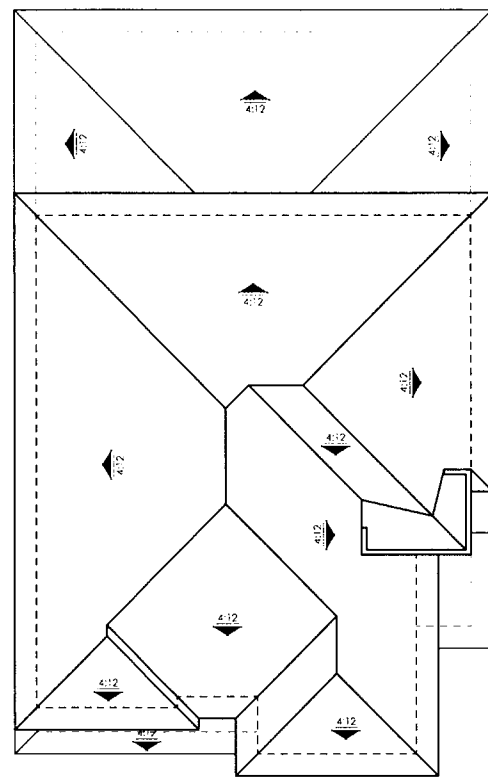
PLAN THREE | ELEVATION 'B'-CONTEMPORARY FARMHOUSE



MURAI | COLRICH
SAN MARCOS, CALIFORNIA



A20



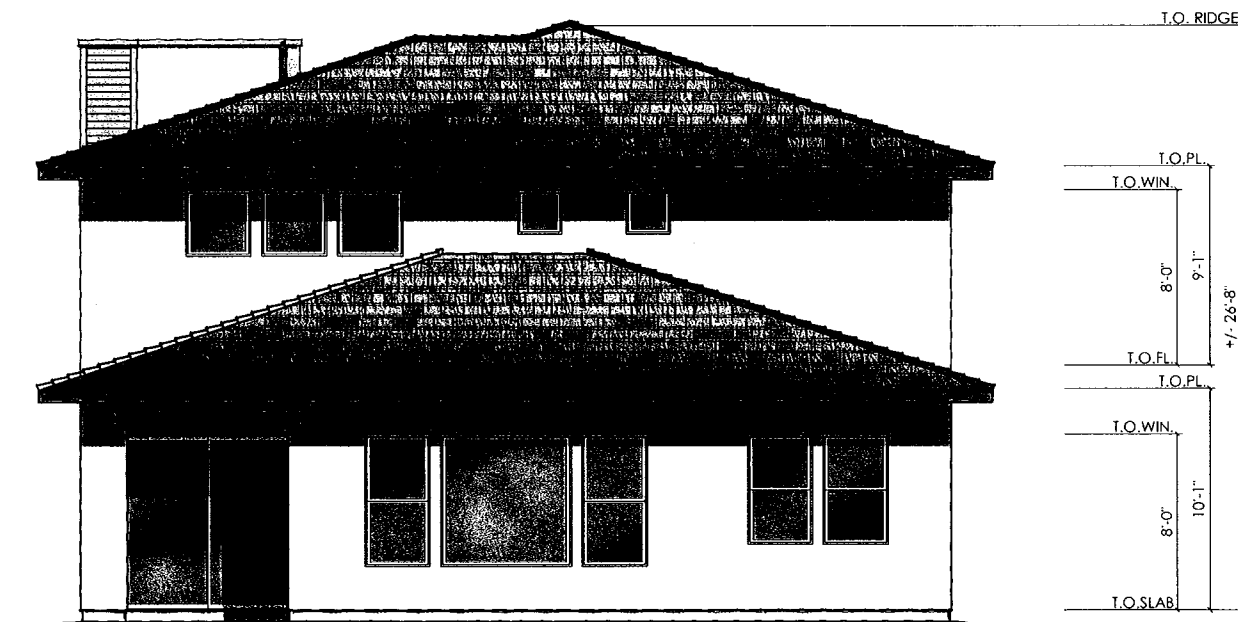
ROOF PLAN

SCALE: 1/8" = 1'-0"



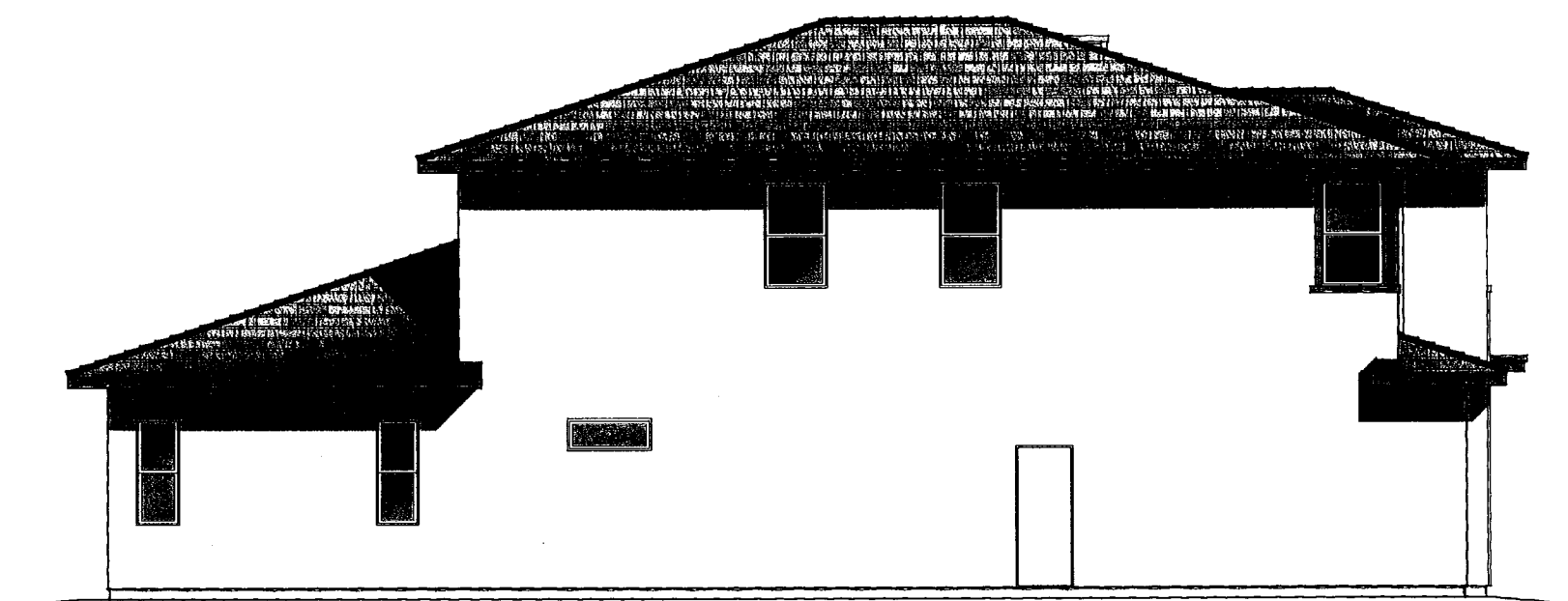
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

02.01.16

PLAN THREE | ELEVATION 'C'-CONTEMPORARY CRAFTSMAN

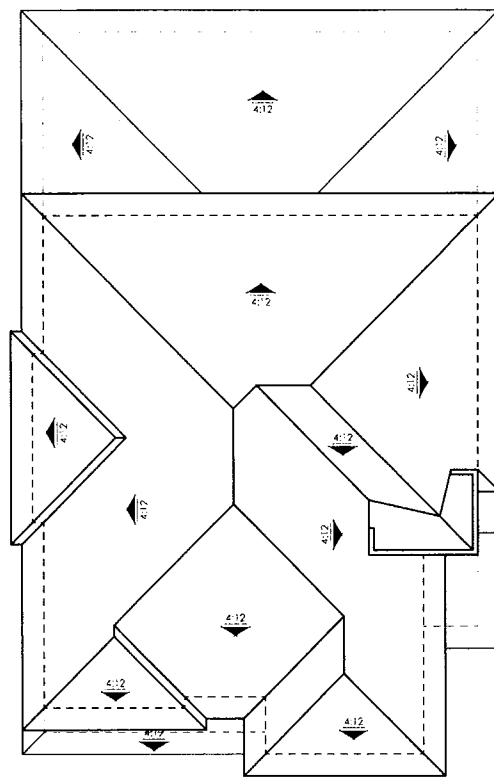


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A21

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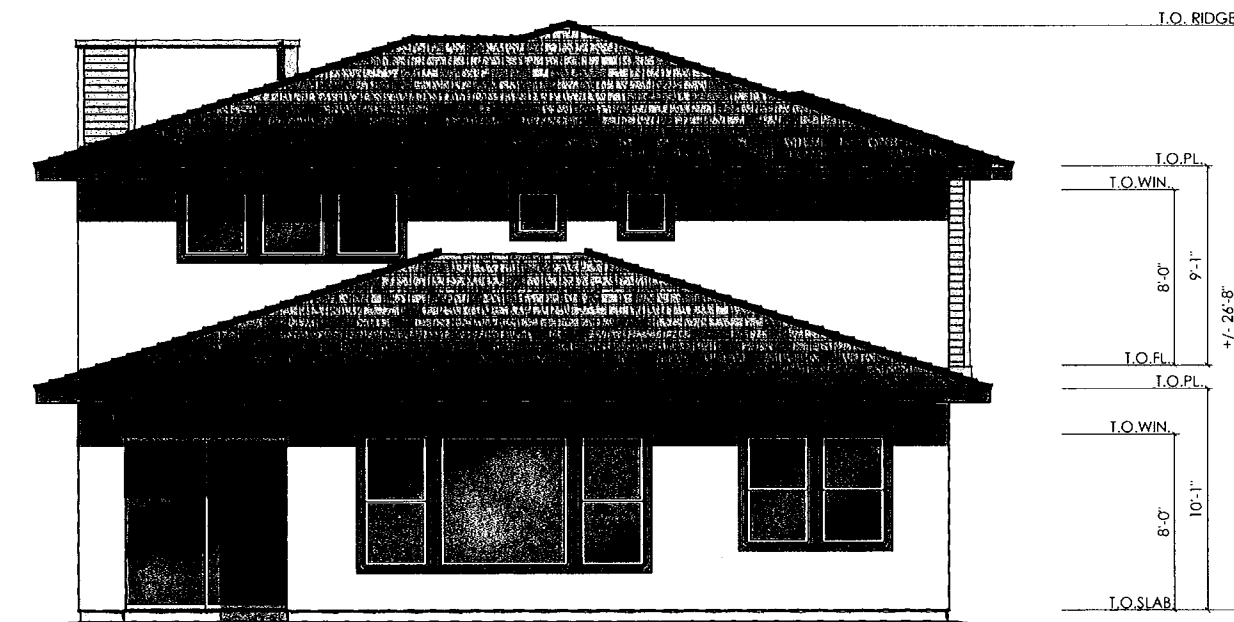
ROOF PLAN

SCALE: 1/8" = 1'-0"



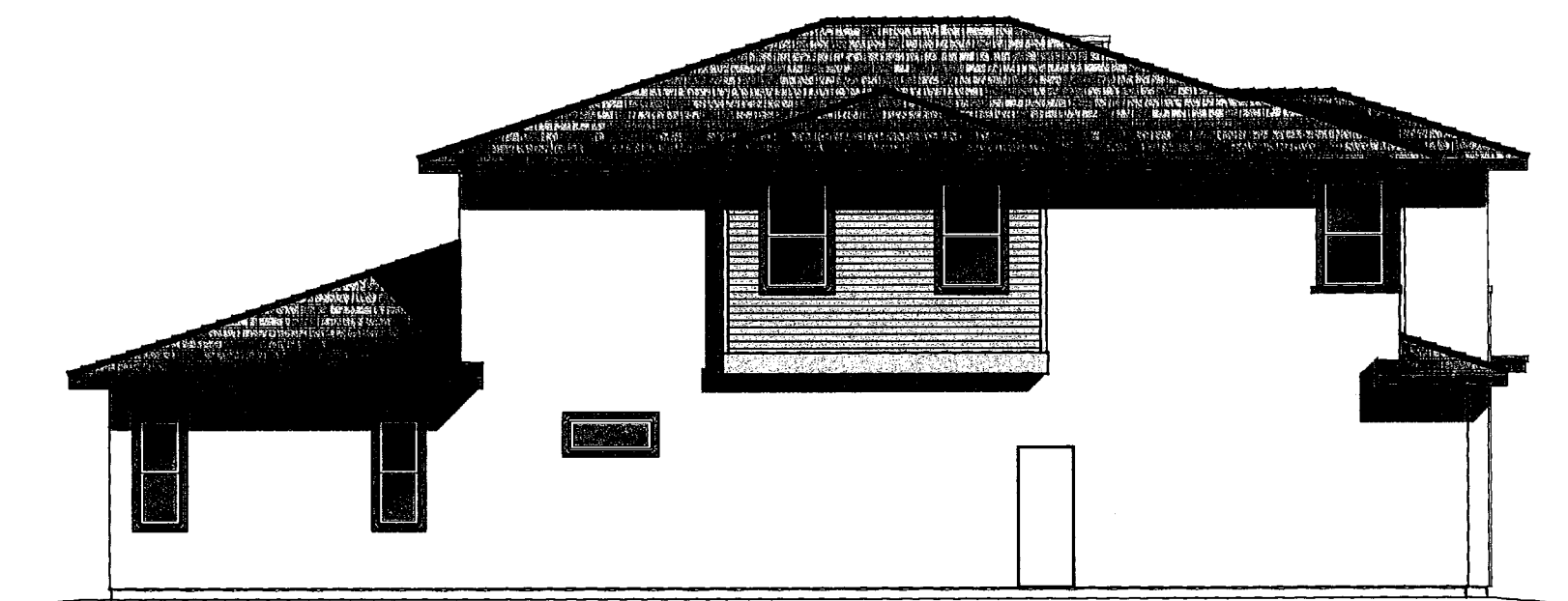
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

02.01.16

PLAN THREE | ELEVATION 'C' ENHANCED-CONTEMPORARY CRAFTSMAN



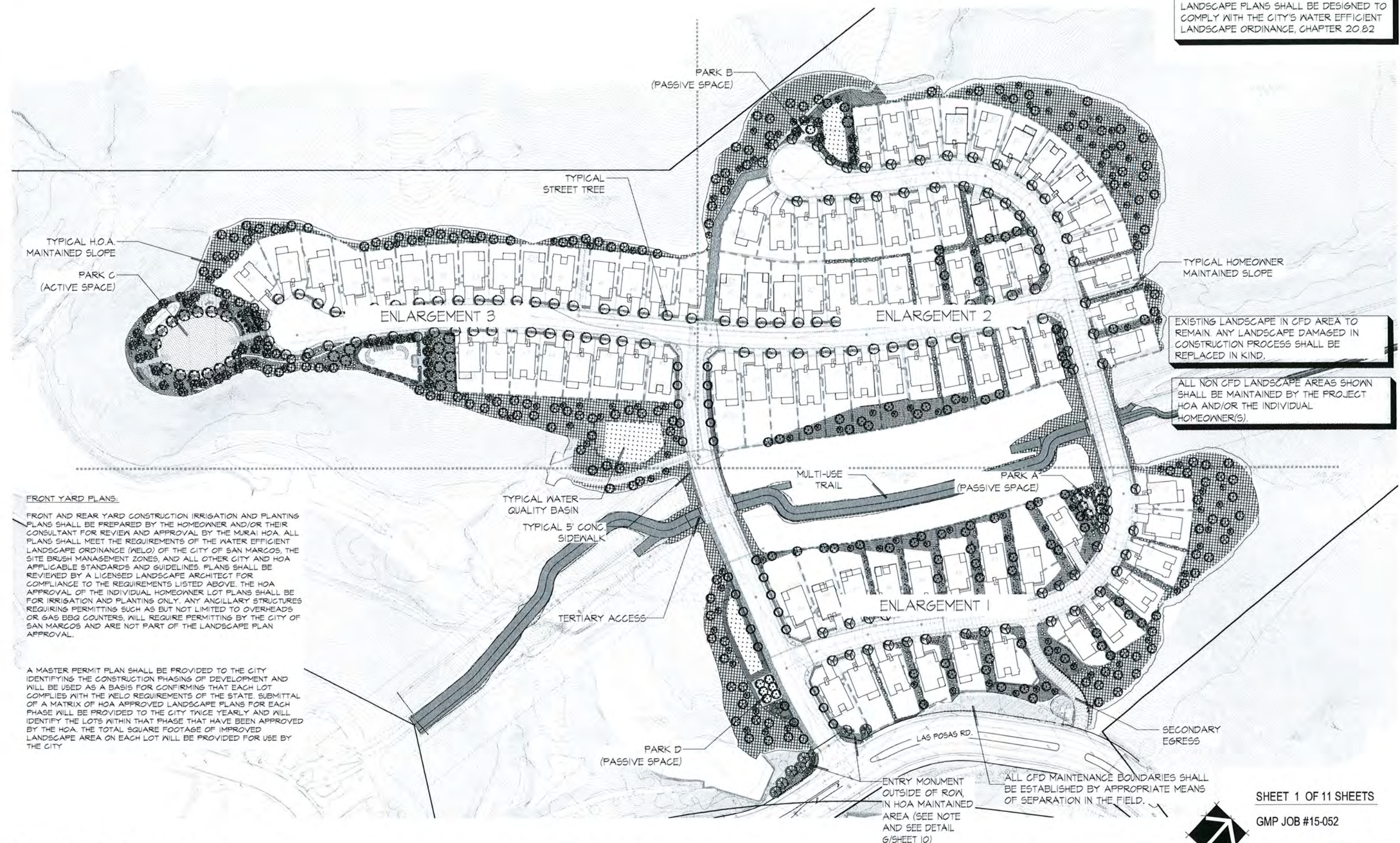
MURAI | COLRICH
SAN MARCOS, CALIFORNIA



A22

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LANDSCAPE PLANS SHALL BE DESIGNED TO COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE, CHAPTER 20.82



FRONT YARD PLANS:

FRONT AND REAR YARD CONSTRUCTION IRRIGATION AND PLANTING PLANS SHALL BE PREPARED BY THE HOMEOWNER AND/OR THEIR CONSULTANT FOR REVIEW AND APPROVAL BY THE MURAI HOA. ALL PLANS SHALL MEET THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) OF THE CITY OF SAN MARCOS, THE SITE BRUSH MANAGEMENT ZONES, AND ALL OTHER CITY AND HOA APPLICABLE STANDARDS AND GUIDELINES. PLANS SHALL BE REVIEWED BY A LICENSED LANDSCAPE ARCHITECT FOR COMPLIANCE TO THE REQUIREMENTS LISTED ABOVE. THE HOA APPROVAL OF THE INDIVIDUAL HOMEOWNER LOT PLANS SHALL BE FOR IRRIGATION AND PLANTING ONLY. ANY ANCILLARY STRUCTURES REQUIRING PERMITTING SUCH AS BUT NOT LIMITED TO OVERHEADS OR GAS BBQ COUNTERS, WILL REQUIRE PERMITTING BY THE CITY OF SAN MARCOS AND ARE NOT PART OF THE LANDSCAPE PLAN APPROVAL.

A MASTER PERMIT PLAN SHALL BE PROVIDED TO THE CITY IDENTIFYING THE CONSTRUCTION PHASING OF DEVELOPMENT AND WILL BE USED AS A BASIS FOR CONFIRMING THAT EACH LOT COMPLIES WITH THE WELO REQUIREMENTS OF THE STATE. SUBMITTAL OF A MATRIX OF HOA APPROVED LANDSCAPE PLANS FOR EACH PHASE WILL BE PROVIDED TO THE CITY TWICE YEARLY AND WILL IDENTIFY THE LOTS WITHIN THAT PHASE THAT HAVE BEEN APPROVED BY THE HOA. THE TOTAL SQUARE FOOTAGE OF IMPROVED LANDSCAPE AREA ON EACH LOT WILL BE PROVIDED FOR USE BY THE CITY.

MURAI | SAN MARCOS, CA

LANDSCAPE CONCEPT PLAN

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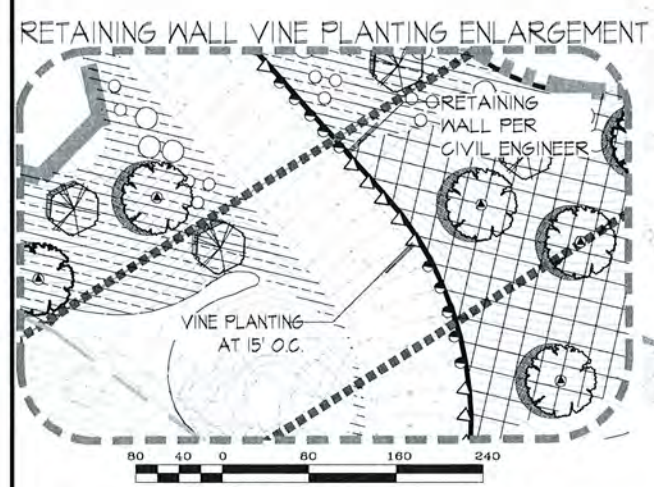
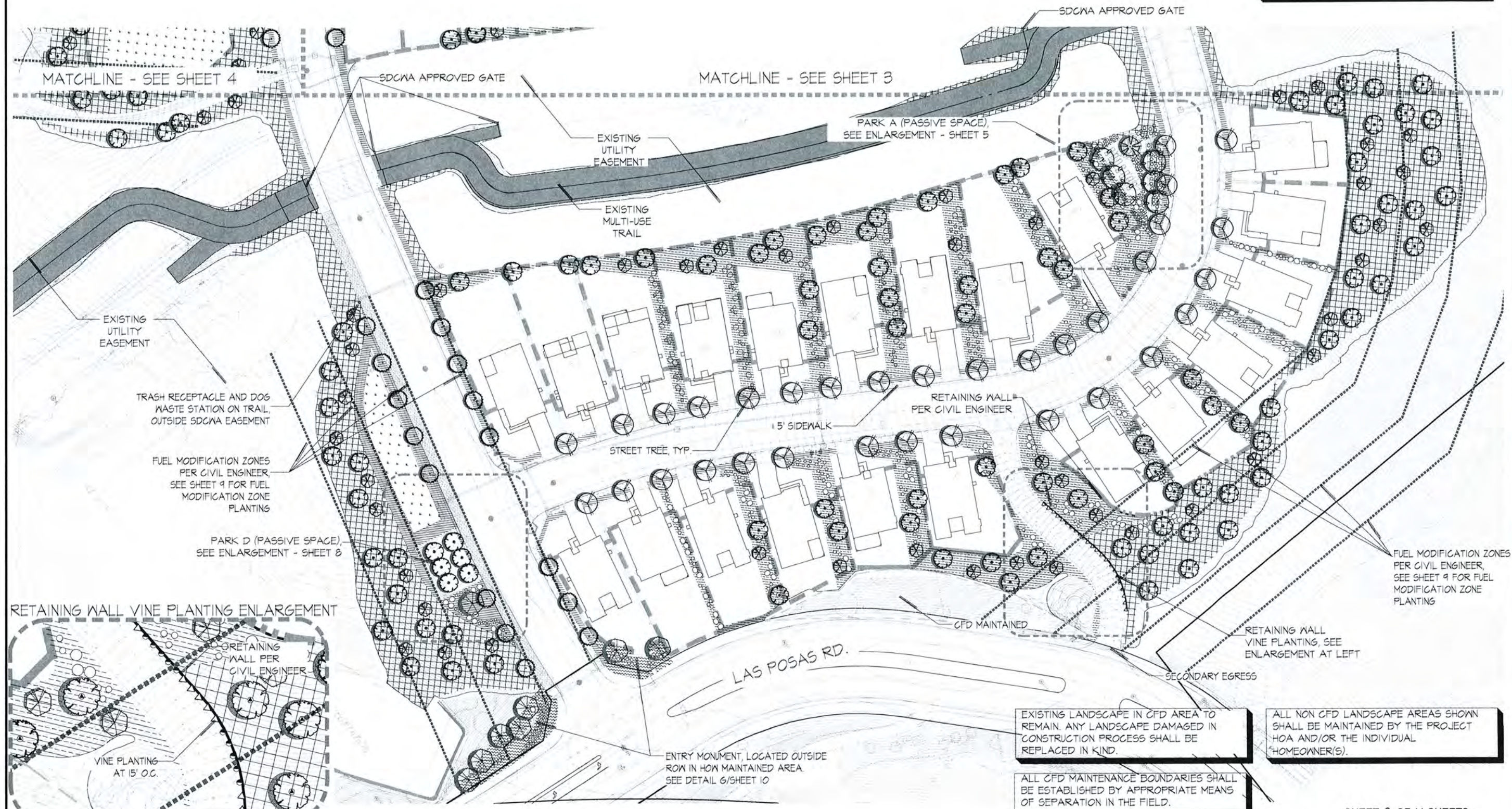
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SCALE: 1" = 80'
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2ND SUBMITTAL: 3/10/16
3RD SUBMITTAL: 6/1/16
4TH SUBMITTAL: 10/11/16
5TH SUBMITTAL: 3/30/17
6TH SUBMITTAL: 06/13/17
07/25/18

SHEET 1 OF 11 SHEETS
GMP JOB #15-052



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658 558 8977
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LANDSCAPE PLANS SHALL BE DESIGNED TO COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE, CHAPTER 20 B2



EXISTING LANDSCAPE IN CFD AREA TO REMAIN. ANY LANDSCAPE DAMAGED IN CONSTRUCTION PROCESS SHALL BE REPLACED IN KIND.

ALL NON CFD LANDSCAPE AREAS SHOWN SHALL BE MAINTAINED BY THE PROJECT HOA AND/OR THE INDIVIDUAL HOMEOWNER(S).

ALL CFD MAINTENANCE BOUNDARIES SHALL BE ESTABLISHED BY APPROPRIATE MEANS OF SEPARATION IN THE FIELD.

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LS CONCEPT PLAN - ENLARGEMENT 1

ColRich 444 West Beech St., Suite 300
San Diego, CA 92101

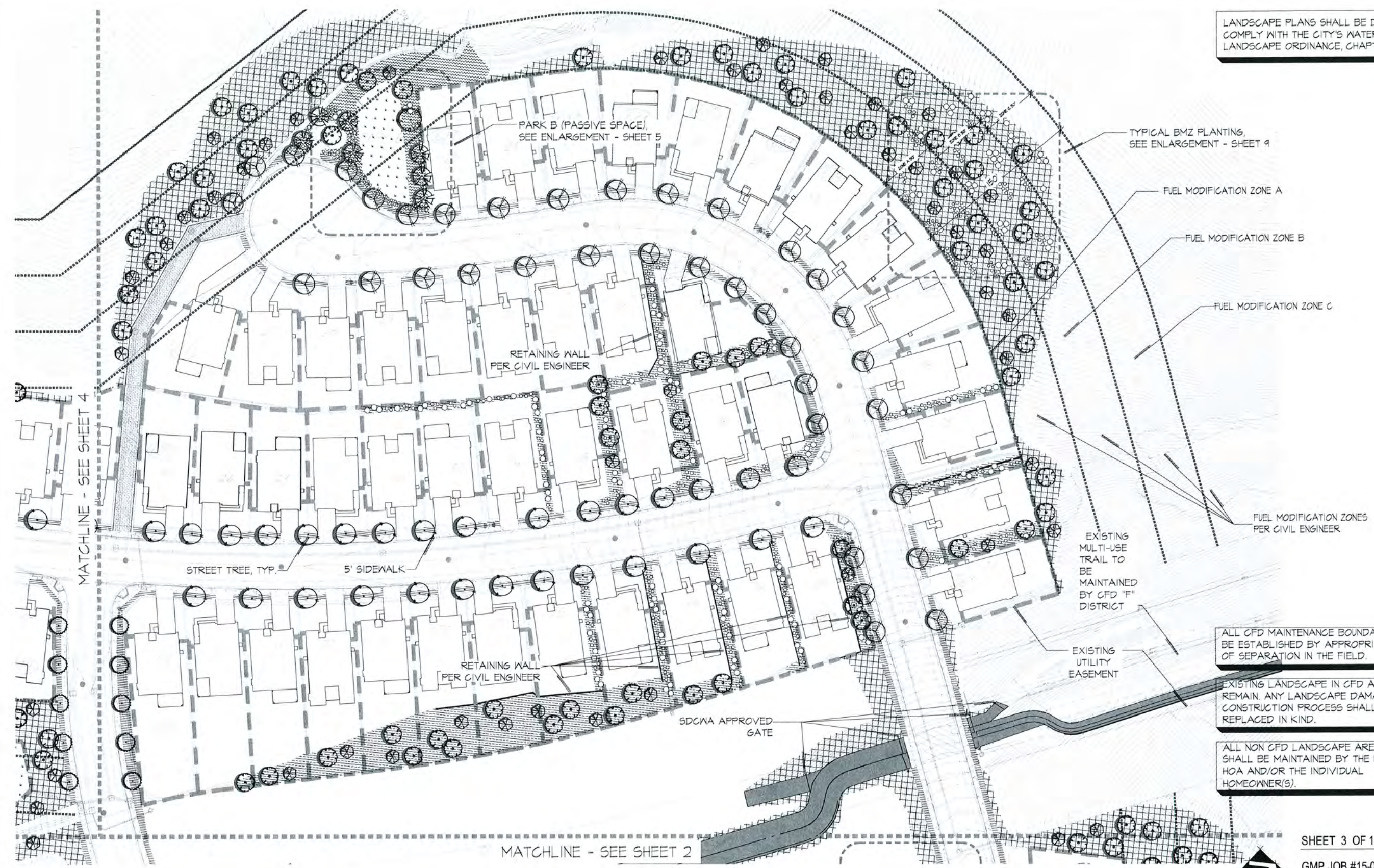
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SCALE: 1" = 40'
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3RD SUBMITTAL: 6/1/16
4TH SUBMITTAL: 10/11/16
5TH SUBMITTAL: 3/30/17
6TH SUBMITTAL: 06/13/17
07/25/18



SHEET 2 OF 11 SHEETS
GMP JOB #15-052

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San Diego, CA 92121
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LANDSCAPE PLANS SHALL BE DESIGNED TO COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE, CHAPTER 20.82



TYPICAL BMZ PLANTING, SEE ENLARGEMENT - SHEET 9

FUEL MODIFICATION ZONE A

FUEL MODIFICATION ZONE B

FUEL MODIFICATION ZONE C

FUEL MODIFICATION ZONES PER CIVIL ENGINEER

EXISTING MULTI-USE TRAIL TO BE MAINTAINED BY CFD "F" DISTRICT

EXISTING UTILITY EASEMENT

ALL CFD MAINTENANCE BOUNDARIES SHALL BE ESTABLISHED BY APPROPRIATE MEANS OF SEPARATION IN THE FIELD.

EXISTING LANDSCAPE IN CFD AREA TO REMAIN. ANY LANDSCAPE DAMAGED IN CONSTRUCTION PROCESS SHALL BE REPLACED IN KIND.

ALL NON CFD LANDSCAPE AREAS SHOWN SHALL BE MAINTAINED BY THE PROJECT HOA AND/OR THE INDIVIDUAL HOMEOWNER(S).

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LS CONCEPT PLAN - ENLARGEMENT 2

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1ST SUBMITTAL: 10/7/15
2ND SUBMITTAL: 3/10/16
3RD SUBMITTAL: 6/1/16
4TH SUBMITTAL: 10/11/16
5TH SUBMITTAL: 3/30/17
6TH SUBMITTAL: 06/13/17
07/25/18



SHEET 3 OF 11 SHEETS
GMP JOB #15-052



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FUEL MODIFICATION ZONES
PER CIVIL ENGINEER,
SEE SHEET 9 FOR FUEL
MODIFICATION ZONE
PLANTING

PARK C SOUTH (ACTIVE SPACE),
SEE ENLARGEMENT - SHEET 6
PARK C NORTH (ACTIVE SPACE),
SEE ENLARGEMENT - SHEET 7

5' SIDEWALK

STREET TREE, TYP.

MATCHLINE - SEE SHEET 3

EXISTING LANDSCAPE IN CFD AREA TO
REMAIN. ANY LANDSCAPE DAMAGED IN
CONSTRUCTION PROCESS SHALL BE
REPLACED IN KIND.

ALL NON CFD LANDSCAPE AREAS SHOWN
SHALL BE MAINTAINED BY THE PROJECT
HOA AND/OR THE INDIVIDUAL
HOMEOWNER(S).

ALL CFD MAINTENANCE BOUNDARIES SHALL
BE ESTABLISHED BY APPROPRIATE MEANS
OF SEPARATION IN THE FIELD.

DETENTION BASIN
PER CIVIL

MATCHLINE - SEE SHEET 2

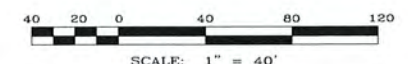
SHEET 4 OF 11 SHEETS

GMP JOB #15-052

MURAI | SAN MARCOS, CA

LS CONCEPT PLAN - ENLARGEMENT 3

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San Diego, CA 92101



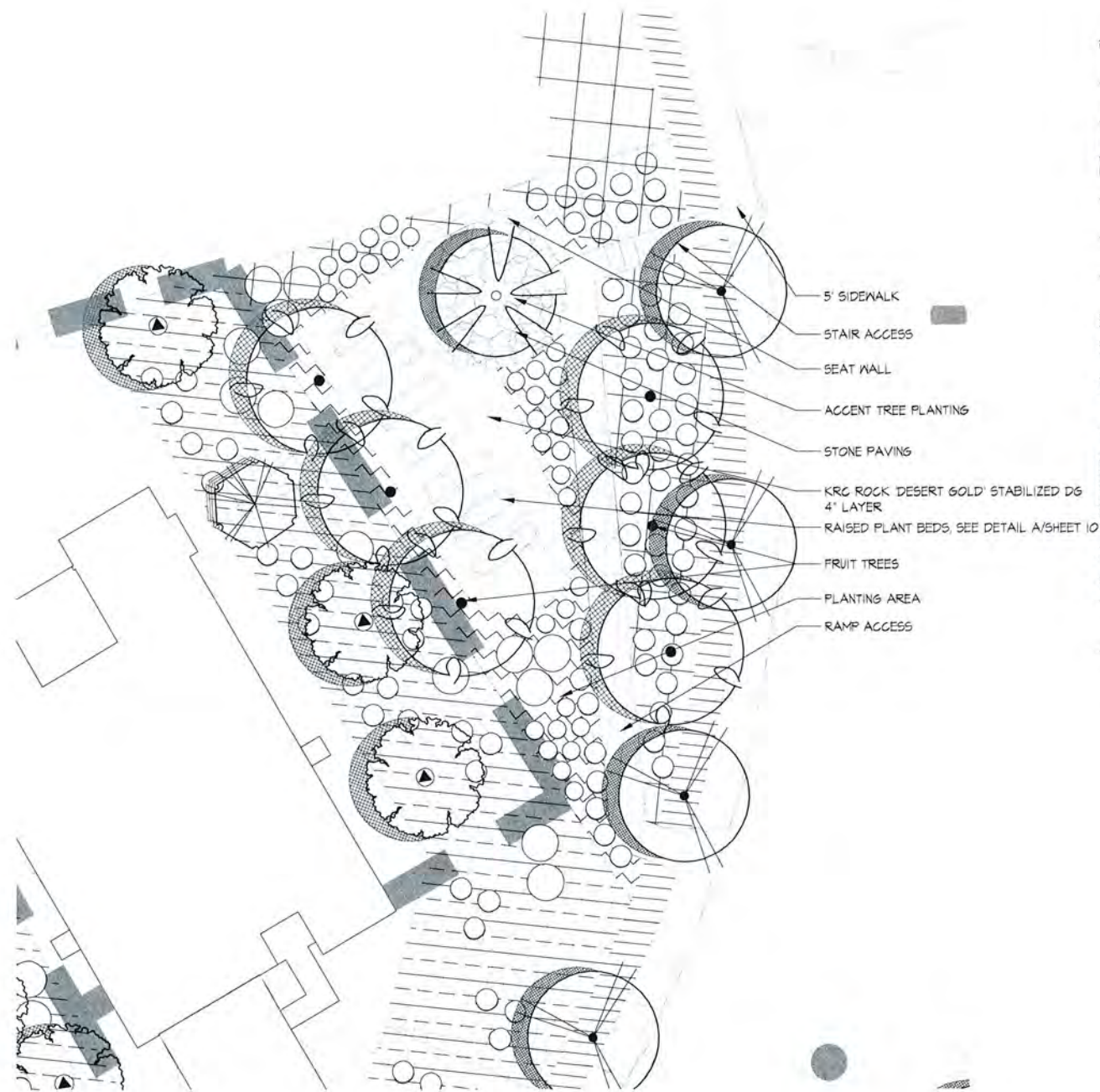
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2ND SUBMITTAL: 3/10/16
3RD SUBMITTAL: 6/1/16
4TH SUBMITTAL: 10/11/16
5TH SUBMITTAL: 3/30/17
6TH SUBMITTAL: 06/13/17
07/25/18



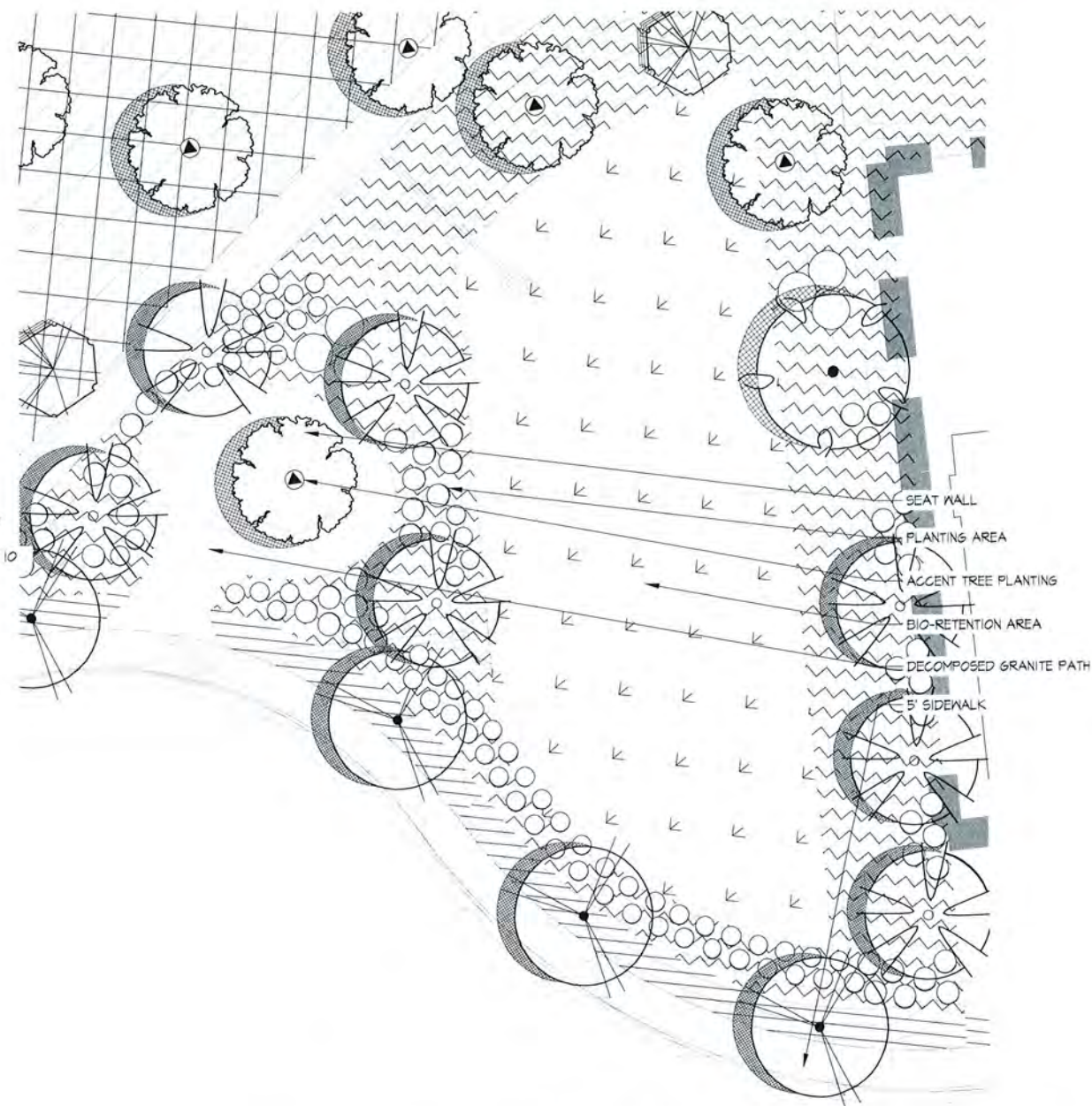
gmp

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LANDSCAPE PLANS SHALL BE DESIGNED TO COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE, CHAPTER 20.82



PARK A (PASSIVE SPACE)



PARK B (PASSIVE SPACE)

EXISTING LANDSCAPE IN CFD AREA TO REMAIN. ANY LANDSCAPE DAMAGED IN CONSTRUCTION PROCESS SHALL BE REPLACED IN KIND.

ALL CFD MAINTENANCE BOUNDARIES SHALL BE ESTABLISHED BY APPROPRIATE MEANS OF SEPARATION IN THE FIELD.

ALL NON CFD LANDSCAPE AREAS SHOWN SHALL BE MAINTAINED BY THE PROJECT HOA AND/OR THE INDIVIDUAL HOMEOWNER(S).

SHEET 5 OF 11 SHEETS

GMP JOB #15-052

MURAI | SAN MARCOS, CA

PARK A & B ENLARGEMENTS - HOA MAINTAINED

ColRich 444 West Beech St., Suite 300
San Diego, CA 92101

10 5 0 10 20 30
SCALE: 1" = 10'

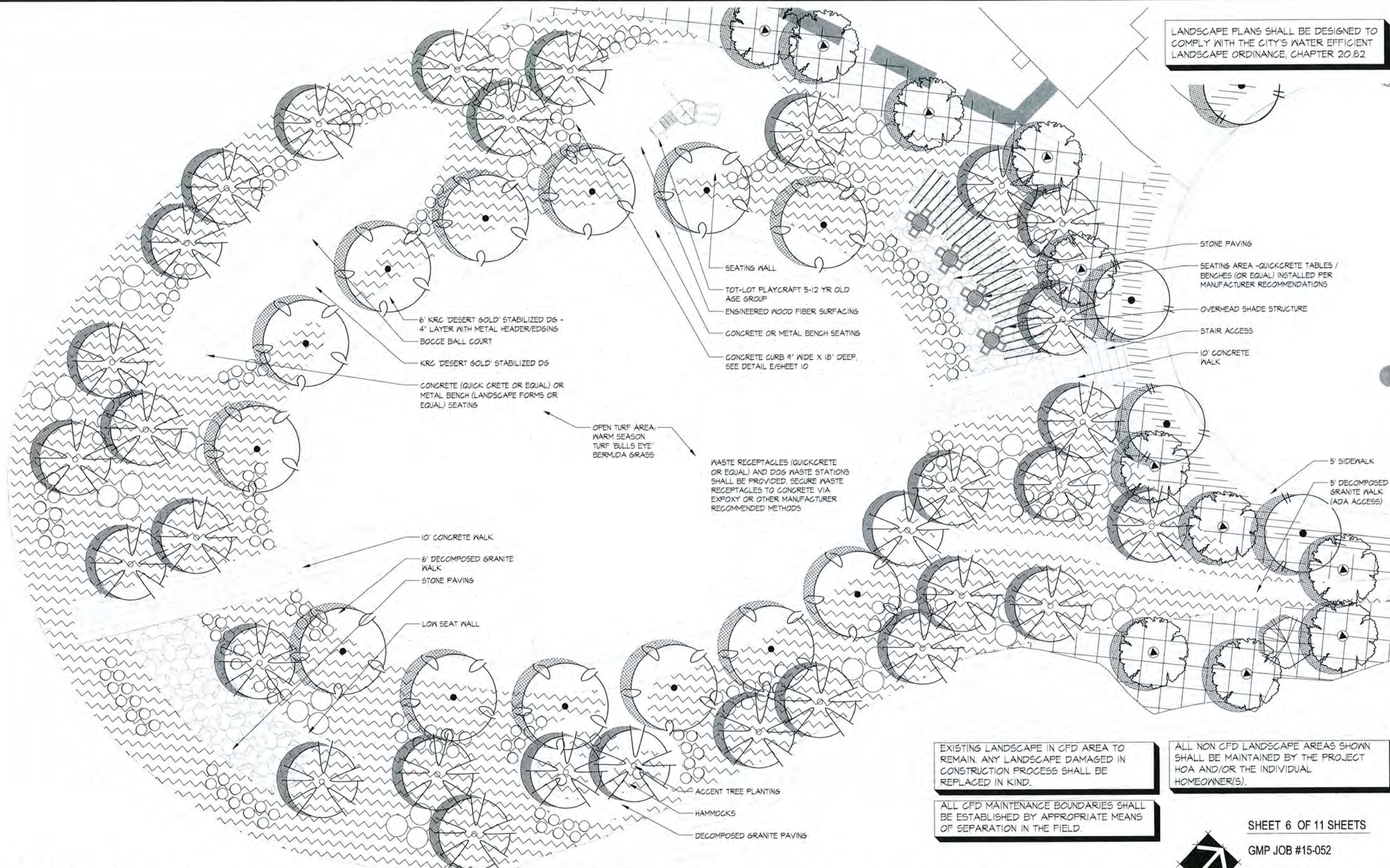
1ST SUBMITTAL: 10/7/15
2ND SUBMITTAL: 3/10/16
3RD SUBMITTAL: 6/1/16
4TH SUBMITTAL: 10/11/16
5TH SUBMITTAL: 3/30/17
6TH SUBMITTAL: 08/13/17
07/25/18



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LANDSCAPE PLANS SHALL BE DESIGNED TO COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE, CHAPTER 20.82



EXISTING LANDSCAPE IN CFD AREA TO REMAIN. ANY LANDSCAPE DAMAGED IN CONSTRUCTION PROCESS SHALL BE REPLACED IN KIND.

ALL CFD MAINTENANCE BOUNDARIES SHALL BE ESTABLISHED BY APPROPRIATE MEANS OF SEPARATION IN THE FIELD.

ALL NON CFD LANDSCAPE AREAS SHOWN SHALL BE MAINTAINED BY THE PROJECT HOA AND/OR THE INDIVIDUAL HOMEOWNER(S).

MURAI | SAN MARCOS, CA

PARK C ENLARGEMENT - SOUTH - HOA MAINTAINED

ColRich 444 West Beech St., Suite 300
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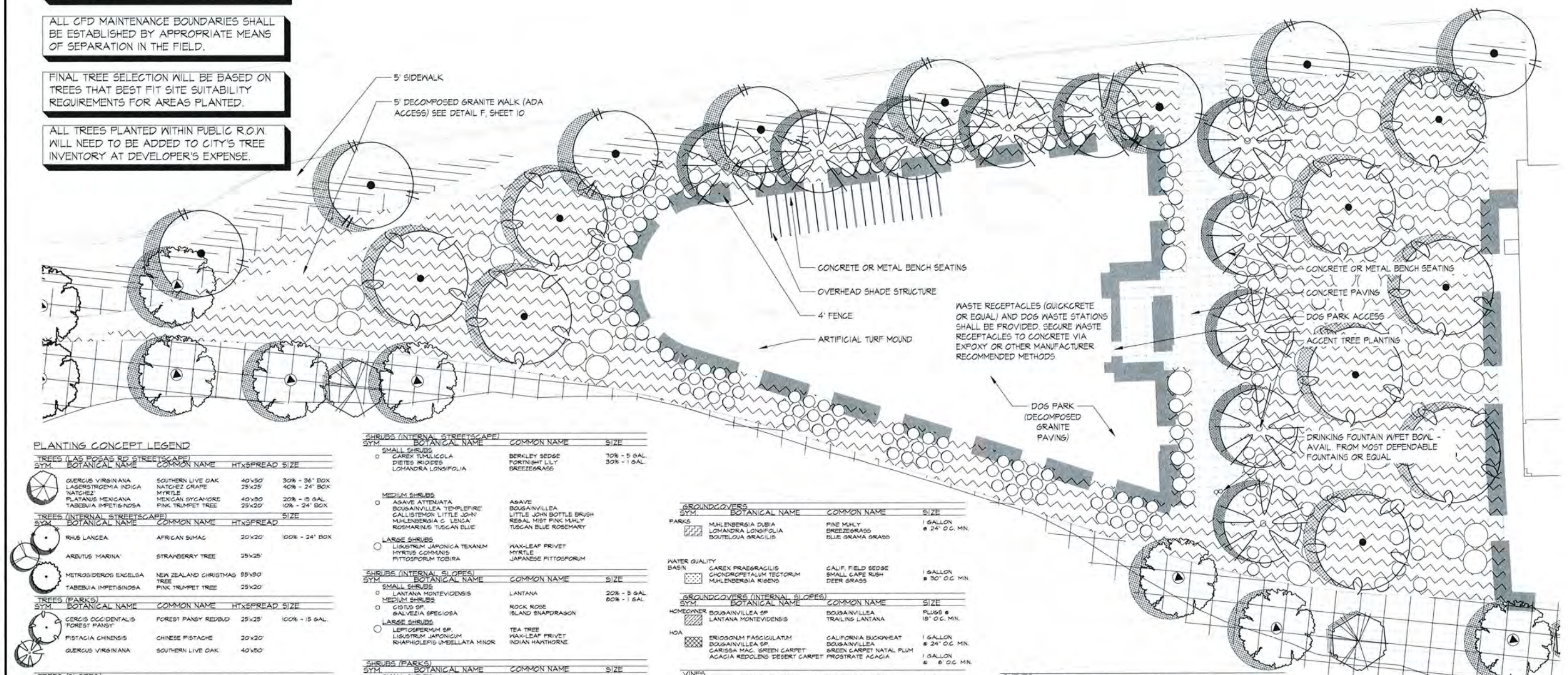
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1ST SUBMITTAL: 10/7/15
2ND SUBMITTAL: 3/10/16
3RD SUBMITTAL: 6/1/16
4TH SUBMITTAL: 10/11/16
5TH SUBMITTAL: 3/30/17
6TH SUBMITTAL: 06/13/17
07/25/18

SHEET 6 OF 11 SHEETS
GMP JOB #15-052

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ALL TREES PLANTED WITHIN PUBLIC R.O.W.
WILL NEED TO BE ADDED TO CITY'S TREE
INVENTORY AT DEVELOPER'S EXPENSE.

LANDSCAPE PLANS SHALL BE DESIGNED TO COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE, CHAPTER 20.82



MUDALI

6TH SUBMITTAL: 06/13/17

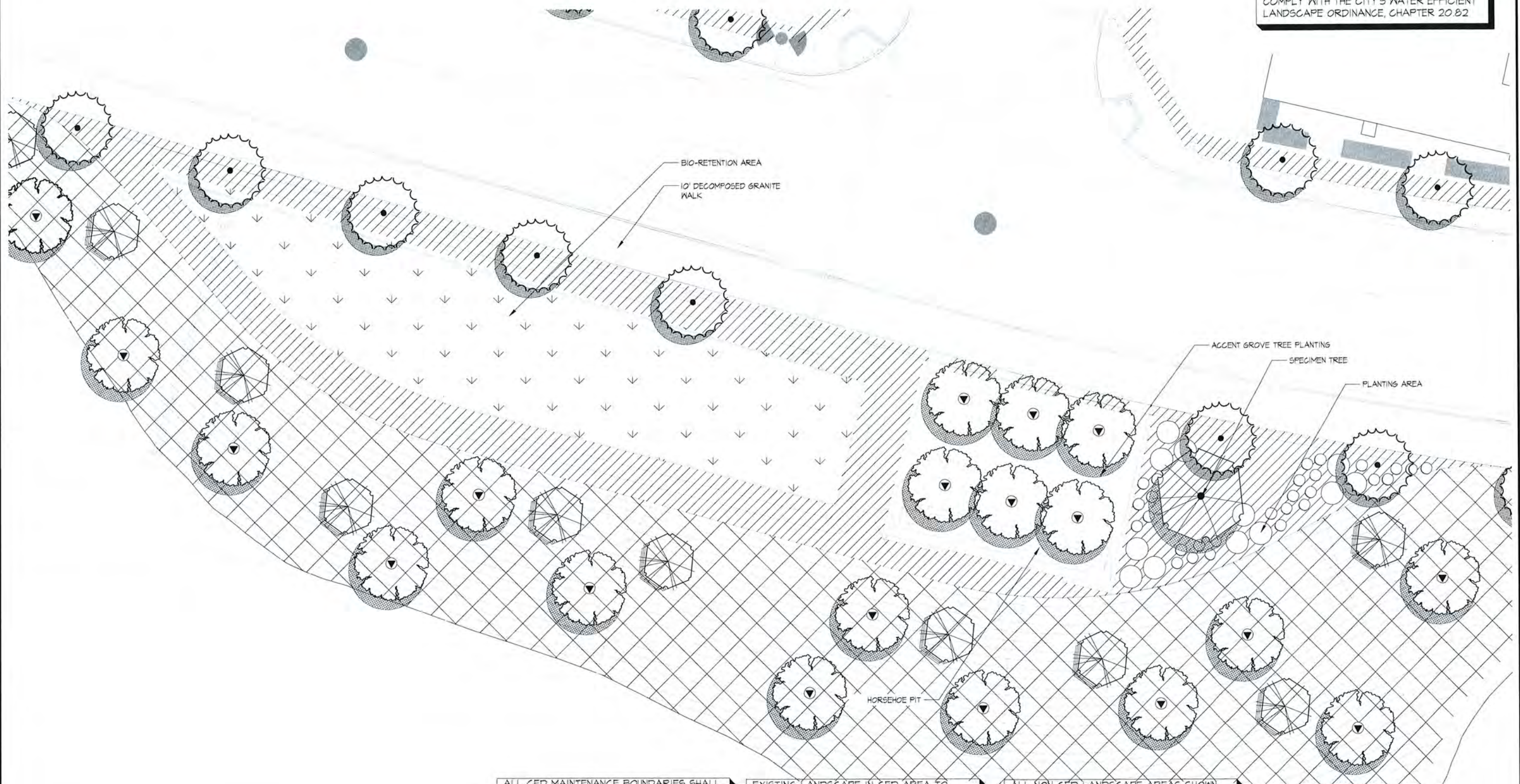
NOTE:
TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED
WITHIN 10 FEET OF HARDSCAPE. THE ROOT BARRIER WILL NOT WRAP AROUND
THE ROOT BALL AND SHALL EXTEND 10' ON EITHER SIDE OF TREE. REFER TO
CITY STANDARD NOTES FOR BIO-BARRIER REQ. FOR TREE PLANTING.

8. PLANNING

ColRich 444 West Beech St., Suite 300
San Diego, CA 92101

618 SUBMITTAL: 06/13/17

LANDSCAPE PLANS SHALL BE DESIGNED TO COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE, CHAPTER 20.82



ALL CFD MAINTENANCE BOUNDARIES SHALL BE ESTABLISHED BY APPROPRIATE MEANS OF SEPARATION IN THE FIELD.

EXISTING LANDSCAPE IN CFD AREA TO REMAIN. ANY LANDSCAPE DAMAGED IN CONSTRUCTION PROCESS SHALL BE REPLACED IN KIND.

ALL NON CFD LANDSCAPE AREAS SHOWN SHALL BE MAINTAINED BY THE PROJECT HOA AND/OR THE INDIVIDUAL HOMEOWNER(S).

MURAI | SAN MARCOS, CA

PARK D ENLARGEMENT - HOA MAINTAINED

ColRich 444 West Beech St., Suite 300
San Diego, CA 92101

10 5 0 10 20 30
SCALE: 1" = 10'
1ST SUBMITTAL: 10/7/15
2ND SUBMITTAL: 3/10/16
3RD SUBMITTAL: 6/1/16
4TH SUBMITTAL: 10/11/16
5TH SUBMITTAL: 3/30/17
6TH SUBMITTAL: 06/13/17
07/25/18

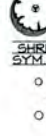
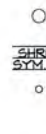
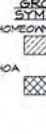
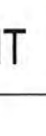
SHEET 8 OF 11 SHEETS
GMP JOB #15-052

4070 Sorrento Valley Blvd
Suite 203
San Diego, CA 92121
gmp@colrich.com
858.558.8977
LANDSCAPE
ARCHITECTURE
& PLANNING



FUEL MODIFICATION ZONES PER CIVIL ENGINEER

PLANTING CONCEPT LEGEND

TREES (LAS POSAS RD STREETSCAPE)				
SYM	BOTANICAL NAME	COMMON NAME	HTxSPREAD	SIZE
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	40'x50'	30% - 36' BOX
	LAGESTROMIA INDICA	NATCHEZ GRAPE	25'x25'	40% - 24' BOX
	PLATANUS MEXICANA	MYRTLE	40'x30'	20% - 15 GAL
	TABEBUIA IMPETIGINOSA	MEXICAN SYCAMORE	25'x20'	10% - 24' BOX
		PINK TRUMPET TREE	25'x20'	
TREES (INTERNAL STREETSCAPE)				
SYM	BOTANICAL NAME	COMMON NAME	HTxSPREAD	SIZE
	RHUS LANCEA	AFRICAN SUMAC	20'x20'	100% - 24' BOX
	AREBUTUS MARINA	STRAWBERRY TREE	25'x25'	
	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	35'x30'	
	TABEBUIA IMPETIGINOSA	PINK TRUMPET TREE	25'x20'	
TREES (PARKS)				
SYM	BOTANICAL NAME	COMMON NAME	HTxSPREAD	SIZE
	CERCIS OCCIDENTALIS	FOREST PANSY REDBUD	25'x25'	100% - 15 GAL
	PISTACIA CHINENSIS	CHINESE PISTACHE	20'x20'	
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	40'x50'	
TREES (SLOPES)				
SYM	BOTANICAL NAME	COMMON NAME	HTxSPREAD	SIZE
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	50'x45'	100% - 24' BOX
	QUERCUS AGRIFFOLIA	COAST LIVE OAK	50'x10'	
	RHUS LANCEA	AFRICAN SUMAC	25'x25'	
SHRUBS (LAS POSAS RD STREETSCAPE)				
SYM	BOTANICAL NAME	COMMON NAME	SIZE	
	SMALL SHRUBS			
	BOUQUETIA BLONDE AMBITION	BLUE GRAMA GRASS	10% - 5 GAL	
	MEDIUM SHRUBS		30% - 1 GAL	
	AGAVE ATTENUATA	AGAVE		
	CISTUS PURPUREA	ORCHID ROCKROSE		
	CARISSA GREEN CARPET	NATAL PLUM		
	LARGE SHRUBS			
	CHONDRLOPETALUM TECTORUM	CAPE RUSH		
	PITTOSPORUM TOBIRA	JAPANESE PITTOSPORUM		
	RHAPHIOLEPIS UMBELLATA	INDIAN HAWTHORN		
SHRUBS (INTERNAL STREETSCAPE)				
SYM	BOTANICAL NAME	COMMON NAME	SIZE	
	SMALL SHRUBS			
	CAREX TUMULOSA	BERKLEY SEDGE	10% - 5 GAL	
	DIETES IRIOIDES	FORTNIGHT LILY	30% - 1 GAL	
	LOMANDRA LONGIFOLIA	BREEZEGRASS		
	MEDIUM SHRUBS			
	AGAVE ATTENUATA	AGAVE		
	BOUQUINVILLEA TEMPLEFIRE	BOUQUINVILLEA		
	CALLISTEMON LITTLE JOHN	LITTLE JOHN BOTTLE BRUSH		
	MULLENBERGIA C. LENCEA	REGAL MIST PINK MULY		
	ROSMARINUS TUSCAN BLUE	TUSCAN BLUE ROSEMARY		
	LARGE SHRUBS			
	LIGUSTRUM JAPONICA TEXANUM	WAX-LEAF PRIVET		
	MYRTUS COMMUNIS	MYRTLE		
	PITTOSPORUM TOBIRA	JAPANESE PITTOSPORUM		
SHRUBS (INTERNAL SLOPES)				
SYM	BOTANICAL NAME	COMMON NAME	SIZE	
	SMALL SHRUBS			
	LANTANA MONTEVIDENSIS	LANTANA	20% - 5 GAL	
	MEDIUM SHRUBS		30% - 1 GAL	
	CISTUS SP.	ROCK ROSE		
	SALVIZIA SPECIOSA	ISLAND SNAPDRAGON		
	LARGE SHRUBS			
	LEPTOSPERMUM SP.	TEA TREE		
	LIGUSTRUM JAPONICUM	WAX-LEAF PRIVET		
	RHAPHIOLEPIS UMBELLATA MINOR	INDIAN HAWTHORNE		
SHRUBS (PARKS)				
SYM	BOTANICAL NAME	COMMON NAME	SIZE	
	SMALL SHRUBS			
	LANTANA MONTEVIDENSIS	LANTANA	10% - 5 GAL	
	DIETES IRIOIDES	FORTNIGHT LILY	30% - 1 GAL	
	LOMANDRA LONGIFOLIA	BREEZEGRASS		
	MEDIUM SHRUBS			
	CISTUS SP.	ROCK ROSE		
	CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER		
	MULLENBERGIA C. LENCEA	REGAL MIST PINK MULY		
	LARGE SHRUBS			
	LEPTOSPERMUM SP.	TEA TREE		
	PHYGOMY ROEBELNI	PHYGOMY DATE PALM		
	STRELITZIA REGINAE	BIRD OF PARADISE		
	TEGOMA STANS	GOLD STAR		
	FLUMBAGO AURIGULATA	ROYAL CAPE FLUMBAGO		
	CAPE			
GROUNDCOVERS				
SYM	BOTANICAL NAME	COMMON NAME	SIZE	
	MULLENBERGIA DUBIA	PINE MULY	1 GALLON	
	LOMANDRA LONGIFOLIA	BREEZEGRASS	24" O.C. MIN.	
	BOUQUETIA GRACILIS	BLUE GRAMA GRASS		
	CAREX PRAEGRACILIS	CALIF. FIELD SEDGE	1 GALLON	
	CHONDRLOPETALUM TECTORUM	SMALL CAPE RUSH	30" O.C. MIN.	
	MULLENBERGIA RIGENS	DEER GRASS		
GROUNDCOVERS (INTERNAL SLOPES)				
SYM	BOTANICAL NAME	COMMON NAME	SIZE	
	BOUQUINVILLEA SP.	BOUQUINVILLEA	PLUGS # 18" O.C. MIN.	
	LANTANA MONTEVIDENSIS	TRAILING LANTANA		
	ERIOSOMUM FASCICULATUM	CALIFORNIA BUCKWHEAT	1 GALLON	
	BOUQUINVILLEA SP.	BOUQUINVILLEA	24" O.C. MIN.	
	CARISSA MAC. GREEN CARPET	GREEN CARPET NATAL PLUM	1 GALLON	
	ACACIA REDOLENS	DESERT CARPET	6" O.C. MIN.	

LANDSCAPE PLANS SHALL BE DESIGNED TO COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE, CHAPTER 20.82

NOTE:
TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 10 FEET OF HARDSCAPE. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL AND SHALL EXTEND 10' ON EITHER SIDE OF TREE. REFER TO CITY STANDARD NOTES FOR BIO-BARRIER REG. FOR TREE PLANTING.

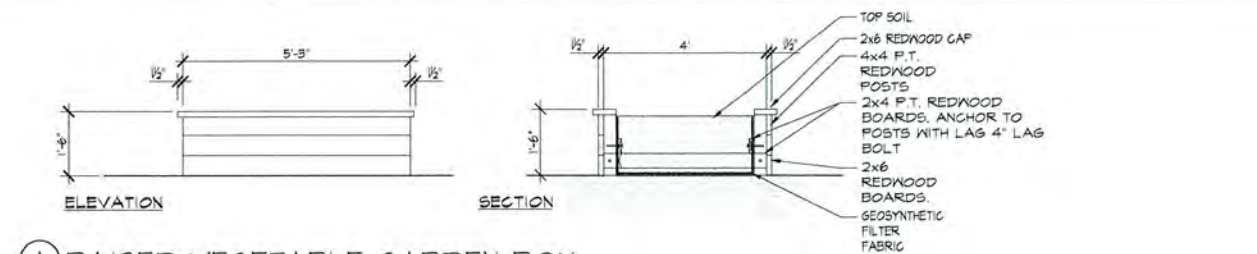
VINES			
SYM	BOTANICAL NAME	COMMON NAME	SIZE
	CALYSTEGIA MACROSTEGIA	CALIFORNIA MORNING GLORY	15 GAL
	CLEMATIS LASIANTHA	CHAPARRAL CLEMATIS	
ALTERNATIVE ZONE A PLANTINGS (FIRST 50' OF DEFENSIBLE SPACE)			
IN THE EVENT IRRIGATION IS UNAVAILABLE DUE TO DROUGHT RESTRICTIONS			
TREES			
SYM	BOTANICAL NAME	COMMON NAME	HTXSPREAD SIZE
	HETEROMELES ARBUTIFOLIA	TOYON	10'x15' 100% - 15 GAL
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	40'x50'
SHRUBS			
SYM	BOTANICAL NAME	COMMON NAME	SIZE
	ACHILLEA MILLEFOLIUM	YARROW	20% - 5 GAL
	AGAVE ATTENUATA	AGAVE	30% - 1 GAL
	CISTUS PURPUREA	ORCHID ROCKROSE	
	EPILOBIUM CALIFORNICA	GA FUCHSIA	
	RHUS OVATA	SUGAR BUSH	
	PLUMBAGO AURICULATA	ROYAL CAPE PLUMBAGO	
	ROYAL CAPE		
GROUNDCOVER			
SYM	BOTANICAL NAME	COMMON NAME	SIZE
	ACACIA REDOLENS	PROSTRATE ACACIA	1 GAL # 6" O.C. MIN.
	DELOSFERMA ALBA	DISNEYLAND ICE PLANT	PLUGS # 18" O.C. MIN.

ALL CFD MAINTENANCE BOUNDARIES SHALL BE ESTABLISHED BY APPROPRIATE MEANS OF SEPARATION IN THE FIELD.

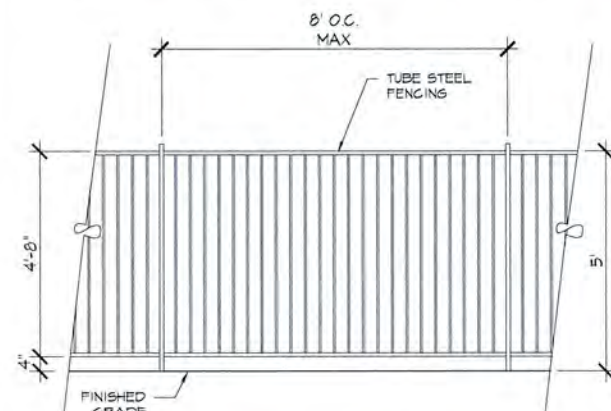
EXISTING LANDSCAPE IN CFD AREA TO REMAIN. ANY LANDSCAPE DAMAGED IN CONSTRUCTION PROCESS SHALL BE REPLACED IN KIND.

ALL NON CFD LANDSCAPE AREAS SHOWN SHALL BE MAINTAINED BY THE PROJECT HOA AND/OR THE INDIVIDUAL HOMEOWNER(S).

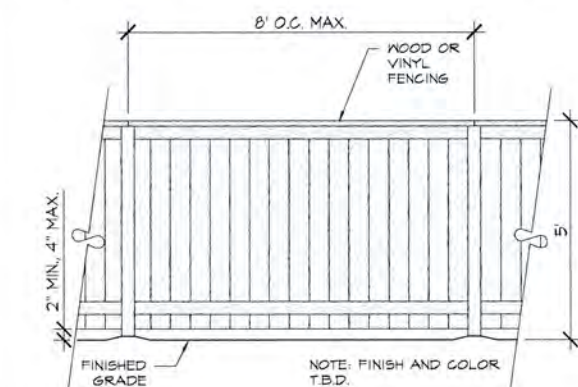




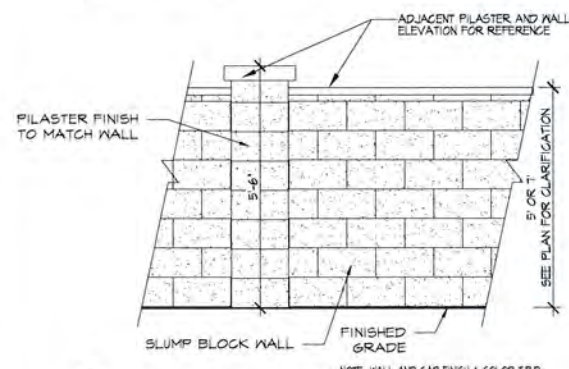
(A) RAISED VEGETABLE GARDEN BOX



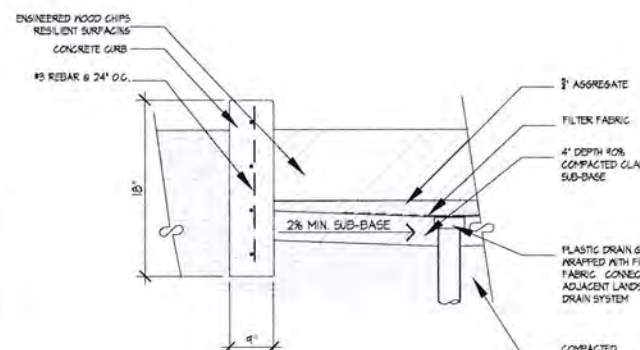
(B) 5' TUBE STEEL FENCING



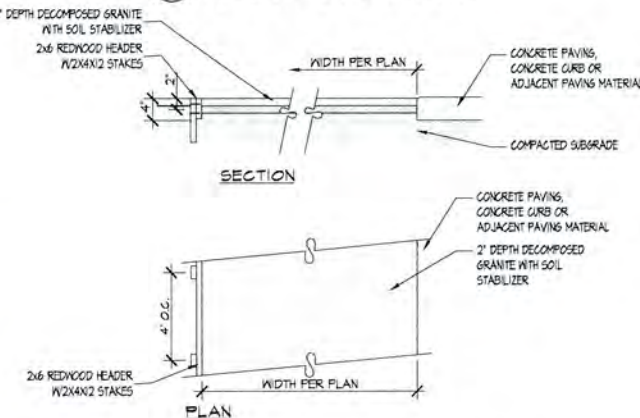
(C) 5' WOOD/VINYL FENCING



(D) MASONRY WALL



(E) TOTLOT SURFACING



(F) D.G. TRAIL - STABILIZED

DESIGN INTENT STATEMENT
THE LANDSCAPE DESIGN INTENT OF THIS PROJECT IS TO PROVIDE PLANT MATERIAL THAT ACCENTS AND FRAMES THE ARCHITECTURE AND ENHANCES THE PEDESTRIAN SCALE OF THE PROJECT. STREET TREES ARE CONSISTENT WITH SURROUNDING AREAS AND WILL BE USED TO PROVIDE CONTINUITY THROUGHOUT THE ADJACENT COMMUNITY. THE PLANT MATERIALS THAT HAVE BEEN SELECTED WERE DONE SO FOR THEIR LOW WATER USE QUALITIES. ADDITIONALLY, THE IRRIGATION SYSTEM PROVIDED WILL USE A RAIN SENSING CONTROLLER AND WILL BE DESIGNED TO BE HIGHLY EFFICIENT AND WILL BE ADJUSTABLE SO AS NOT TO WASTE WATER THROUGH RUNOFF OR OVERIRRIGATION.

PLANTING NOTES
NOTE: NO STRUCTURES OR LANDSCAPING THAT WOULD INHIBIT VEHICULAR ACCESS SHALL BE INSTALLED IN OR OVER ANY SEWER ACCESS EASEMENT.

MULCH
ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 4 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER.

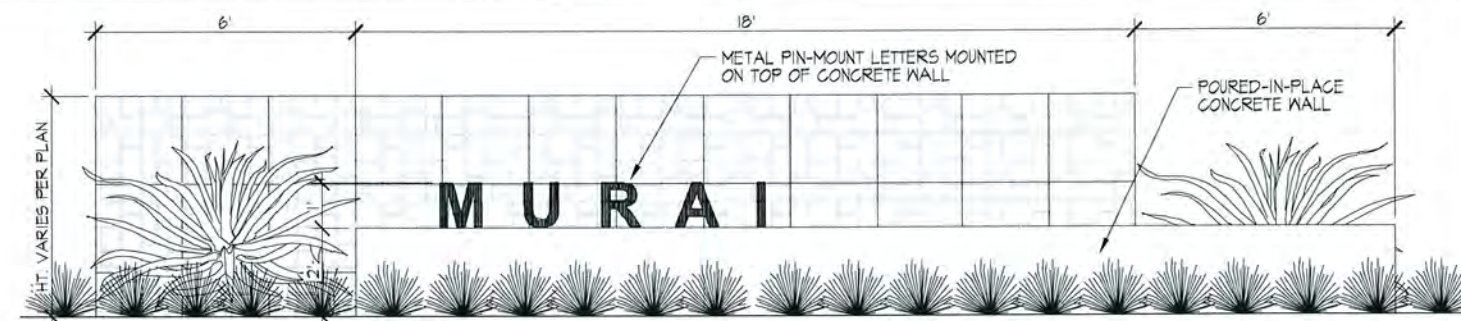
NOTE:
TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 10 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL. ROOT BARRIER SHALL EXTEND 10' ON EITHER SIDE OF TREE.

IRRIGATION - AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE. THE INTENDED IRRIGATION SYSTEM WILL BE A DRIP SYSTEM.

MAINTENANCE - ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION OR HOMEOWNER AS SET UP BY THE PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN MARCOS' LAND DEVELOPMENT CODE, LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, THE CORE SUB-AREA DESIGN MANUAL, AND ALL OTHER CITY AND REGIONAL STANDARDS.

MINIMUM TREE SEPARATION DISTANCE
IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET



(G) ENTRY MONUMENT

PLANTING CONCEPT LEGEND

TREES (LAS POSAS RD STREETSCAPE)					
SYM	BOTANICAL NAME	COMMON NAME	HTxSPREAD	SIZE	
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	40'x50'	30% - 36"	BOX
	LAESKESTROEMIA INDICA	NATCHEZ GRAPE	25'x25'	40% - 24"	BOX
	NATCHEZ	MYRTLE			
	PLATANUS MEXICANA	MEXICAN SYCAMORE	40'x50'	20% - 15'	GAL
	TABERNA IMPETIGINOSA	PINK TRUMPET TREE	25'x20'	10% - 24"	BOX

TREES (INTERNAL STREETSCAPE)				SIZE
SYM.	BOTANICAL NAME	COMMON NAME	HTXSPREAD	
	RHUS LANCEA	AFRICAN SUMAC	20'x20'	100% - 24" BOX
	AREBUTUS MARINA	STRAWBERRY TREE	25'x25'	
	METROSIDEROS ENGELSA	NEW ZEALAND CHRISTMAS TREE	55'x30'	
	TABEBUIA IMPETIGINOSA	PINK TRUMPET TREE	25'x20'	

TREES (PARKS)		COMMON NAME	HTXSPREAD	SIZE
SYM	BOTANICAL NAME			
	QUERCUS OCCIDENTALIS FOREST PANSY®	FOREST PANSY REDBUD	25'x25'	100% - 15 GAL
	PISTACIA CHINENSIS	CHINESE PISTACHE	20'x20'	
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	40'x50'	

TREES (SLOPES)					
SYM	BOTANICAL NAME	COMMON NAME	HTX	SPREAD	SIZE
	LOPHOSTEMON CONFERTUS	DRISDALE BOX	50'x45'	100%	24" BOX
	QUERCUS AGRIIFOLIA	COAST LIVE OAK	50'x40'		
	RHUS LANCEA	AFRICAN SUMAG	25'x25'		

SHRUBS (LAS POSAS RD STREETSCAPE)	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
SMALL SHRUBS		BOULEA ELONCE AMBITION	BLUE GRAMA GRASS	10% - 5 GAL
MEDIUM SHRUBS		ASAVE ATTENUATA	ASAVE	30% - 1 GAL
LARGE SHRUBS		CISTUS PURPUREA	ORCHID ROCKROSE	
		CARRISA 'GREEN CARPET'	NATAL FLUM	

SHRUBS (INTERNAL STREETSCAPE)	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
SMALL SHRUBS		CAREX TUMICOLA	BERKLEY SEDGE	10% - 5 GAL
		DIETES IRIDIODES	PORTNIGHT LILY	30% - 1 GAL
		LOMANDRA LONGIFOLIA	BREEZEGRASS	

SHRUBS (PARKS)	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
SMALL SHRUBS		ASAVE ATTENUATA	ASAVE	10% - 5 GAL
		BOUSAINVILLEA TEMPLEFIRE	BOUSAINVILLEA	
		GALLISTERYA LITTLE JOHN	LITTLE JOHN BOTTLE BRUSH	
		MULLENBERGIA C. LENCEA	REGAL MIST PINK MULEY	
		ROSMARINUS TUSCAN BLUE	TUSCAN BLUE ROSEMARY	

SHRUBS (INTERNAL SLOPES)	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
SMALL SHRUBS		LANTANA MONTEVIDENSIS	LANTANA	20% - 5 GAL
MEDIUM SHRUBS		CISTUS SP.	ROCK ROSE	30% - 1 GAL
LARGE SHRUBS		LEPTOSPERMUM SP.	TEA TREE	
		LIGUSTRUM JAPONICUM	MAX-LEAF PRIVET	
		RHAPHIOLEPIS UMBELLATA MINOR	INDIAN HANTHORN	

SHRUBS (PARKS)	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
SMALL SHRUBS		LANTANA MONTEVIDENSIS	LANTANA	10% - 5 GAL
		DIETES IRIDIODES	PORTNIGHT LILY	30% - 1 GAL
		LOMANDRA LONGIFOLIA	BREEZEGRASS	
MEDIUM SHRUBS		CISTUS SP.	ROCK ROSE	
		CALLANDRA CALIFORNICA	BAJA FAIRY DUSTER	
		MULLENBERGIA C. LENCEA	REGAL MIST PINK MULEY	

SHRUBS (PARKS)	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
SMALL SHRUBS		LEPTOSPERMUM SP.	TEA TREE	
		PHOENIX ROEBELENI	PRYNN DATE PALM	
		STRELITZIA REGINAE	BIRD OF PARADISE	
		TECHOMA STANS 'GOLD STAR'	YELLOW BELLS	
		FLUMBAGO AURICULATA 'ROYAL CAPE'	ROYAL CAPE FLUMBAGO	

*NOTE: MONUMENT ENTRY WALL SHALL BE LOCATED OUTSIDE OF ROW AND IN HOA MAINTAINED AREA.

GROUNDCOVERS	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
PARKS		MULLENBERGIA DUBIA	FINE MULEY	1 GALLON
		LOMANDRA LONGIFOLIA	BREEZEGRASS	# 24" O.C. MIN.
		BOULEA GRACILIS	BLUE GRAMA GRASS	

WATER QUALITY	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
BASIN		CAREX PRAEGRACILIS	CALIF. FIELD SEDGE	1 GALLON
		CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	# 30" O.C. MIN.
		MULLENBERGIA RIGENS	DEER GRASS	

GROUNDCOVERS (INTERNAL SLOPES)	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
HOMEOWNER		BOUSAINVILLEA SP.	BOUSAINVILLEA	PLUS # 18" O.C. MIN.
		LANTANA MONTEVIDENSIS	TRAILING LANTANA	

HOA	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
		ERIOSOMUM FASCICULATUM	CALIFORNIA BUCKWHEAT	1 GALLON
		BOUSAINVILLEA SP.	BOUSAINVILLEA	# 24" O.C. MIN.
		CARRISA VAG. 'GREEN CARPET'	GREEN CARPET NATAL FLUM	1 GALLON
		ACACIA REDOLENS 'DESERT CARPET'	PROSTRATE ACACIA	# 6" O.C. MIN.

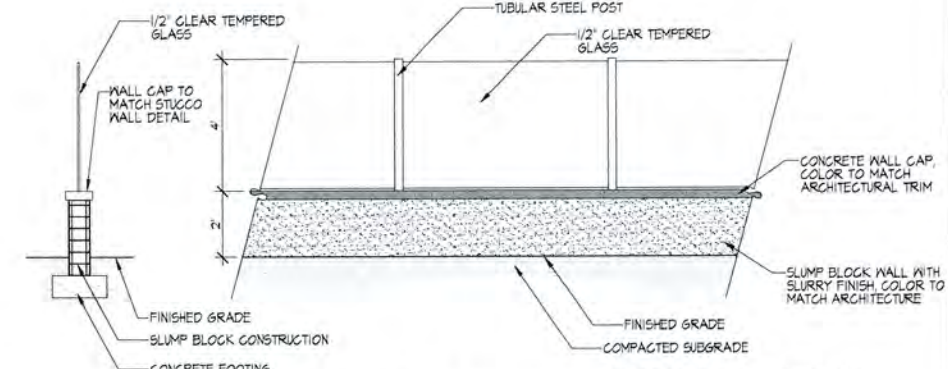
VINES	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
		CALYSTEDIA MACROSTESIA	CALIFORNIA MORNING GLORY	15 GAL.
		CLEMATIS LASIANTHA	CHAPARRAL CLEMATIS	

ALTERNATIVE ZONE A PLANTING (FIRST 50' OF DEFENSIBLE SPACE)
IN THE EVENT IRRIGATION IS UNAVAILABLE DUE TO DROUGHT RESTRICTIONS

TREES	SYM.	BOTANICAL NAME	COMMON NAME	HTXSPREAD	SIZE
		HETEROMELES ARBUTIFOLIA	TOYON	10'x15'	100% - 15 GAL.
		QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	40'x50'	

SHRUBS	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
SMALL SHRUBS		ACHILLEA MILLEFOLIUM	YARROW	20% - 5 GAL
MEDIUM SHRUBS		ASAVE ATTENUATA	ASAVE	30% - 1 GAL
LARGE SHRUBS		CISTUS PURPUREA	ORCHID ROCKROSE	
		EPILOBUM CALIFORNICA	CA FUCHSIA	

GROUNDCOVER	SYM.	BOTANICAL NAME	COMMON NAME	SIZE
HOMEOWNER		ACACIA REDOLENS	PROSTRATE ACACIA	1 GAL.
		DESERT CARPET		# 6" O.C. MIN.
HOA		DELOSPERMA ALBA	DISNEYLAND ICE PLANT	PLUS # 18" O.C. MIN.



(H) NON-COMBUSTIBLE GLASS VIEW FENCE

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ALL CFD MAINTENANCE BOUNDARIES SHALL BE ESTABLISHED BY APPROPRIATE MEANS OF SEPARATION IN THE FIELD.

SHEET 10 OF 11 SHEETS

GMP JOB #15-052

MURAI | SAN MARCOS, CA

ColRich 444 West Beech St., Suite 300
San Diego, CA 92101

CONCEPTUAL LEGEND & DETAILS

1ST SUBMITTAL: 10/7/15
2ND SUBMITTAL: 3/10/16
3RD SUBMITTAL: 6/11/16
4TH SUBMITTAL: 10/11/16
5TH SUBMITTAL: 3/30/17
6TH SUBMITTAL: 08/13/17

07/25/18

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Suite 200
San Diego, CA 92121
gmp@landorch.com
F 858 558 8977
LANDSCAPE
ARCHITECTURE
& PLANNING

PROPOSED RETAINING WALL NOTES

1. RETAINING WALL. HEIGHT VARIES FROM 1' TO 10'. AVERAGE EXPOSED HEIGHT IS 7'.
2. RETAINING WALL. HEIGHT VARIES FROM 1' TO 5'. AVERAGE EXPOSED HEIGHT IS 4'.
3. RETAINING WALL. HEIGHT VARIES FROM 1' TO 5'. AVERAGE EXPOSED HEIGHT IS 3'.
4. 3' MAXIMUM RETAINING WALL.
5. RETAINING WALL. HEIGHT VARIES FROM 1' TO 13'. AVERAGE EXPOSED HEIGHT IS 8'.
6. RETAINING WALL. HEIGHT VARIES FROM 1' TO 5'. AVERAGE EXPOSED HEIGHT IS 4'.
7. RETAINING WALL. HEIGHT VARIES FROM 1' TO 7'. AVERAGE EXPOSED HEIGHT IS 5'.

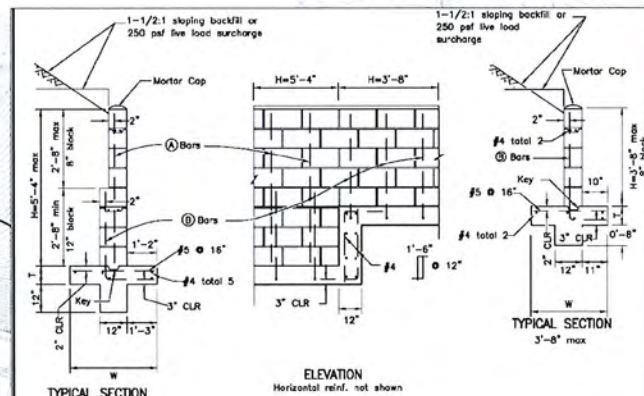
LANDSCAPE PLANS SHALL BE DESIGNED TO COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE, CHAPTER 20.82

ALL LOTS, EXCEPT LOTS 7 AND 80, HAVE A VARYING WIDTH LANDSCAPE SEPARATION BETWEEN RETAINING WALLS AND LOT WALLS/FENCING.
EXCEPTIONS:
LOT 7 HAS A COMBINATION RETAINING WALL (4' HIGH, 33' IN LENGTH) AND FREESTANDING MASONRY WALL (5'-7' HIGH) ABOVE. MASONRY WALL AT THE TOP OF SLOPE IS REQUIRED AS PART OF THE CONDITIONS FOR HOMES ADJACENT TO THE FIRE BUFFER ZONE.
LOT 80 HAS A COMBINATION RETAINING WALL (1'-4' HIGH, 23' IN LENGTH) AND FREESTANDING TUBULAR STEEL FENCE (5' HIGH) ABOVE IN THE REAR YARD OF THE LOT. THE RETAINING WALL FACES THE RESIDENTIAL UNIT AND IS NOT VISIBLE TO THE PUBLIC.

FENCE/WALL LEGEND

DETAIL

	5' MASONRY WALL	D
	5' TUBULAR STEEL FENCING	B
	5' WOOD OR VINYL FENCING	C
	7' MASONRY NOISE WALL	D
	2' MASONRY W/4' GLASS NOISE/FIRE WALL	H



DIMENSIONS AND REINFORCING STEEL		
H (max)	5'-4"	3'-8"
T (min)	0'-10"	0'-8"
W (min)	3'-10"	2'-9"
Reinforcing Steel	#4 @ 16"	#4 @ 16"
Max. Live Load Pressure	2,000 psf	1,400 psf

- NOTES:
- See C-7 and C-8 for additional notes and details.
 - Fill all block cells with grout.

Revision	By	Approved	Date
ORIGINAL	Perkinson		2/9/15
ADD: M&S	T. Stanten		03/03
DATE: M&S	T. Stanten		03/11

SAN DIEGO REGIONAL STANDARD DRAWING

MASONRY RETAINING WALL TYPE 6
(LIVE LOAD SURCHARGE OR SLOPING BACKFILL)

RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARD COMMITTEE

DATE: 1/1/2010

DRAWING NUMBER C-6

ALL CFD MAINTENANCE BOUNDARIES SHALL BE ESTABLISHED BY APPROPRIATE MEANS OF SEPARATION IN THE FIELD.

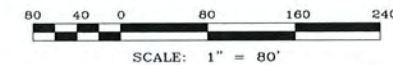
EXISTING LANDSCAPE IN CFD AREA TO REMAIN. ANY LANDSCAPE DAMAGED IN CONSTRUCTION PROCESS SHALL BE REPLACED IN KIND.

ALL NON CFD LANDSCAPE AREAS SHOWN SHALL BE MAINTAINED BY THE PROJECT HOA AND/OR THE INDIVIDUAL HOMEOWNER(S).

MURAI | SAN MARCOS, CA

ColRich 444 West Beech St., Suite 300
San Diego, CA 92101

FENCE & WALL EXHIBIT



1ST SUBMITTAL: 10/7/15
2ND SUBMITTAL: 3/10/16
3RD SUBMITTAL: 6/1/16
4TH SUBMITTAL: 10/11/16
5TH SUBMITTAL: 3/30/17
6TH SUBMITTAL: 06/13/17

07/25/18

SHEET 11 OF 11 SHEETS

GMP JOB #15-052



gmp

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LANDSCAPE
ARCHITECTURE
& PLANNING