



Staff Report

File #: TMP-1939

PLANNING COMMISSION MEETING DATE:

July 17, 2023

SUBJECT:

PLANNING COMMISSION RESOLUTION PC23-5047 RECOMMENDING TO CITY COUNCIL THE SUMMARY VACATION AND ABANDONMENT OF THE SLOPE EASEMENT ALONG BARHAM DRIVE GRANTED ON JULY 24, 2012 BY DOCUMENT 2012-0429406, 2012, WITHIN THE BOUNDARY OF TENTATIVE SUBDIVISION MAP TSM20-0001 FOR THE HALLMARK-BARHAM PROJECT

CASE NUMBERS:

Summary Vacation VAC 23-0012

Recommendation

APPROVE Resolution PC23-5047 (VAC23-0012) recommending to City Council the summary vacation and abandonment of the Slope Easement along Barham Drive granted on July 24, 2012 by Document 2012-0429406, all within the boundary of Tentative Subdivision Map TSM20-0001 for the Hallmark-Barham project.

Board or Commission Action

On April 4, 2022, Planning Commission considered the Hallmark-Barham project and recommended to City Council approval. On May 10, 2022, City Council approved the project including Environmental Impact Report (EIR21-001), Specific Plan (SP20-0002), General Plan Amendment (GPA20-0002), Rezone (R20-0001), Multi-Family Site Development Plan Review (MFSDP20-0001), Conditional Use Permit (CUP20-0007), Grading Variance (GV20-0002), and Tentative Subdivision Map (TSM20-0001). The proposed summary vacation of slope easement was depicted on TSM20-0001 as recommended by Planning Commission for approval and as approved by City Council on May 10, 2022.

Background

On May 10, 2022, City Council approved the Hallmark-Barham project. The project allows for the development of 151 multi-family residential dwelling units on a vacant 10.6-acre site located at 943 E. Barham Drive (Attachment A). The proposed development consists of 25 residential buildings with two- to three-story townhomes, recreational building, recreational areas, bioretention areas, and parking.

The slope easement along the property frontage to Barham Drive was granted on July 24, 2012 as Document 2012-0429406 and is proposed for summary vacation (Attachment B).

Discussion

California Streets and Highways Code (CSHC) 8333(c) permits the legislative body of a local agency to summarily vacate a public service easement if the easement has been superseded by relocation or

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determined to be excess by the easement holder, and there are no public facilities within the easement. Staff has determined that the Slope Easement to be vacated is in excess, and there are no public facilities within the easement.

In accordance with CSHC Section 8313 and Government Code Section 65402, the local planning agency is required to consider the proposed vacation action and to report on its conformance with the adopted General Plan. Staff reviewed the limits of the proposed vacation of public service easement and found that it is not needed for public use, and that the vacation and abandonment of the public service easement would be consistent with the General Plan.

Following Planning Commission action, the proposed vacation and abandonment of public service easement can be considered by the City Council. If City Council orders the vacation and abandonment, the vacated public service easement will remove an encumbrance on the property and allow use of the area by the proposed development.

Environmental Review

The proposed vacation and abandonment of the public service easement is within the scope of the Environmental Impact Report (EIR) for Hallmark-Barham which is in accordance with the California Environmental Quality Act (CEQA) Section 15162. On May 10, 2022 City Council certified Final Environmental Impact Report (FEIR21-001) (SCH No. 2021040009). Further, the proposed vacation and abandonment is deemed Categorically Exempt pursuant to Section 15305 Class 5 (Minor Alterations in Land Use Limitations), in that this is a minor realignment of right-of-way.

Public Comment

No public comments were received during the processing of this vacation application.

Attachments

- A. Tentative Subdivision Map TSM20-0001 for Hallmark-Barham
- B. Vicinity Map of Slope Easement Abandonment

Adopting Resolutions:

1. Resolution PC 23-5047 (VAC23-0012)

Prepared by:

Kyrenne Chua, Senior Civil Engineer

Reviewed by:

File #: TMP-1939

Stephanie Kellar, Deputy City Engineer

Submitted/Approved by:

Joseph Farace, Planning Division Director

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN MARCOS, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THOSE PORTIONS OF LOTS 1 AND 3 OF SECTION 18, TOWNSHIP 12 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY APPROVED DECEMBER 14, 1885.

SOURCE OF TOPOGRAPHY

TOPOGRAPHIC INFORMATION SHOWN HEREON IS BY AEROTECH MAPPING INC., DATED FEBRUARY, 2020.

BENCHMARK

ELEVATIONS FOR THIS SURVEY IS BASED UPON CP-013 AS PUBLISHED IN RECORD OF SURVEY _____ AND PART OF THE CITY OF SAN MARCOS CONTROL NETWORK. ELEVATION = 714.20 NAVD 88.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM ZONE 6, NAD83 2017.50 EPOCH, AS DETERMINED LOCALLY BY A LINE BETWEEN STATION CP-013 AND CP-015 AS SAID COORDINATES ARE PUBLISHED IN RECORD OF SURVEY _____ AND ARE PART OF THE CITY OF SAN MARCOS CONTROL NETWORK. I.E. N57°46'38"E.

QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

THE COMBINED GRID FACTOR AT STATION CP-013 IS 0.99993135.

GRID DISTANCE = GROUND DISTANCE TIMES COMBINED SCALE FACTOR.

ASSESSOR'S PARCEL NUMBER

228-310-01-00.

CONDOMINIUM STATEMENT

THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125, ET. SQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS TO BE FILED PURSUANT TO THE SUBDIVISION ACT. THIS PROJECT PROPOSED A MAXIMUM OF 151 RESIDENTIAL CONDOMINIUMS.

UTILITIES

WATER: VALLECITOS WATER DISTRICT
SEWER: VALLECITOS WATER DISTRICT
RECLAIMED WATER: VALLECITOS WATER DISTRICT
GAS: SAN DIEGO GAS & ELECTRIC
ELECTRIC: SAN DIEGO GAS & ELECTRIC

EARTHWORK QUANTITIES

GRADE AREA: 9,417 AC. MAX CUT DEPTH: ±18 FT.
CUT: 39,711 C.Y. MAX CUT SLOPE RATIO (2:1 MAX): 2:1
FILL: 86,052 C.Y. MAX FILL DEPTH: ±25 FT.
NET IMPORT: 46,341 C.Y. MAX FILL SLOPE RATIO (2:1 MAX): 2:1

* EARTHWORK QUANTITIES ARE APPROXIMATE

DEVELOPMENT NOTES

1. GROSS PROJECT AREA = 10.555 AC.
2. NUMBER OF EXISTING LOTS = 1.
NUMBER OF PROPOSED LOTS = 1.
NUMBER OF PROPOSED DWELLING UNITS = 151.
DENSITY (DU/AC) = 14.3 DU/AC
3. CURRENT GENERAL PLAN DESIGNATION AND ZONING = MU-3.
PROPOSED GENERAL PLAN DESIGNATION AND ZONING = SPA
4. ALL BUILDINGS ARE 3 STORY BUILDINGS.
5. EVIDENCE SHALL BE PROVIDED OF HAVING OBTAINED GRADING RIGHTS UPON ADJACENT PROPERTY WHERE REQUIRED.
6. FIRM MAP NO: 06073C07946
7. FIRE PROTECTION: SAN MARCOS FIRE
SCHOOL DISTRICT: SAN MARCOS UNIFIED SCHOOL DISTRICT
TRASH: EDCO
7. DRIVEWAYS ARE 16.0' x 5.0'.
MAX. DRIVEWAY SLOPE: 15%
MIN. DRIVEWAY SLOPE: 1%

WAIVER REQUESTS

1. DESIGN WAIVER REQUEST TO ALLOW 24' BUILDING SEPARATION ON 2ND STORY WITHIN ALLEYS.
2. DESIGN WAIVER REQUEST TO ALLOW SLOPES AND SLOPE/WALL COMBINATIONS GREATER THAN 20' IN HEIGHT.

LIST OF ABBREVIATIONS

A.P.	ACCESSIBLE PARKING	IRR.	IRRIGATION
AC.	ACRE	L.P.	LOW POINT
A.D.A.	AMERICANS WITH DISABILITIES ACT	MAX.	MAXIMUM
APPROX.	APPROXIMATE	MIN.	MINIMUM
A.C.	ASPHALT CONCRETE	MOD.	MODIFIED
BMP	BEST MANAGEMENT PRACTICES	N.A.P.	NOT A PART
B.W.	BOTTOM OF WALL	O.C.	ON CENTER
C.B.	CATCH BASIN	PKWY.	PARKWAY
CL	CENTERLINE	P.V.C.	POLYVINYL CHLORIDE
C.O.	CLEANOUT	P.C.C.	PORTLAND CEMENT CONCRETE
CONC.	CONCRETE	P.P.	POWER POLE
C.Y.	CUBIC YARD	PVT.	PRIVATE
D.G.	DECOMPOSED GRANITE	FL	PROPERTY LINE
DIA.	DIAMETER	R.Y.S.	REAR YARD SETBACK
DWG.	DRAWING	RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
DWY., D/W	DRIVEWAY	R.C.P.	REINFORCED CONCRETE PIPE
D.U.	DWELLING UNIT	R/W	RIGHT-OF-WAY
E.P.	EDGE OF PAVEMENT	S.C.O.	SEWER CLEANOUT
ELEV.	ELEVATION	S.M.H.	SEWER MANHOLE
EXIST.	EXISTING	S.Y.S.	SIDE YARD SETBACK
E.O.E.	EXISTING OVERHEAD ELECTRIC	SIM.	SIMILAR
F.F.	FINISHED FLOOR	S.F.	SQUARE FEET
F.G.	FINISHED GRADE	S.D.	STORM DRAIN
F.S.	FINISHED SURFACE	S.D.C.O.	STORM DRAIN CLEANOUT
FS	FIRE SERVICE	STA.	STATION
FL	FLOWLINE	ST. LT.	STREET LIGHT
F.Y.S.	FRONT YARD SETBACK	S.G.	SUBGRADE
G.F.	GARAGE FLOOR	T.W.C.	TIME WARNER CABLE
G.B.	GRADE BREAK	T.C.	TOP OF CURB
GR.	GRATE	T.W.	TOP OF WALL
GTR.	GUTTER	TRANS.	TRANSFORMER
H.H.	HANDHOLE	TYP.	TYPICAL
H.P.	HIGH POINT	U.N.O.	UNLESS NOTED OTHERWISE
HR.	HOUR	V.W.D.	VALLECITOS WATER DISTRICT
I.E.	INVERT ELEVATION		

OWNER/APPLICANT

HALL LAND COMPANY
740 LOMA SANTA FE DRIVE, SUITE 204
SOLANA BEACH, CA. 92075
(858) 481-3310
CONTACT: MARIANA MCGRAIN

Mariana McGrain
6-16-22
DATE

HALL LAND COMPANY, INC.

CIVIL ENGINEER/
LAND SURVEYOR

SB&O, INC.
3990 RUFFIN ROAD, SUITE 120
SAN DIEGO, CA. 92123
(858) 560-1141
CONTACT: STEPHEN C. OTT

LANDSCAPE ARCHITECT

GMP
4010 SORRENTO VALLEY ROAD, SUITE 200
SAN DIEGO, CA. 92121
(858) 558-8977
CONTACT: JOHN PATTERSON

ARCHITECT

WHA
2850 RED HILL AVENUE, SUITE 200
SANTA ANA, CA. 92705-5543
(949) 250-0607
CONTACT: NICK MANEA

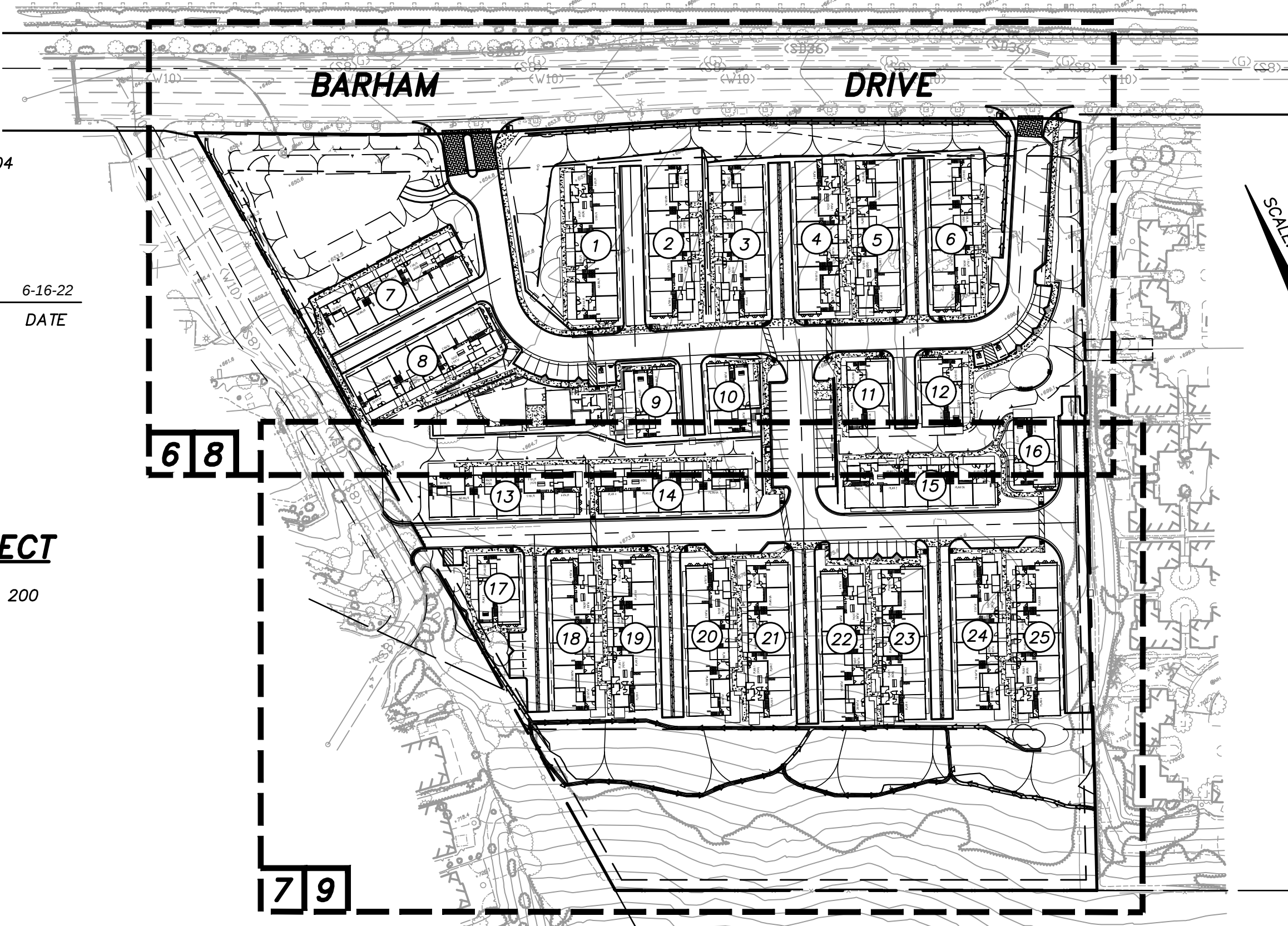
SOILS ENGINEER

GEOCON, INC.
6960 FLANDERS DRIVE
SAN DIEGO, CA. 92121
(858) 558-6900
CONTACT: JOE PAGNILLO

PLANNING CONSULTANT

CCI
160 INDUSTRIAL STREET STE. 120
SAN MARCOS, CA 92078
(760) 471-2365
CONTACT: MATT SIMMONS

TENTATIVE MAP AND SITE DEVELOPMENT PLANS FOR:
943 BARHAM DRIVE



KEY MAP LEGEND

	SHEET LIMITS
	SHEET NUMBER

KEY MAP

SCALE: 1" = 100'

SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET/KEY MAP
2-3	DETAILS/SITE SECTIONS/TYPICAL SECTIONS
4	EXISTING CONDITIONS
5	CIRCULATION PLAN
6-7	HORIZONTAL CONTROL PLANS
8-9	GRADING AND STORM DRAIN PLANS
10	EROSION CONTROL PLAN

DEVELOPMENT SUMMARY

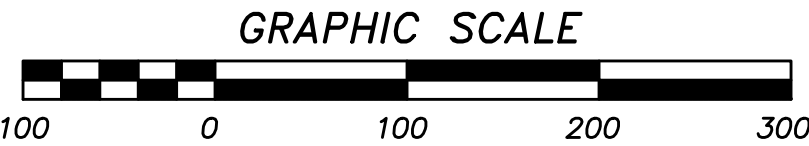
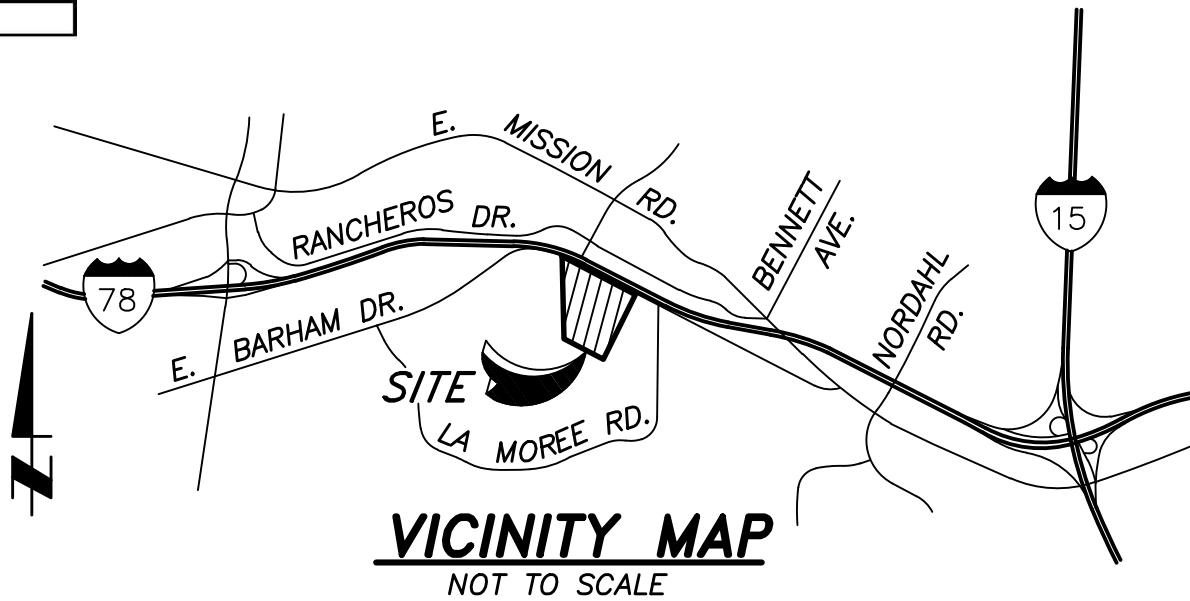
SETBACKS	
FRONT FL	35 FT.
SIDE	10 FT.
REAR	10 FT.

SITE DATA		
	ACRES	% ACRES
LOT	10.555	-
BUILDING	2.761	26.2%
PARKING	0.237	2.2%
LOADING	0.012	0.1%
LANDSCAPING	3.706	35.1%

OPEN SPACE REQUIREMENTS		
	PROVIDED	REQUIRED
COMMON OPEN SPACE AREA WITH GRADES 10% OR GREATER	134,776	-
COMMON OPEN SPACE AREA WITH GRADES LESS THAN 10%	64,913	37,010
PRIVATE OPEN SPACE PATIOS/DECKS	26,390	25,150
BASIN	6,764	-
RECREATIONAL AREAS	10,742	2,400

DWELLING UNITS			
	UNITS	PARKING/DU	REQ. PARKING
1 BDRM	19	1.5	29
2 BDRM	25	2	50
3 BDRM	82	2	164
4 BDRM	25	2	50
TOTALS	151		293

3-Plex Bldg. Garage Standards		7-Plex Bldg. Garage Standards	
Plan Type	Garage Standard	Plan Type	Garage Standard
3	2-car 20'0" x 20'0"	1	1-car 12'0" x 20'0"
4A	2-car 20'0" x 20'0"	2	2-car 20'0" x 20'0"
6D	2-car 20'0" x 20'0"	4B	2-car 20'0" x 20'0"
		5	2-car 20'0" x 20'0"
		6A	2-car 20'0" x 20'0"
		6B	2-car 20'0" x 20'0"
		6C	2-car 20'0" x 20'0"
Required Parking Ratio		Required Parking Spaces	
1.5 spaces per 1 BR unit		293	
2 spaces per 2+ BR unit		50	
1 guest space per 3 DUs		342	
Total Parking Required		349	
Total Garage Spaces Provided		283	
Open Guest Spaces (non-ADA)		46	
Assigned Spaces		10	
Compact Spaces		5	
Post Office Space		1	
ADA Spaces		3	
Electric Vehicle Charging Spaces		1	
Total Garage Spaces		283	
Total Guest Parking		56	
Total Assigned Spaces		10	
Total Project Parking Provided		349	



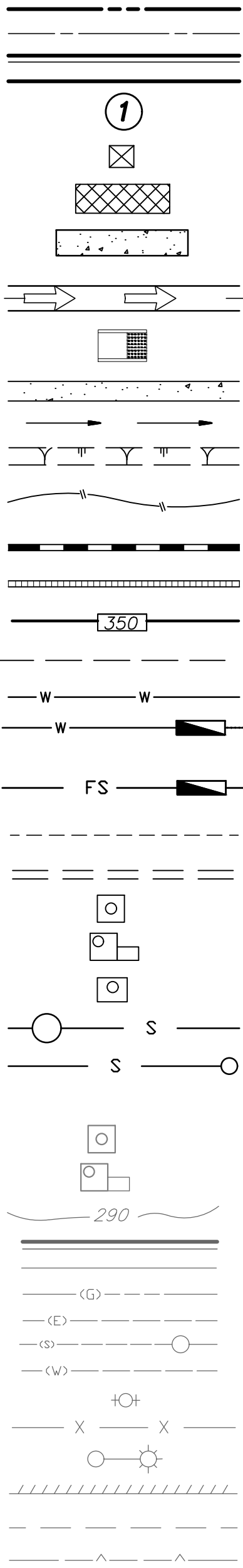
SB&O
PLANNING ENGINEERING SURVEYING
3990 Ruffin Road, Suite 120
San Diego, Ca. 92123
858-560-1141
858-560-8157 Fax



Stephen C. Ott
STEPHEN C. OTT P.E. C70666 6-15-2022
DATE

LEGEND

- PROJECT BOUNDARY
- STREET CENTERLINE
- CURB AND GUTTER (SEE PLAN FOR TYPE)
- 6" CURB
- BUILDING NO.
- TRANSFORMER PAD
- TREE WELL
- CONCRETE
- BROW DITCH
- PEDESTRIAN RAMP (TYPE PER PLAN)
- SIDEWALK
- DIRECTION OF DRAINAGE
- SLOPE (2:1 MAX., U.N.O.)
- DAYLIGHT LINE
- RETAINING WALL
- SCREEN WALL
- PROPOSED CONTOUR
- EASEMENT
- WATER MAIN (SIZE PER PLAN)
- WATER METER WITH BACKFLOW ASSEMBLY
- FIRE SERVICE WITH DODA
- SETBACK LINE
- EXISTING STORM DRAIN (SIZE PER PLAN)
- STORM DRAIN CLEANOUT
- STORM DRAIN INLET (TYPE PER PLAN)
- STORM DRAIN CATCH BASIN
- SEWER MANHOLE
- SEWER CLEANOUT



EXISTING LEGEND

- EXISTING TYPE "A-4" CLEANOUT
- EXISTING TYPE "B-1" CURB INLET
- EXISTING CONTOUR
- EXISTING CURB AND GUTTER
- EXISTING STRIPING
- EXISTING GAS
- EXISTING ELECTRIC
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING FENCE
- EXISTING STREET LIGHT
- EXISTING BUILDING
- EXISTING EASEMENT
- EXISTING RETAINING WALL

OWNERS CERTIFICATE

WE HEREBY CERTIFY THAT WE ARE THE RECORD OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED TENTATIVE MAP AND THAT SAID MAP SHOWS OUR ENTIRE CONTIGUOUS OWNERSHIP. WE UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHT OF WAY.

Mariana McGrain
6-16-22
DATE
HALL LAND COMPANY, INC.

"I (WE), HALL LAND COMPANY, INC., THE APPLICANT/OWNER(S) OR THE APPLICANT/OWNER'S REPRESENTATIVE, HAVE READ, UNDERSTAND AND AGREE TO THE CONDITIONS OF RESOLUTION NO. 2022-9017."

Mariana McGrain
6-16-22
DATE
HALL LAND COMPANY, INC.

"I (WE), HALL LAND COMPANY, INC., THE APPLICANT/OWNER(S) OR THE APPLICANT/OWNER'S REPRESENTATIVE, HAVE READ, UNDERSTAND AND AGREE TO THE CONDITIONS OF RESOLUTION NO. 2022-9015."

Mariana McGrain
6-16-22
DATE
HALL LAND COMPANY, INC.

Prepared By:

Name: SB&O INC.

Address: 3990 RUFFIN ROAD, SUITE 120

SAN DIEGO, CALIFORNIA 92123

Phone #: (858) 560-1141

Project Address:

943 BARHAM DRIVE

SAN MARCOS, CA.

Project Name:

943 BARHAM DRIVE

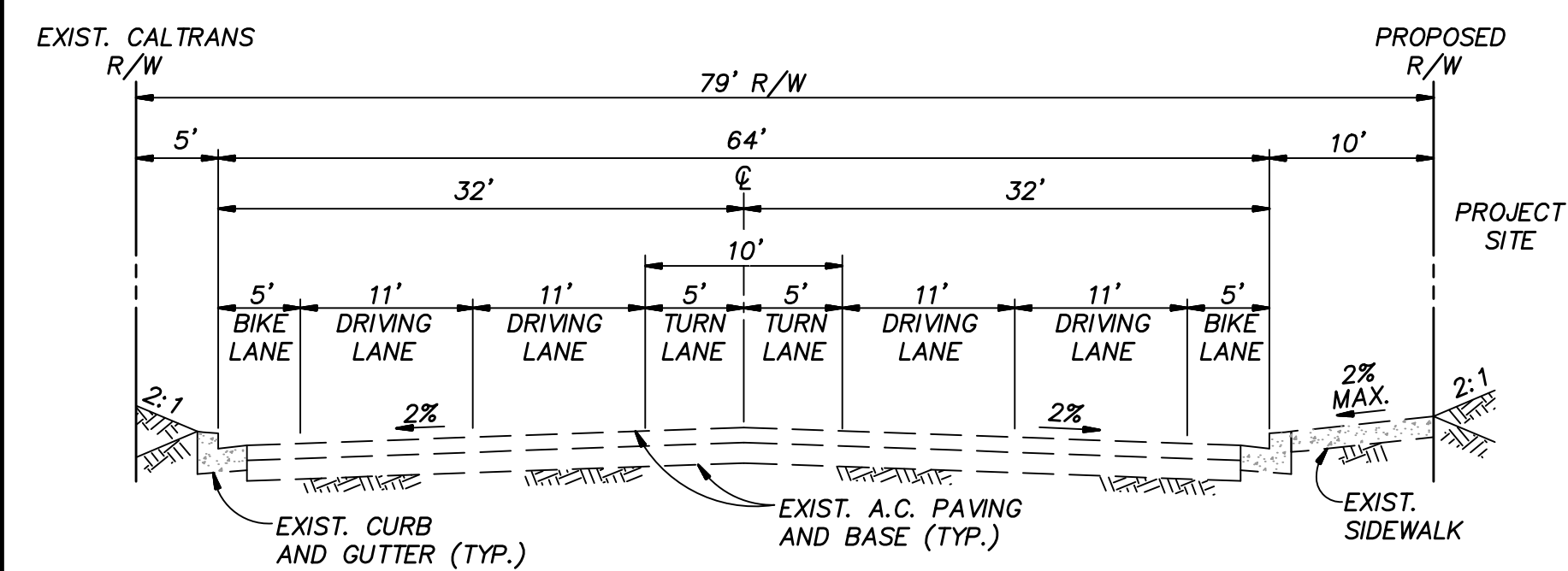
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TITLE SHEET/KEY MAP

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	6-15-22
Revision 7:	6-9-22
Revision 6:	6-2-22
Revision 5:	4-23-21
Revision 4:	2-15-21
Revision 3:	12-28-20
Revision 2:	10-30-20

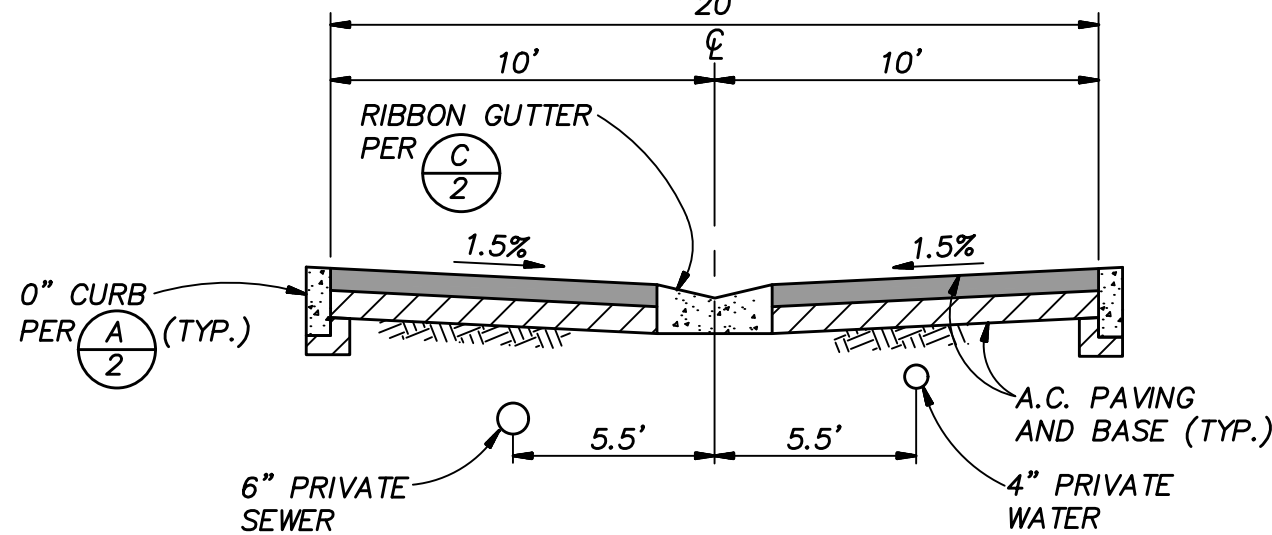
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Sheet 1 of 10

PROJECT PLANNER	PROJECT CIVIL ENGINEER
ASSOCIATE PLANNER	ASSISTANT CIVIL ENGINEER
DATE	DATE



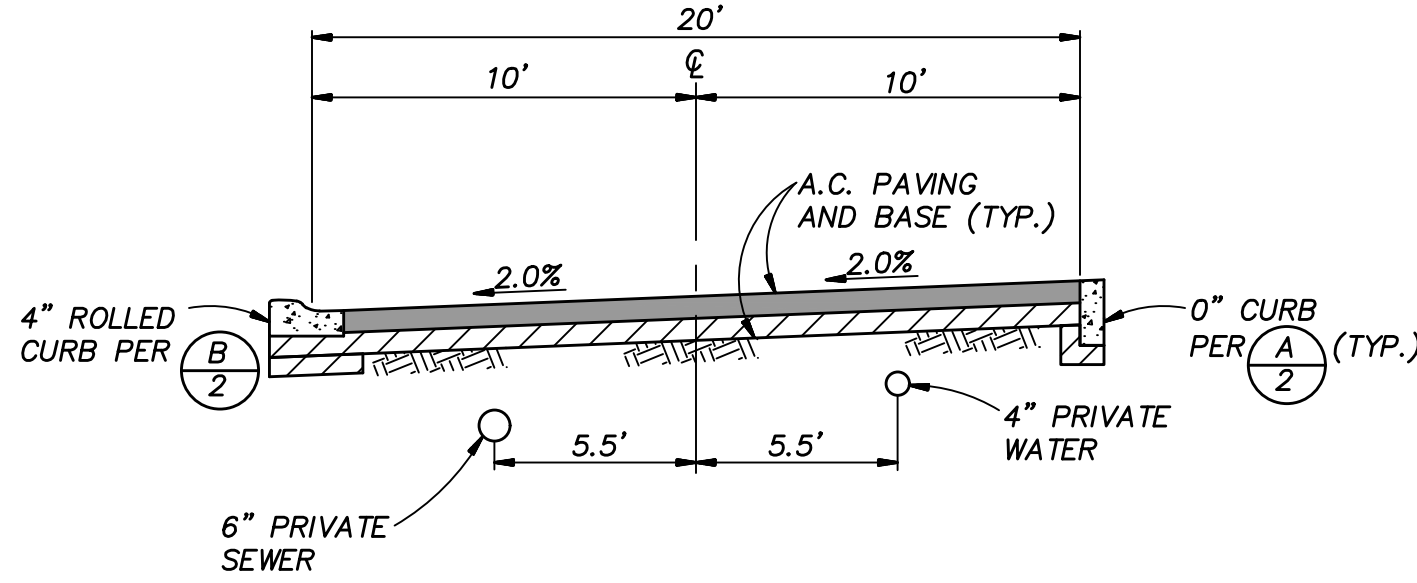
TYPICAL SECTION ~ EXIST. BARHAM DRIVE

NOT TO SCALE



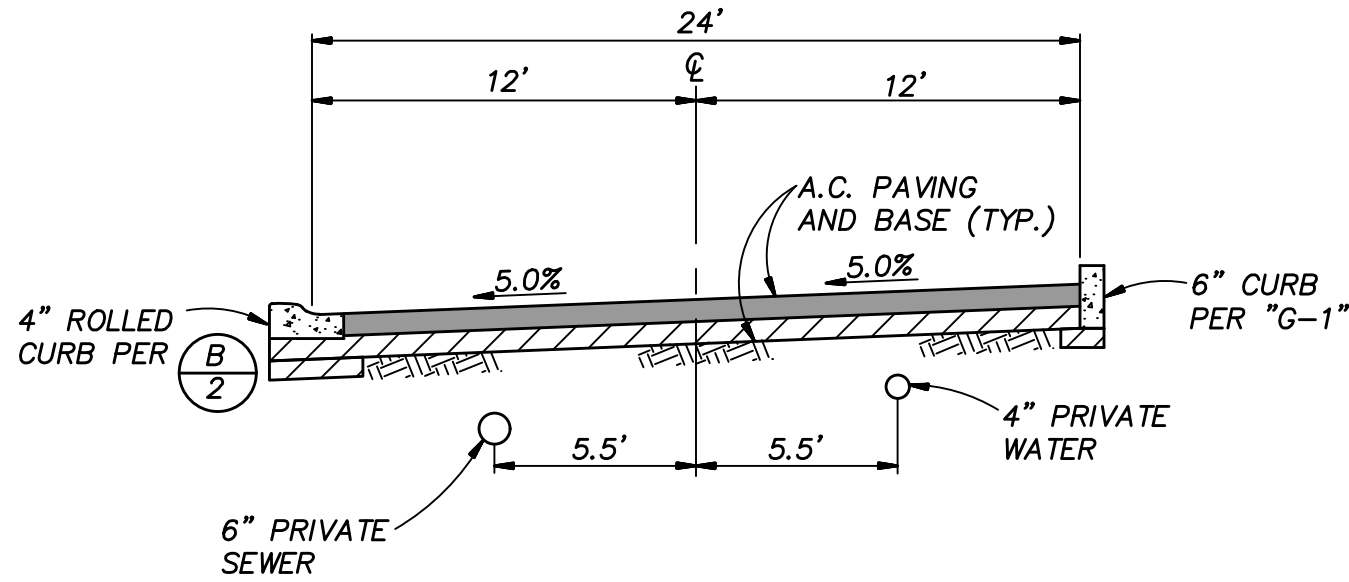
TYPICAL SECTION
ALLEY "B"."C"."F"."G"."H"."I"."J"

NOT TO SCALE



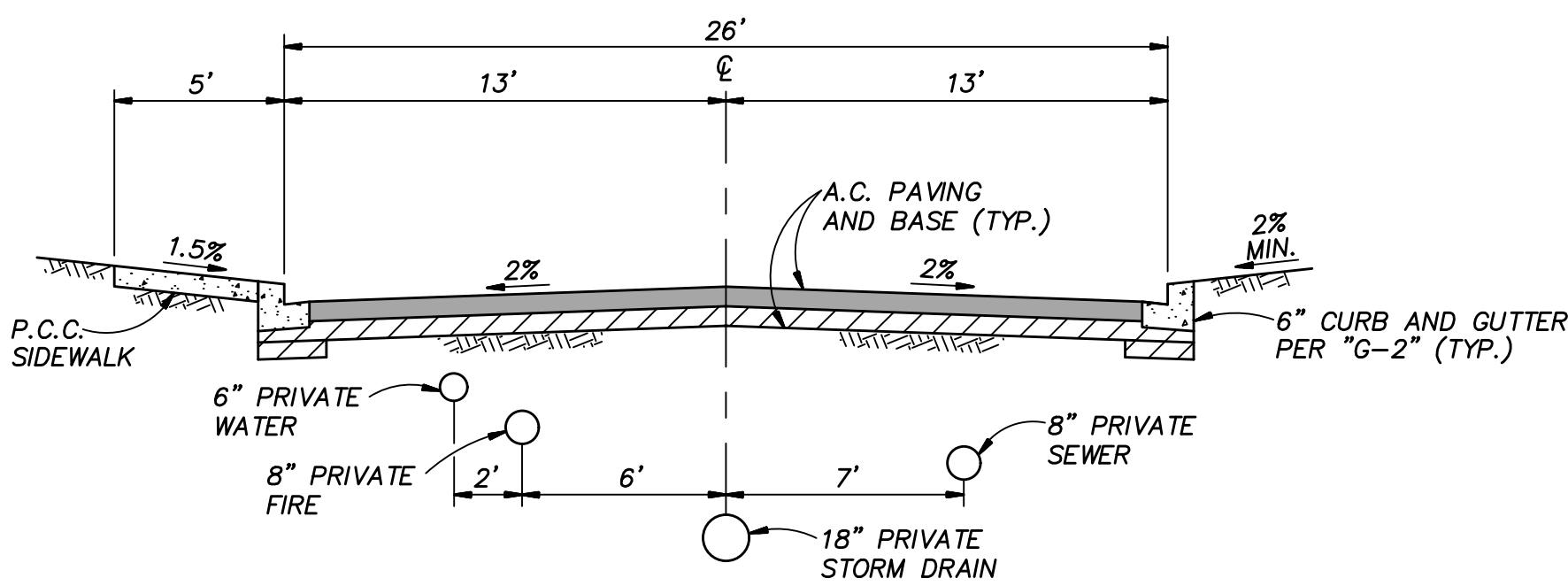
TYPICAL SECTION ~ ALLEY "A"."D"."E"

NOT TO SCALE



TYPICAL SECTION ~ ALLEY "K"

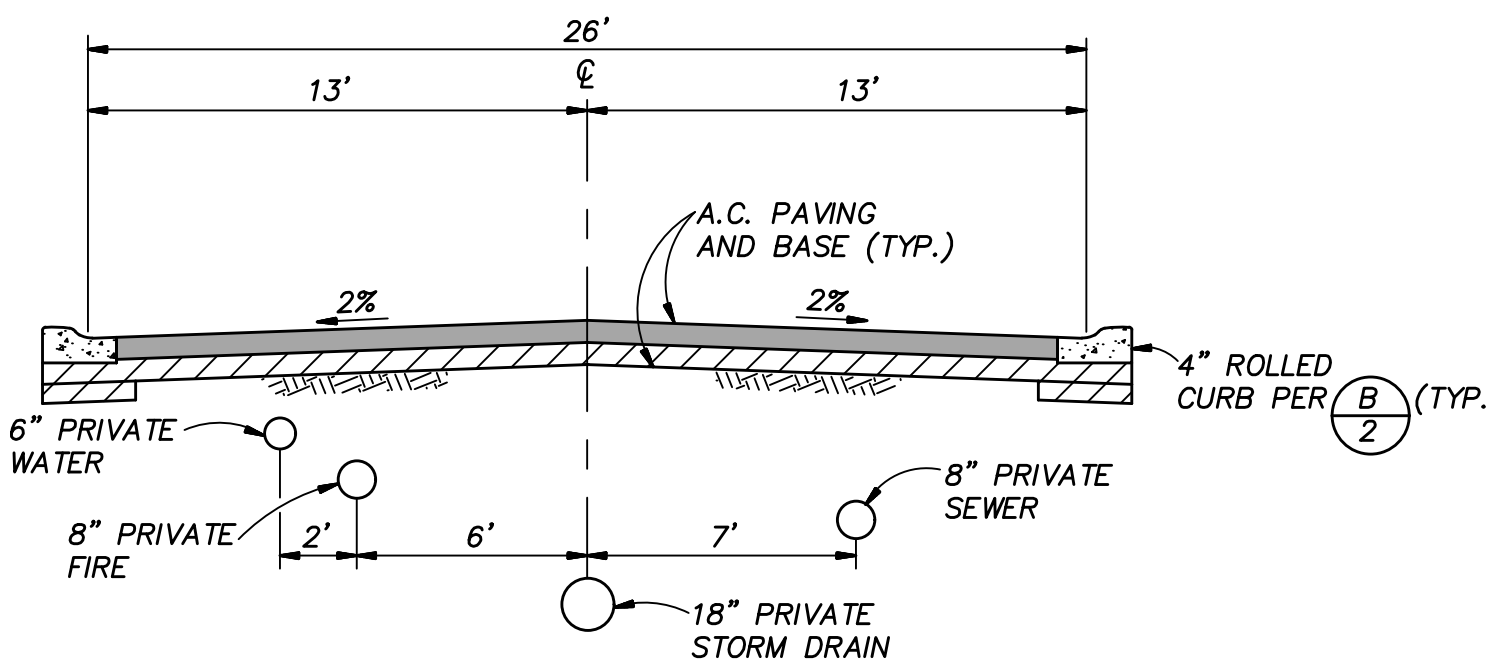
NOT TO SCALE



TYPICAL SECTION ~ DRIVEWAY "A" AND "C"

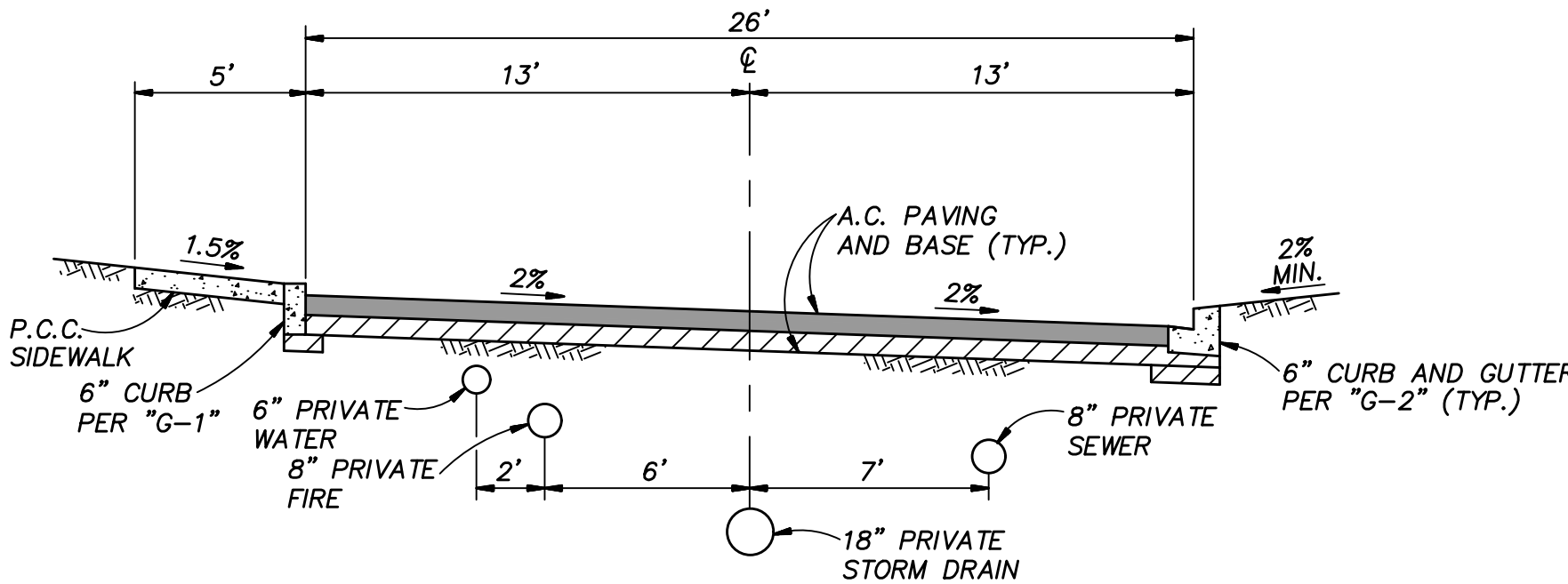
NOT TO SCALE

DRIVEWAY "A" - FROM STA. 12+64.16 TO STA. 16+76.14



TYPICAL SECTION ~ DRIVEWAY "B"

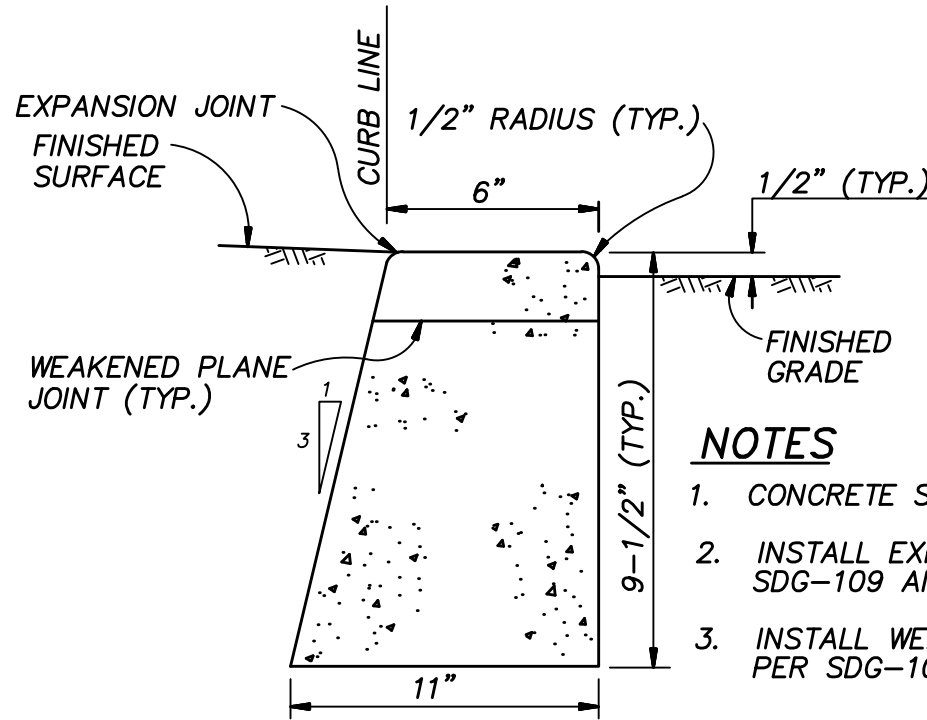
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TYPICAL SECTION ~ DRIVEWAY "A"

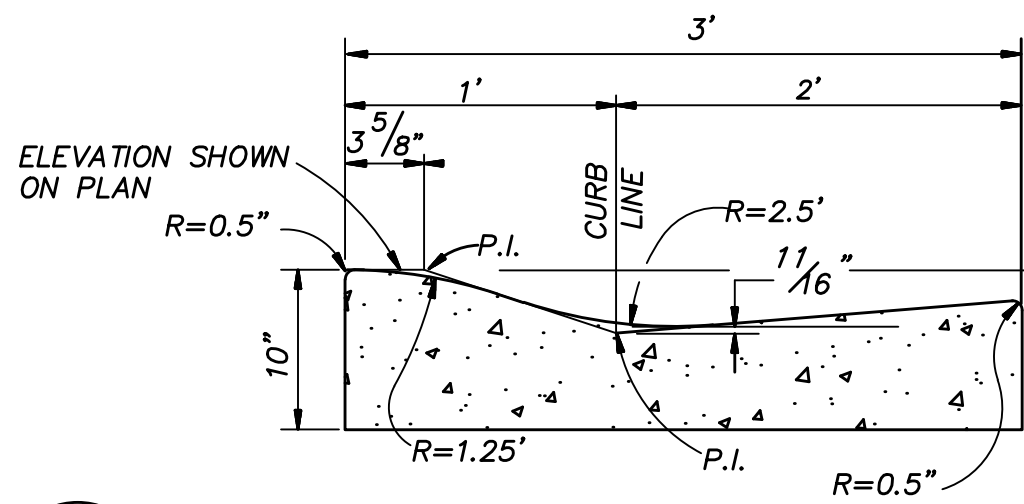
NOT TO SCALE

FROM STA. 10+61.67 TO STA. 12+64.16 AND
FROM STA. 16+76.14 TO STA. 19+04.32



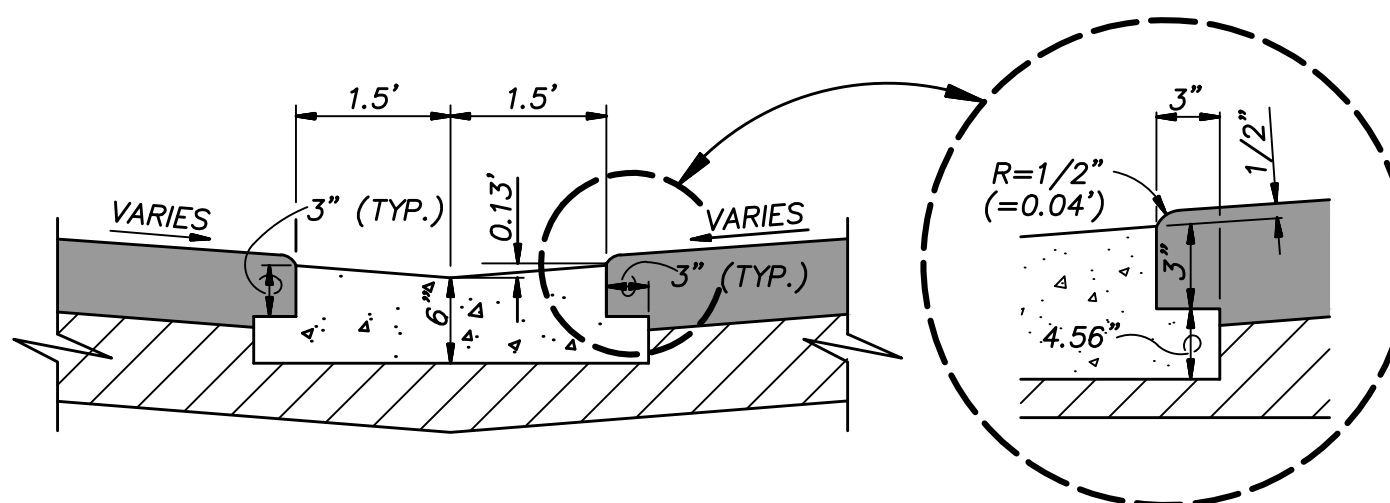
DETAIL ~ 0" CURB

NOT TO SCALE



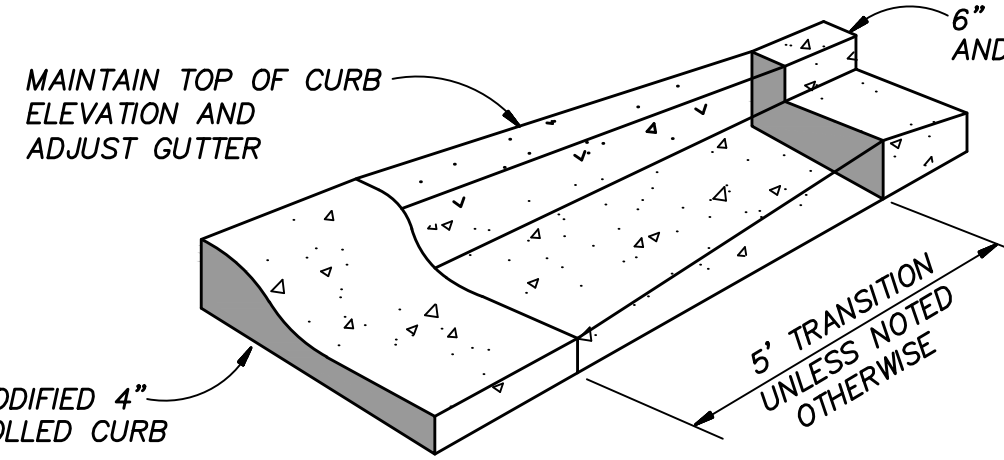
DETAIL ~ MODIFIED TYPE "A" 4" ROLLED CURB
(PRIVATE) PER SDRSD G-4A

NOT TO SCALE



DETAIL ~ 3' RIBBON GUTTER

NOT TO SCALE



DETAIL ~ 4" ROLLED CURB TO TYPE "G"
CURB TRANSITION (PRIVATE) PER SDRSD G-4B

NOT TO SCALE

NOTES

1. REFER TO SDG-150 TYPE "G" AND DETAIL A-2, THIS SHEET, FOR SPECIFIC DIMENSIONS RELATED TO EACH TYPE OF CURB.
2. CONCRETE SHALL BE 520-C-2500.
3. TRANSITIONS SHOULD OCCUR ALONG THE BACK OF CURB, HOLDING EDGE OF PAVEMENT PARALLEL AND CONCENTRIC WITH STREET CENTERLINE. ALTERNATIVE ALIGNMENTS MAY BE REQUIRED AND ARE SUBJECT TO AGENCY'S DISCRETION.

NOTES

1. CONCRETE SHALL BE 520-C-2500.
2. INSTALL EXPANSION JOINTS AT 45' INTERVALS PER SDG-109 AND G-10.
3. INSTALL WEAKENED PLANE JOINTS 15' INTERVALS PER SDG-109 AND G-10

NOTES

1. TRANSITION TO TYPE "G" OR "H" CURB AT ALL CURB RETURNS, EXCEPT WHERE CURB RAMPS ARE PROVIDED, AND AT ALL CUL-DE-SACS WITH DRAINAGE STRUCTURES. SEE STANDARD DRAWING G-4B FOR DETAILS.
2. CONCRETE SHALL BE 520-C-2500.
3. SEE STANDARD DRAWINGS G-9 AND G-10 FOR JOINT DETAILS.

NOTES

1. CONCRETE SHALL BE 560-C-3250.
2. IN ALL CASES SUBGRADE SHALL BE COMPACTED TO 95% MIN RELATIVE COMPACTION TO A DEPTH OF 12".
3. WEAKENED PLANE JOINTS AT 15' INTERVALS. SEE SDRSD G-10 FOR GUTTER AND CONCRETE PAVEMENT JOINT DETAILS.



SB&O INC.
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Stephen C. Ott
STEPHEN C. OTT P.E. C70666 DATE 6-15-2022

Prepared By:

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SAN DIEGO, CALIFORNIA 92123

Phone #: (858) 560-1141

Project Address:

943 BARHAM DRIVE

SAN MARCOS, CA.

Project Name:

943 BARHAM DRIVE

Sheet Title:

DETAILS/SITE SECTIONS/TYPICAL

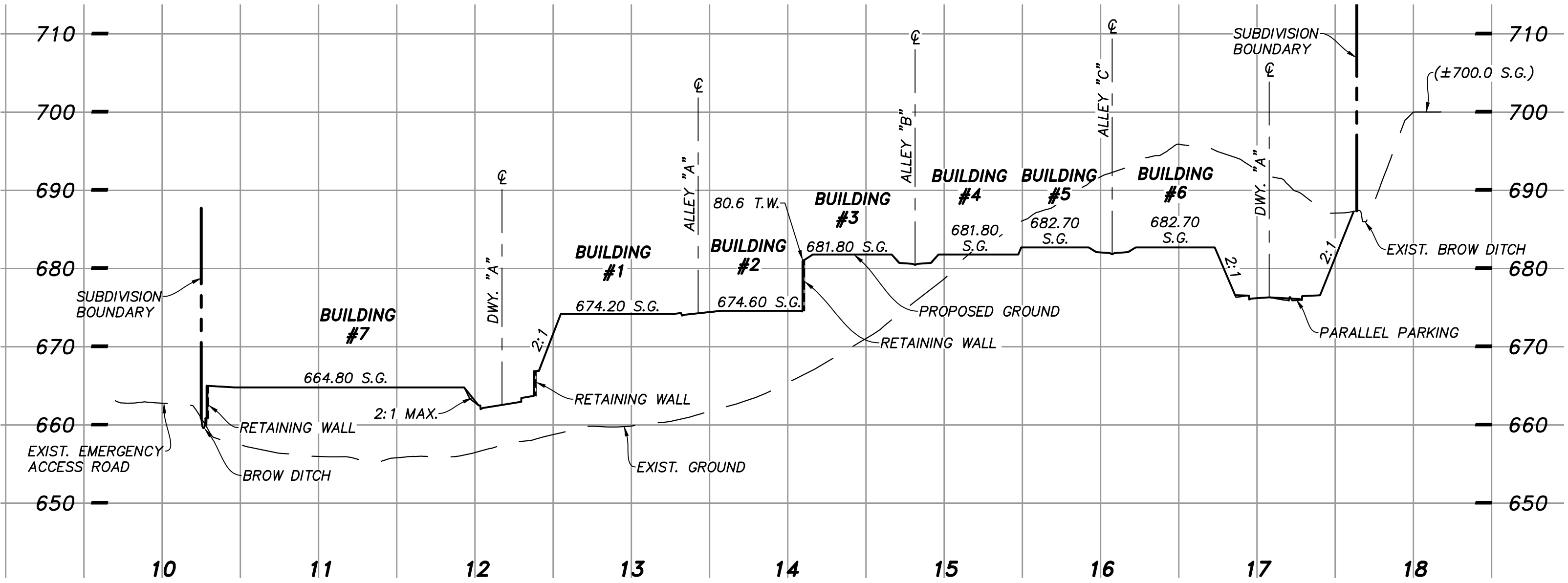
SECTIONS

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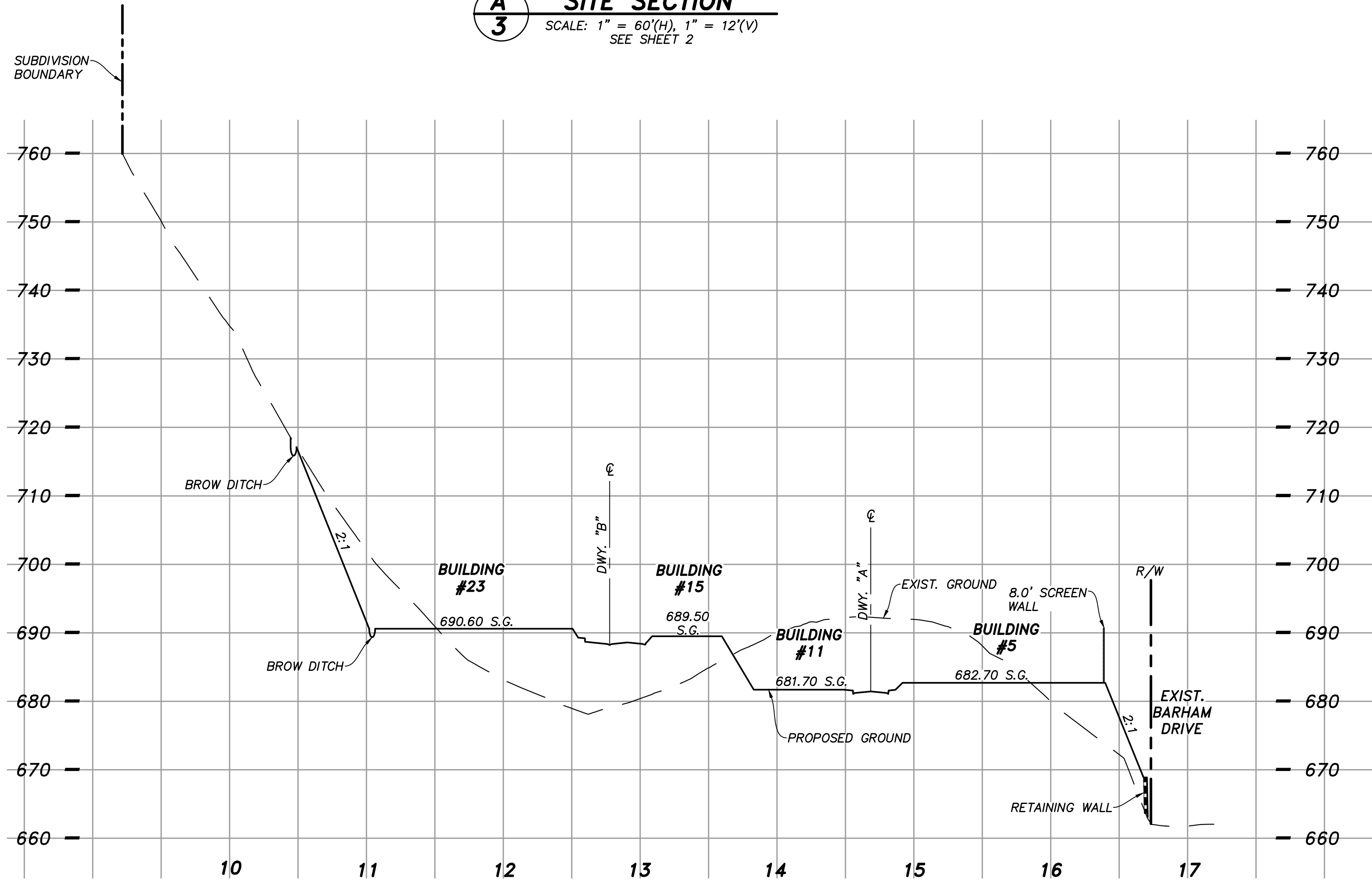
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Sheet 2 of 10

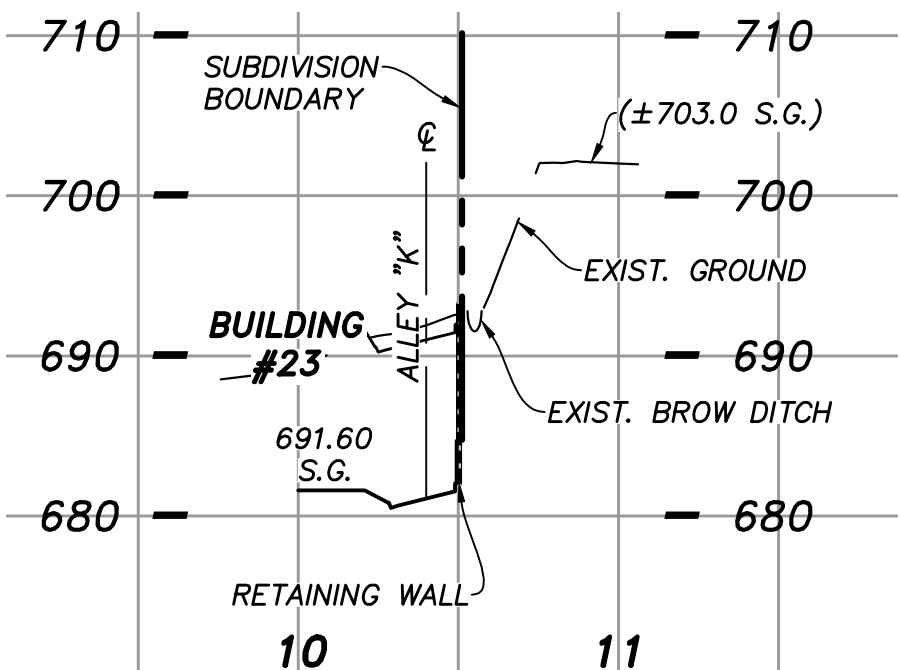
PROJECT PLANNER	PROJECT CIVIL ENGINEER
ASSOCIATE PLANNER	ASSISTANT CIVIL ENGINEER
DATE	DATE



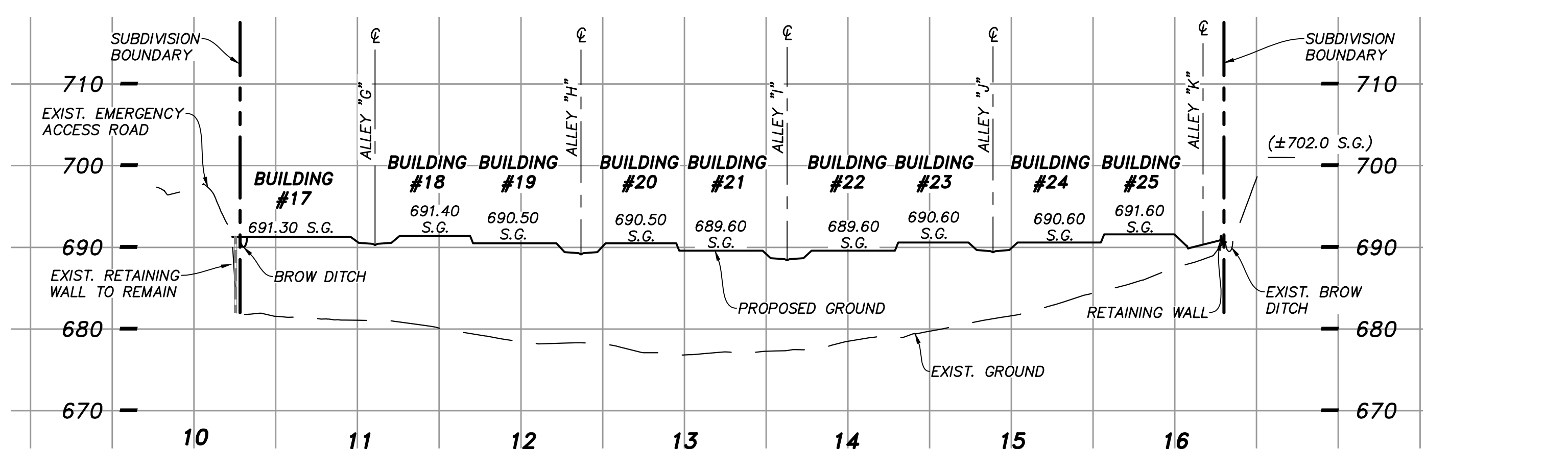
A
3 **SITE SECTION**
SCALE: 1" = 60'(H), 1" = 12'(V)
SEE SHEET 2



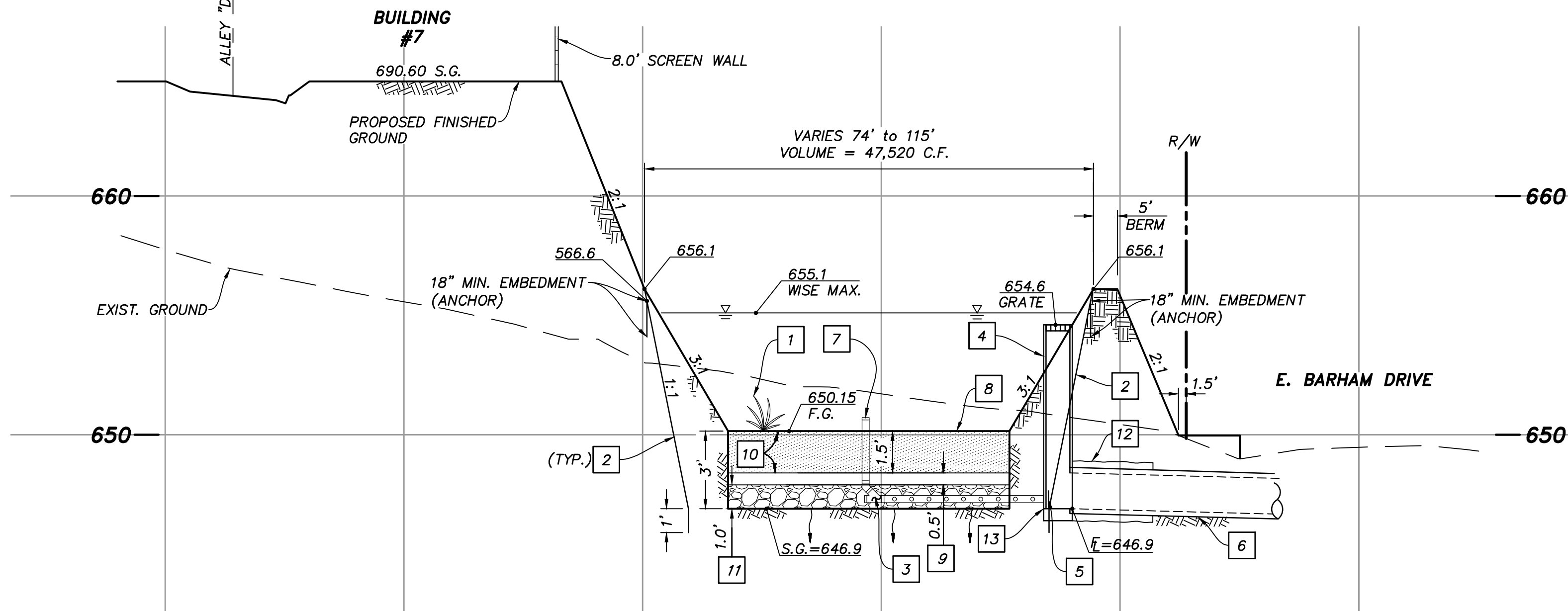
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3 **SITE SECTION**
SCALE: 1" = 60'(H), 1" = 12'(V)
SEE SHEET 2



E
3 **SITE SECTION**
SCALE: 1" = 60'(H), 1" = 12'(V)
SEE SHEET 2



B
3 **SITE SECTION**
SCALE: 1" = 60'(H), 1" = 12'(V)
SEE SHEET 2



D
3 **SECTION ~ BIOFILTRATION BASIN (BF-2)**
SCALE: 1" = 20'(H), 1" = 4'(V)
SEE SHEET 2

BIOFILTRATION DETAIL NOTES

1. PLANTING.
2. 30 MIL. P.V.C. LINER. ALL JOINTS TO BE SEALED WITH 12" MIN. OVERLAP. SEAL ALL PENETRATIONS.
3. 6" SLOTTED P.V.C. SUBDRAIN (ASTM D-3034), 3" MIN. FROM BOTTOM.
4. OUTLET CONTROL STRUCTURE WITH GRATED TOP.
5. ORIFICE PLATE.
6. OUTLET PIPE.
7. SUBDRAIN CLEANOUT PER SDRSD SC-01. RIM = F.G. + 0.6'
8. INSTALL WELL AGED SHREDDED HARDWOOD MULCH THAT HAS BEEN STOCKPILED OR STORED FOR AT LEAST 12 MONTHS. MULCH MUST BE NON-FLOATING.
9. FILTER COURSE TO BE 3" CLEAN AND WASHED SAND (ASTM NO. 33) OVER 3" LAYER OF ASTM NO. 8 STONE.
10. SOIL MEDIA, INFILTRATION = (BSM SPECIFICATION PER APPENDIX G OF COUNTY OF SAN DIEGO L.I.D. HANDBOOK JUNE 2014) PER COUNTY OF SAN DIEGO L.I.D. HANDBOOK:
11. AGGREGATE STORAGE LAYER ASTM NO. 57 ROCK.
12. 2-SACK SLURRY BACKFILL AROUND STORM DRAIN LINE, PIPE ZONE. SLURRY BACKFILL TO START AT STORM DRAIN BOX AND EXTEND AT LEAST 5 FEET BEYOND LINER.
13. SEAL PVC LINER AROUND PIPES: USE A PIPE BOOT AND PVC SKIRT TO SEAL ALL LINER PENETRATIONS FOR PIPES. PVC SKIRT SHOULD BE SEALED TO THE PARENT LINER PER MANUFACTURER'S RECOMMENDATIONS (TYPICALLY A WEDGE WELDER). THE PIPE BOOT SLEEVE SHOULD BE ATTACHED TO THE PIPE USING BUTYL TAPE AND STAINLESS STEEL BAND CLAMP.
14. ATTACH THE LINER TO CONCRETE STRUCTURES:
 1. PREPARE A PVC SKIRT FOR CONCRETE STRUCTURE.
 2. ATTACHED THE LINER TO THE CONCRETE STRUCTURE USING A STAINLESS STEEL BATTEN STRIP. ALSO ADHERE THE LINER TO THE CONCRETE USING A WATER PROOF ADHESIVE PER THE MANUFACTURE'S RECOMMENDATIONS (TYPICALLY A POLYURETHANE).
 3. THE PVC SKIRT TO BE SEALED TO THE PARENT LINER PER MANUFACTURER'S RECOMMENDATIONS (TYPICALLY A WEDGE WELDER).
14. EMBED LINER 12" VERTICAL.

BSM COMPOSITION	SANDY LOAM			
	SAND	SAND	SILT	CLAY
VOLUME	65%	20%		15%
WEIGHT	75-80%	10% MAX.	3% MAX.	9% MAX. ¹

9% COMPOST BY WEIGHT RESULTS IN APPROXIMATELY 5% ORGANIC MATTER BY WEIGHT.

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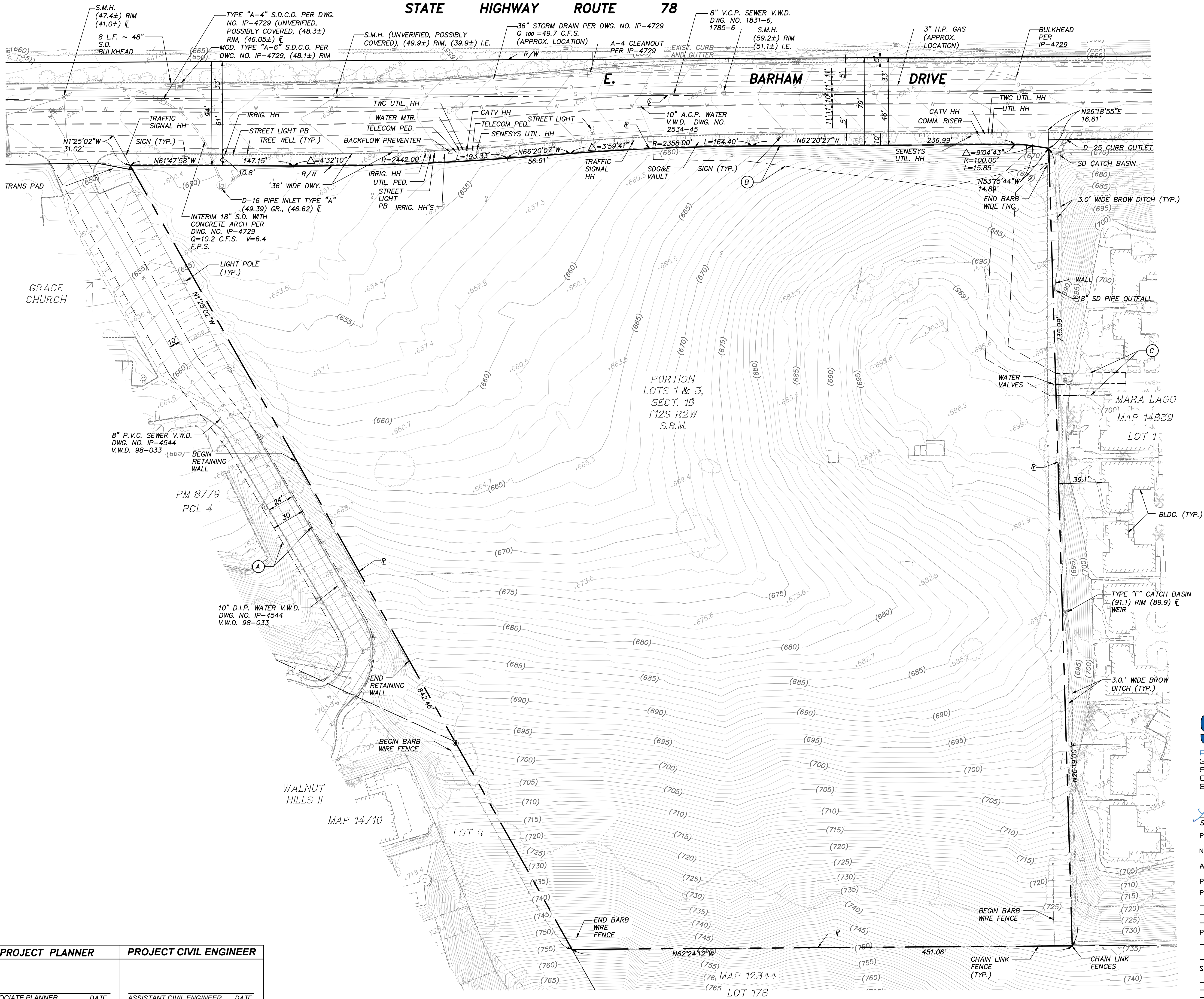
Stephen C. Ott
STEPHEN C. OTT P.E. C70666
6-15-2022
DATE

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943 BARHAM DRIVE
SAN MARCOS, CA.
Project Name:
943 BARHAM DRIVE
Sheet Title:
DETAILS/SITE SECTIONS/TYPICAL
SECTIONS

Revision 14: _____
Revision 13: _____
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Revision 10: _____
Revision 9: _____
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Revision 7: 6-15-22
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PROJECT PLANNER	PROJECT CIVIL ENGINEER
ASSOCIATE PLANNER	ASSISTANT CIVIL ENGINEER
DATE	DATE

STATE HIGHWAY ROUTE 78



LEGEND

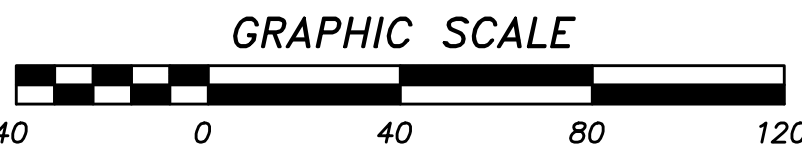
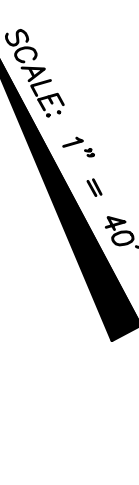
- BOUNDARY LINE
- EX. LOT LINE
- CENTERLINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- BUILDING
- BARBED WIRE FENCE
- CHAIN LINK FENCE
- CURB
- EDGE OF CONCRETE
- BUILDING CANOPY
- EDGE OF PAVEMENT
- RETAINING WALL
- GAS LINE
- SEWER LINE
- STORM DRAIN LINE
- WATER LINE
- WATER VALVE
- MANHOLE
- SIGN
- EASEMENT ITEM NO.

SYMBOL

- BOUNDARY LINE
- EX. LOT LINE
- CENTERLINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- BUILDING
- BARBED WIRE FENCE
- CHAIN LINK FENCE
- CURB
- EDGE OF CONCRETE
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- RETAINING WALL
- GAS LINE
- SEWER LINE
- STORM DRAIN LINE
- WATER LINE
- WATER VALVE
- MANHOLE
- SIGN
- EASEMENT ITEM NO.

EASEMENT NOTES

- (A) INDICATES EXIST. WATER EASEMENT AND EMERGENCY ACCESS EASEMENT PER DOCUMENT REC. 12-17-2001 AS DOC. NO. 2001-0925760, O.R.
- (B) INDICATES EXIST. EASEMENT FOR PUBLIC INTERIM SLOPE AND APPURTENANCES PER DOCUMENT REC. 7-24-2012 AS DOC. NO. 2012-0429406, O.R. TO BE ABANDONED
- (C) INDICATES EXIST. EASEMENT FOR GENERAL UTILITY AND MUNICIPAL ACCESS PER DOCUMENT REC. 7-22-2004 AS DOC. NO. 2004-0688351.



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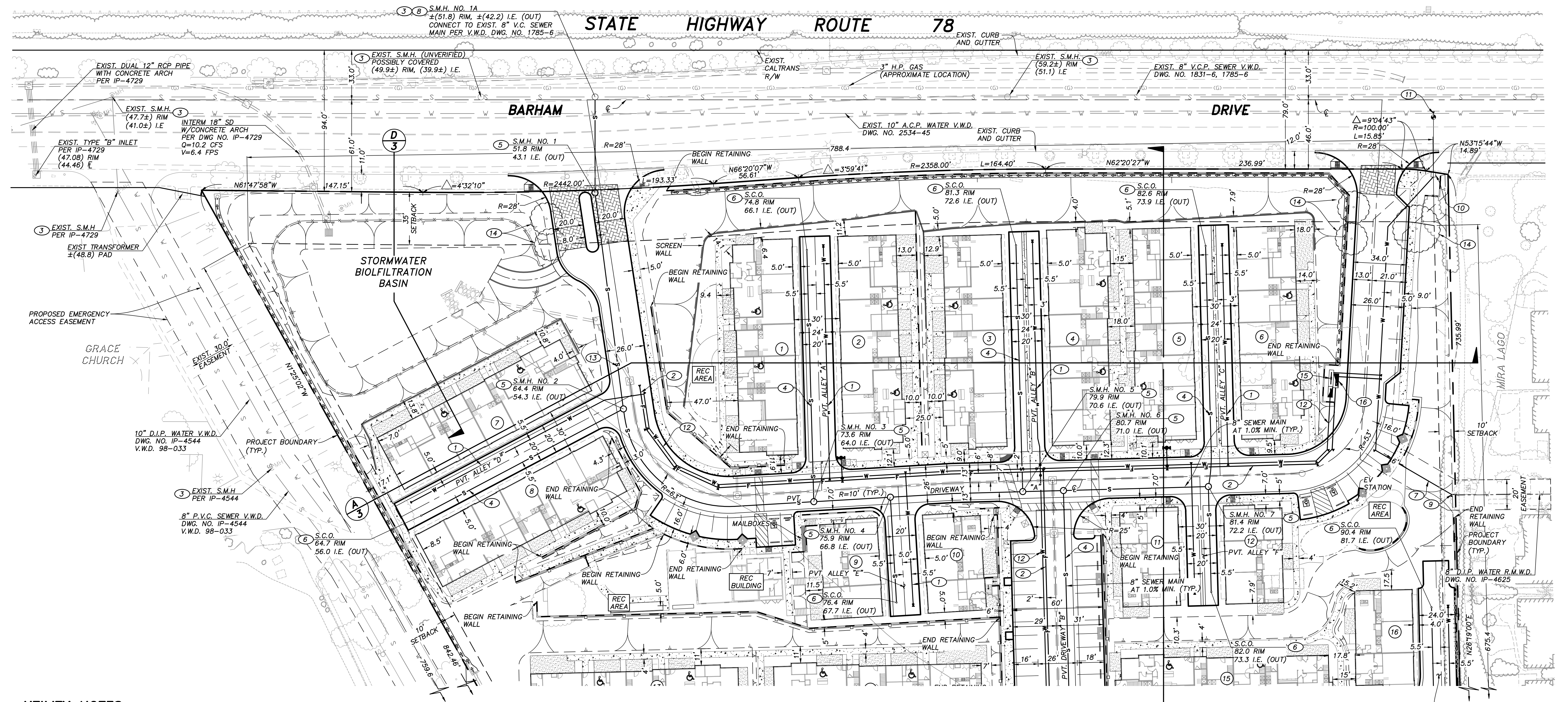


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STEPHEN C. OTT P.E. C70666 DATE 6-15-2022

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943 BARHAM DRIVE
SAN MARCOS, CA.
Project Name:
943 BARHAM DRIVE
Sheet Title:
EXISTING CONDITIONS

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PROJECT PLANNER	PROJECT CIVIL ENGINEER
ASSOCIATE PLANNER	ASSISTANT CIVIL ENGINEER
DATE	DATE



UTILITY NOTES

- 1 PROPOSED 4" P.V.C. WATER (PRIVATE).
- 2 PROPOSED 8" P.V.C. FIRE (PRIVATE).
- 3 PROPOSED S.M.H. (PUBLIC)
- 4 PROPOSED 6" AND 8" P.V.C. SEWER (PRIVATE).
- 5 PROPOSED S.M.H. (PRIVATE)
- 6 PROPOSED SEWER CLEANOUT. (PRIVATE)
- 7 PROPOSED 8" P.V.C. WATER (R.M.W.D. PUBLIC).
- 8 CONNECT TO EXIST. V.W.D. 8" PUBLIC SEWER.
- 9 CONNECT TO EXIST R.M.W.D. 8" D.I.P. PER DWG. IP-4625.
- 10 CONNECT 8" V.W.D. FLOW METER (IN VAULT) WITH REMOTE MONITOR AND SCADA SYSTEM TO EXIST V.W.D. 10" A.C.P. PER DWG. 2534-45
- 11 10" TEE WITH 8" REDUCER
- 12 PROPOSED 6" P.V.C. WATER (PRIVATE).
- 13 PROPOSED 8" P.V.C. SEWER (PRIVATE).
- 14 PROPOSED STREET TREE.
- 15 4" DOMESTIC MASTER METER AND 4" BACKFLOW PER R.M.W.D. W-3.
- 16 8" FIRE DCDA (PRIVATE FIRE SYSTEM) PER R.M.W.D. W-7.

PROJECT PLANNER	PROJECT CIVIL ENGINEER
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DATE	DATE



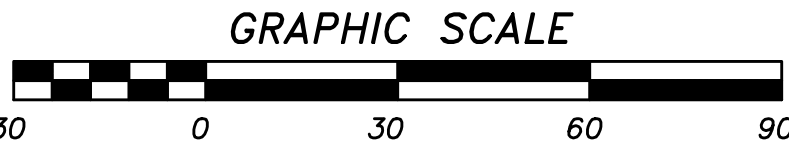
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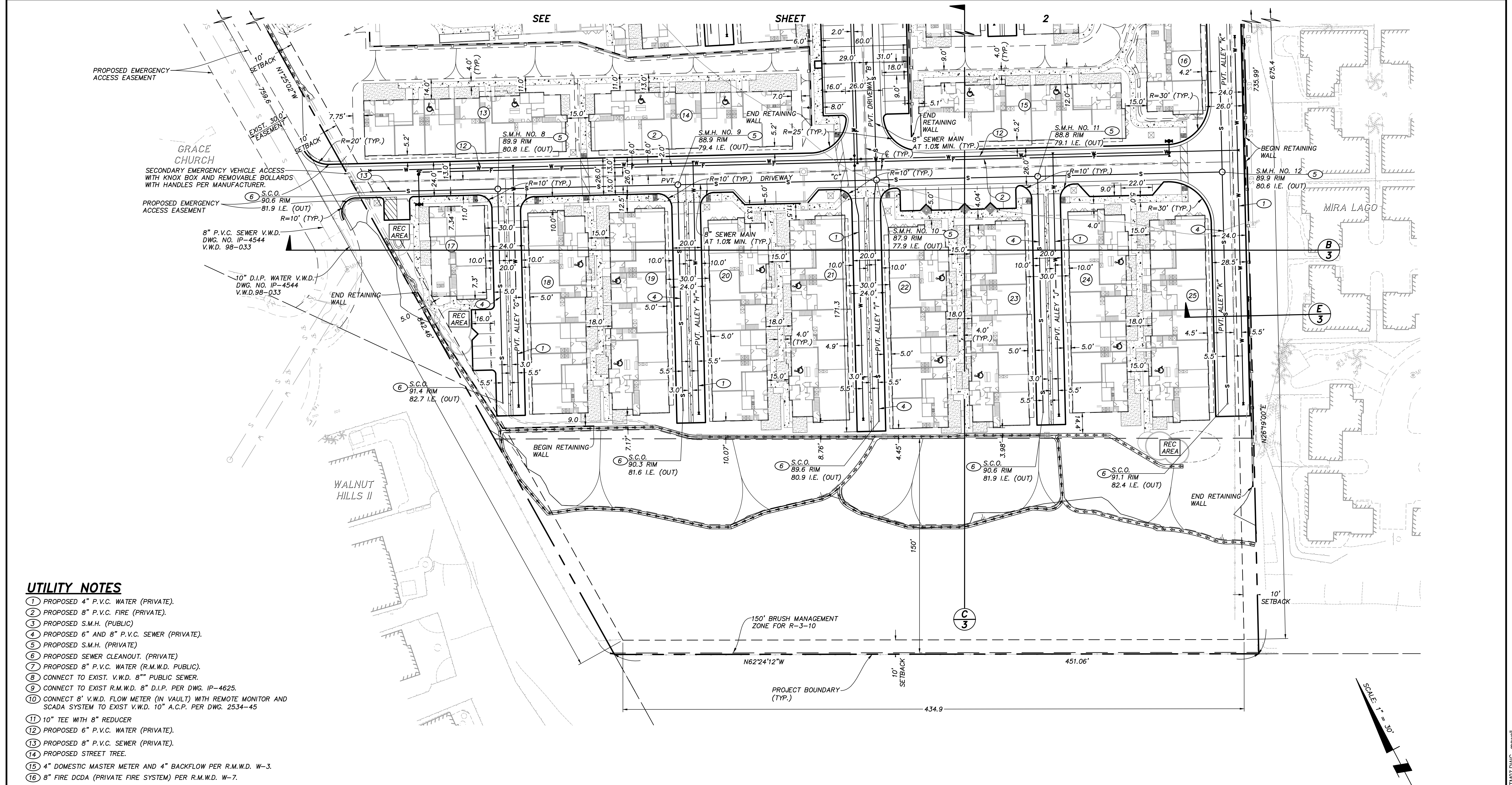
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SAN MARCOS, CA.
Project Name: 943 BARHAM DRIVE
Sheet Title: HORIZONTAL CONTROL AND UTILITIES
PLANS

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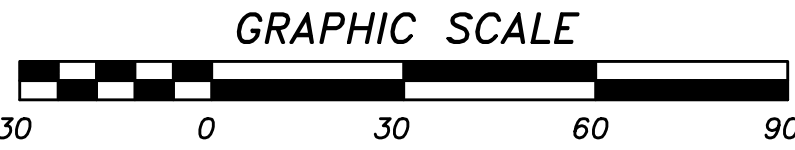


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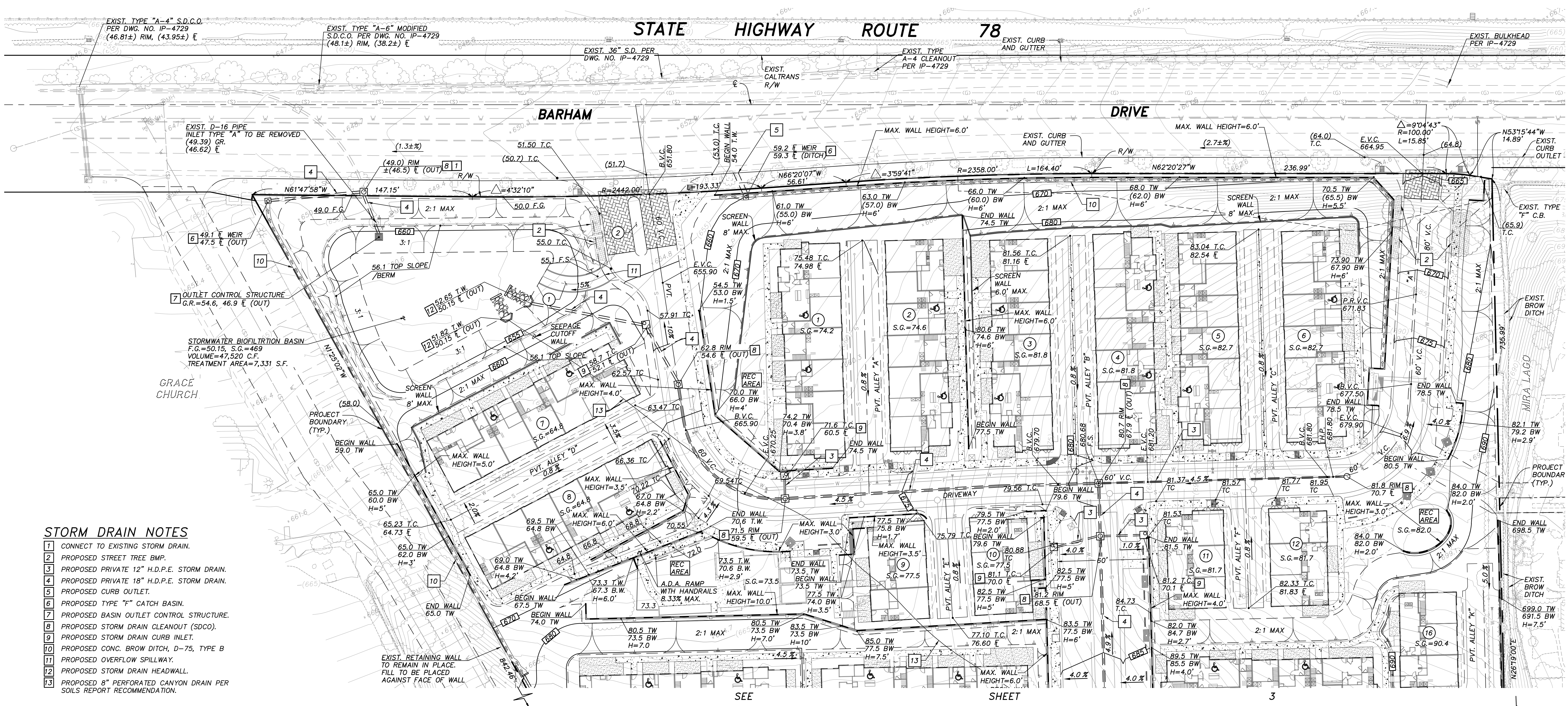
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SAN MARCOS, CA.
Project Name: 943 BARHAM DRIVE
Sheet Title: HORIZONTAL CONTROL AND UTILITIES
PLANS

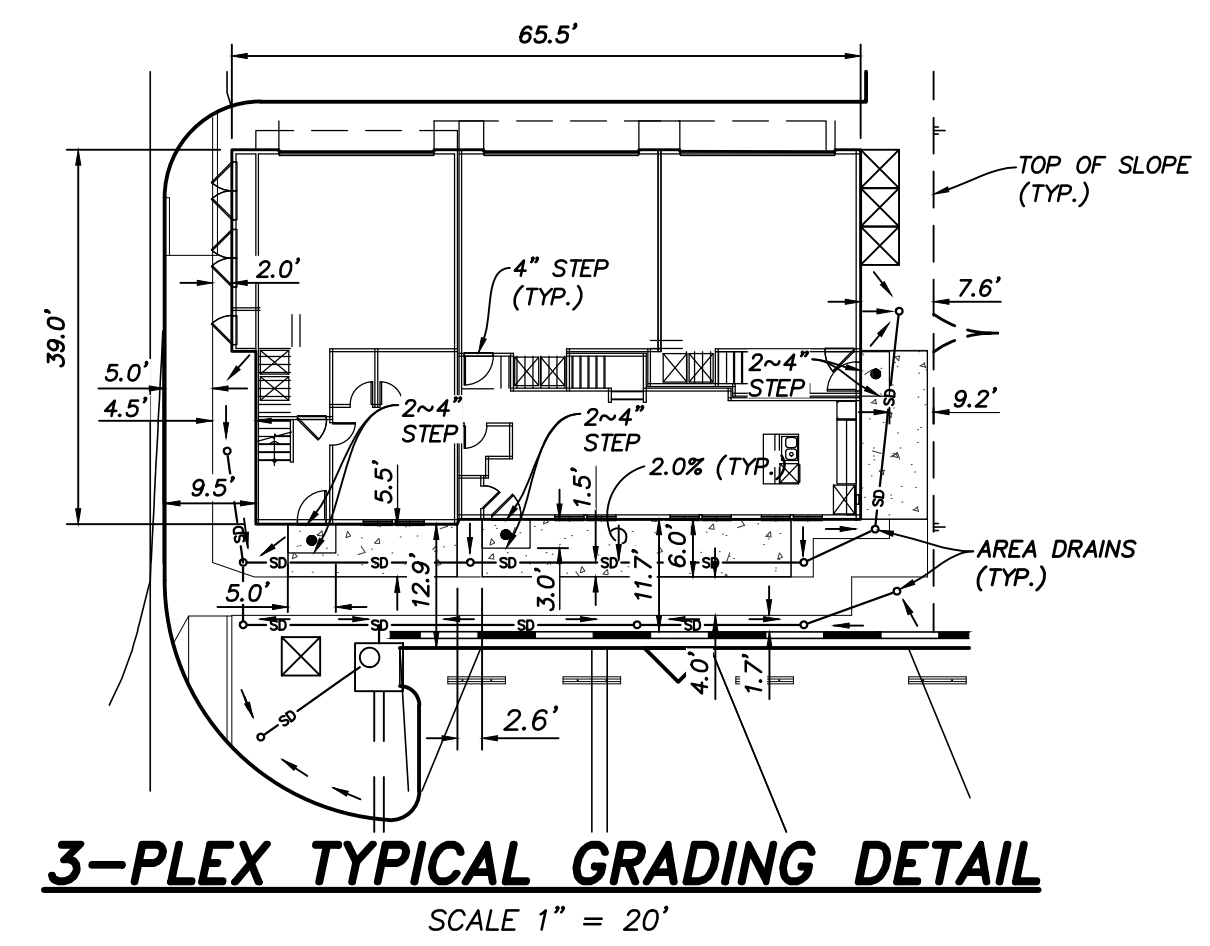


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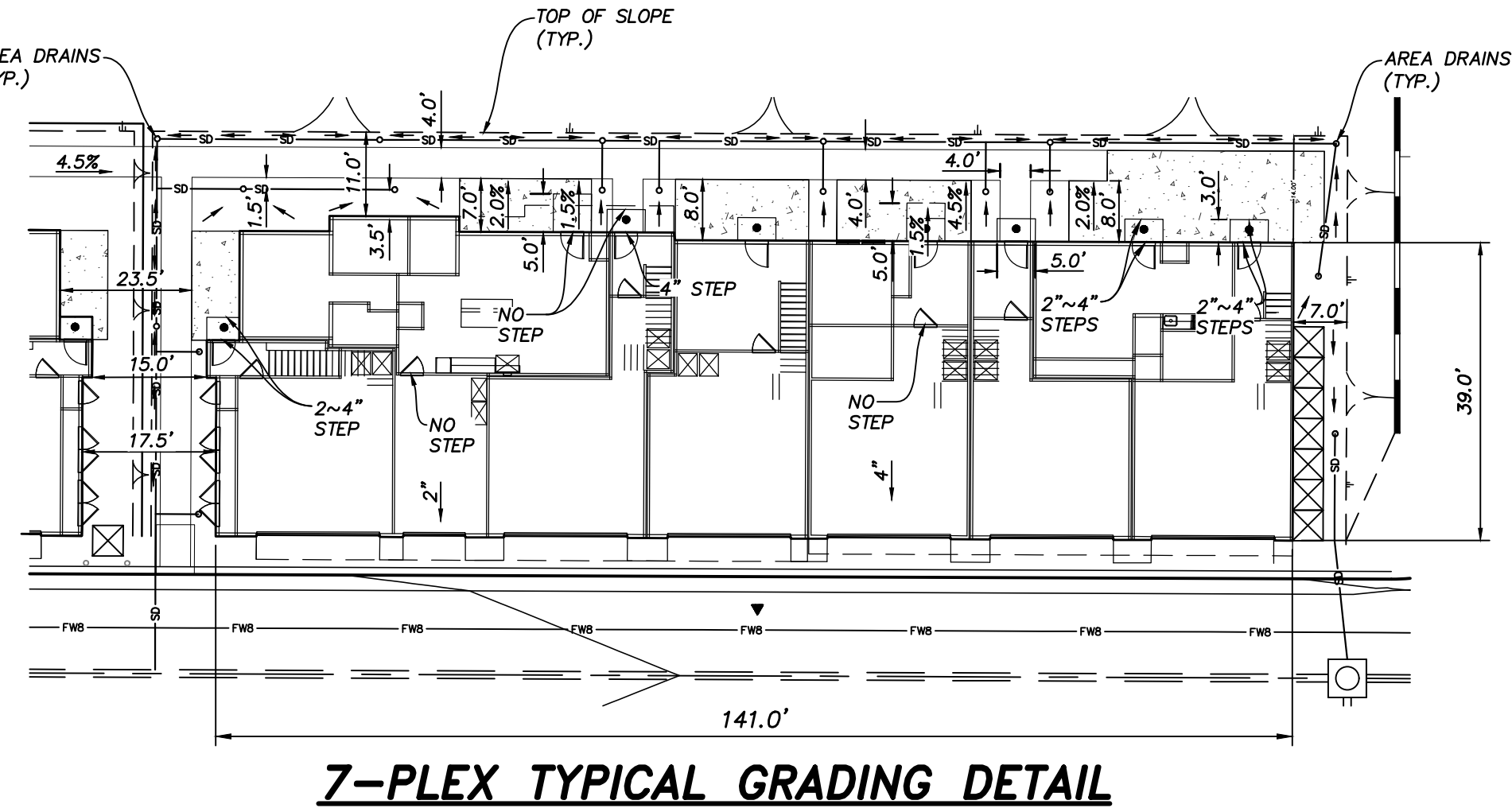


STORM DRAIN NOTES

- 1 CONNECT TO EXISTING STORM DRAIN.
- 2 PROPOSED STREET TREE BMP.
- 3 PROPOSED PRIVATE 12" H.D.P.E. STORM DRAIN.
- 4 PROPOSED PRIVATE 18" H.D.P.E. STORM DRAIN.
- 5 PROPOSED CURB OUTLET.
- 6 PROPOSED TYPE "F" CATCH BASIN.
- 7 PROPOSED BASIN OUTLET CONTROL STRUCTURE.
- 8 PROPOSED STORM DRAIN CLEANOUT (SDCO).
- 9 PROPOSED STORM DRAIN CURB INLET.
- 10 PROPOSED CONC. BROW DITCH, D-75, TYPE B
- 11 PROPOSED OVERFLOW SPILLWAY.
- 12 PROPOSED STORM DRAIN HEADWALL.
- 13 PROPOSED 8" PERFORATED CANYON DRAIN PER SOILS REPORT RECOMMENDATION.



3-PLEX TYPICAL GRADING DETAIL
SCALE 1" = 20'

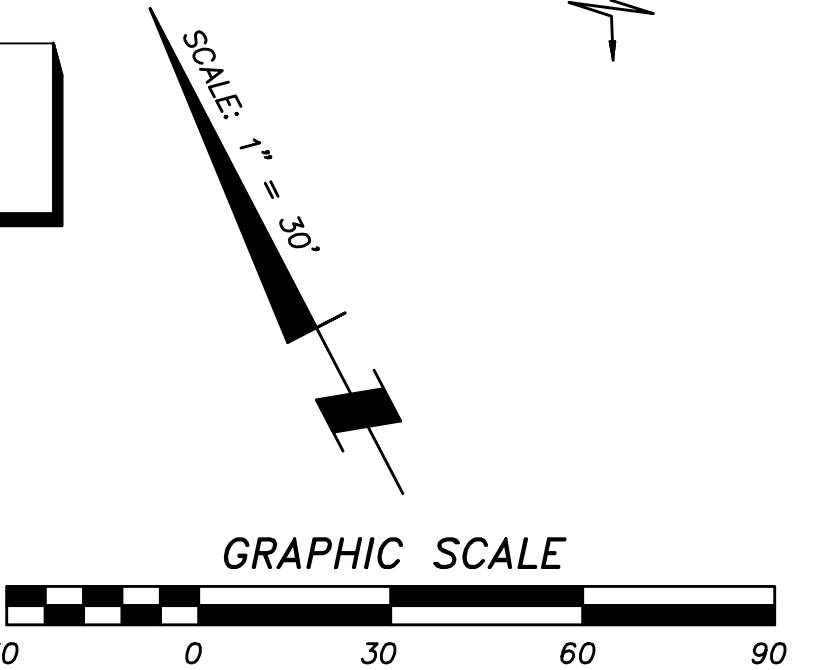


7-PLEX TYPICAL GRADING DETAIL
SCALE 1" = 20'

CONSTRUCTION NOTES

- 1 12" WIDE CONCRETE ACCESS ROAD
- 2 MEDIAN PER LANDSCAPE PLANS

NOTE:
ALL SLOPES ARE 2:1 MAX UNLESS OTHERWISE NOTED. SEE LANDSCAPE PLANS FOR SLOPE PLANTING.



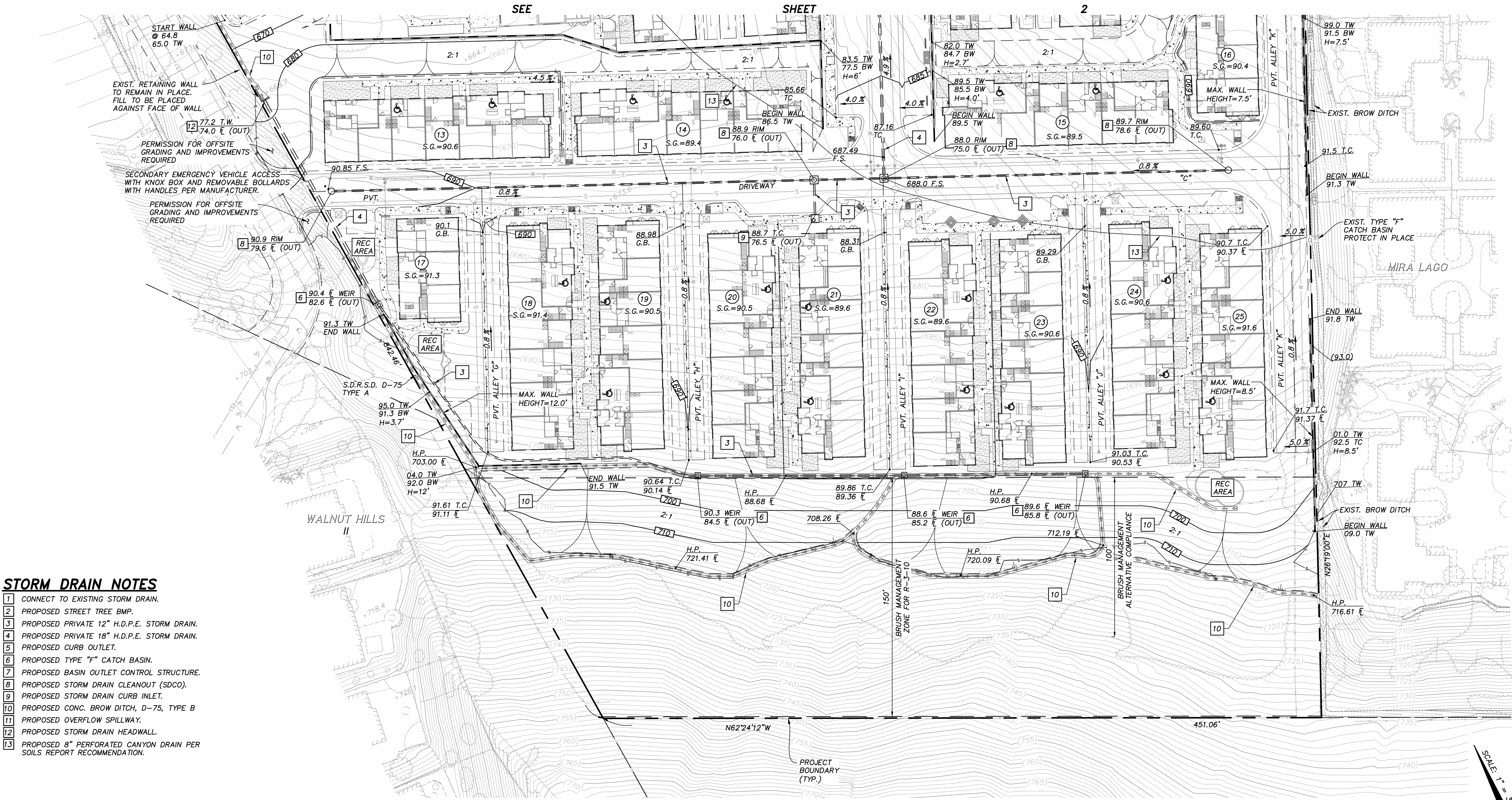
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Project Address: 943 BARHAM DRIVE
SAN MARCOS, CA.
Project Name: 943 BARHAM DRIVE
Sheet Title: GRADING AND STORM DRAIN PLANS

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STORM DRAIN NOTES

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CONSTRUCTION NOTES

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- 2 MEDIAN PER LANDSCAPE PLANS

NOTE:

ALL SLOPES ARE 2:1 MAX UNLESS OTHERWISE NOTED. SEE LANDSCAPE PLANS FOR SLOPE PLANTING.

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SAN MARCOS, CA.

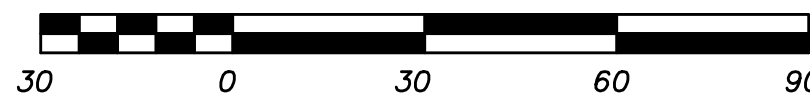
Project Name:

943 BARHAM DRIVE

Sheet Title:

GRADING AND STORM DRAIN PLANS

GRAPHIC SCALE



Revision 14:

Revision 13:

Revision 12:

Revision 11:

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Revision 5:

Revision 4:

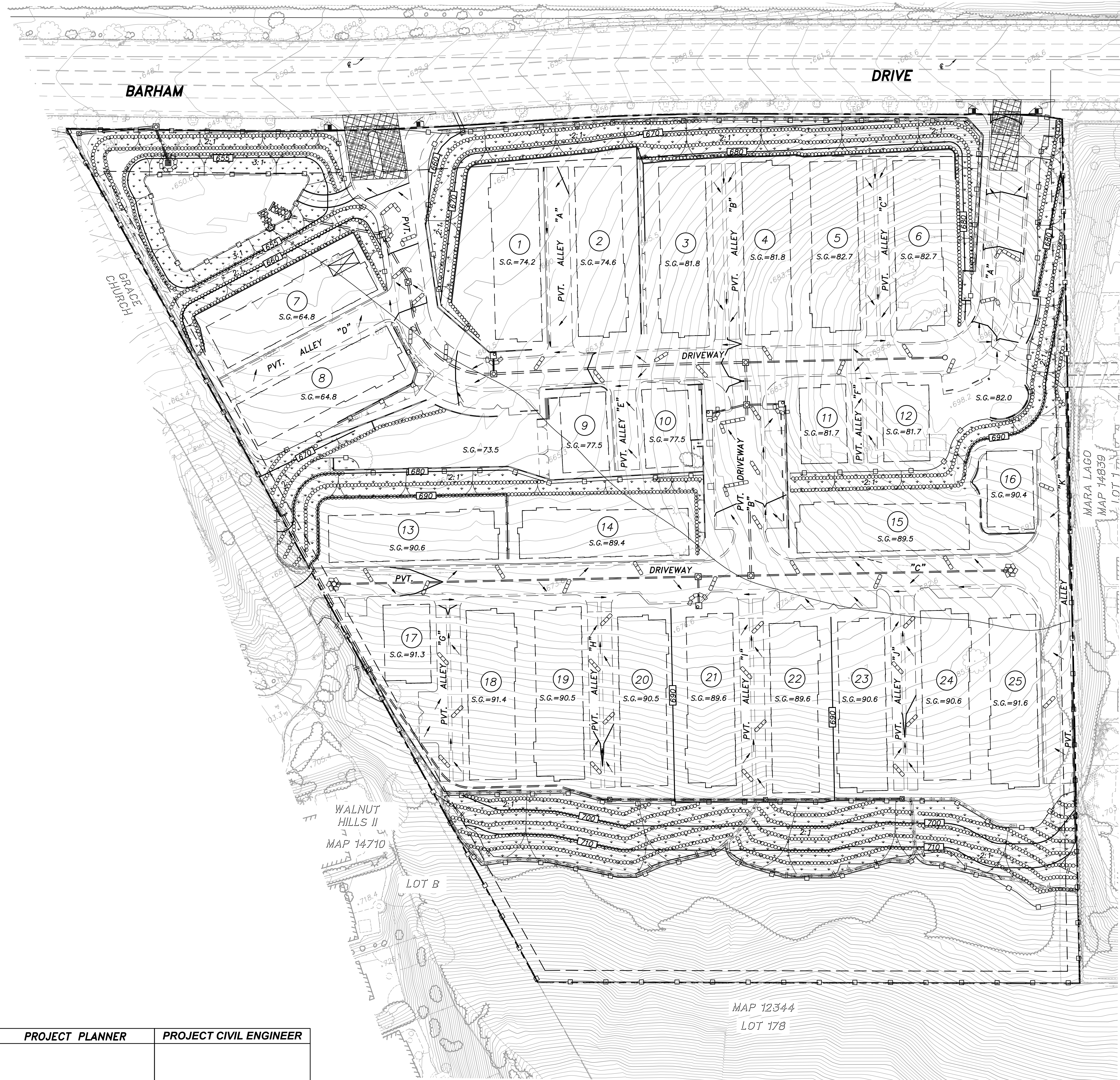
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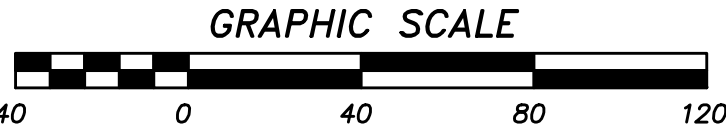
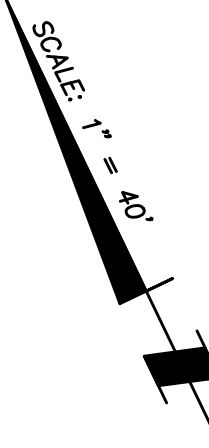
Original Date: 7-2-20

Sheet 9 of 10



LEGEND	C.A.S.O.A. STANDARD	SYMBOL
DIRECTION OF DRAINAGE		→
STABILIZED SLOPES WITH SOIL BINDER	EC-4	+
STABILIZED CONSTRUCTION ENTRY	TC-1	▨
SILT FENCE	SE-1	□
GRAVEL BAGS (SINGLE ROW)		—
INLET PROTECTION	SE-10	○
FIBER ROLL	SE-5	○
STORM DRAIN		==
PERFORATED CANYON DRAIN		—
STORM DRAIN CLEANOUT		—
* CONCRETE WASHOUT	WM-8	CW
* MATERIAL STORAGE AREA	WM-1	MS
* SANITARY FACILITIES	WM-9	TF
* WASTE STORAGE AREA	WM-5	T
* SOIL STOCKPILE	WM-3	SS
* LANDSCAPE STOCKPILE	WM-3	LS
* EROSION CONTROL STOCKPILE	WM-1	EC
* MATERIAL STOCKPILE	WM-1	MS
* FUELING AREA	WS-9	FA
* VEHICLE MAINTENANCE	NS-10	VM
* VEHICLE PARKING		VP
* EQUIPMENT STORAGE		ES
* HAZARDOUS MATERIAL STORAGE	WM-6	HM
* CLEANUP MATERIALS		CM
CONSTRUCTION TRAILER		⊠

NOTICE
EFFECTIVE SOIL COVER MUST BE EMPLOYED FOR INACTIVE AREAS WHICH INCLUDES ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL, AND COMPLETED PADS. INACTIVE AREAS OF CONSTRUCTION ARE AREAS THAT HAVE BEEN DISTURBED AND ARE NOT SCHEDULED TO BE RE-DISTURBED FOR AT LEAST 14 DAYS.



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SAN MARCOS, CA.
Project Name: 943 BARHAM DRIVE
Sheet Title: EROSION CONTROL PLAN

Revision 14:	
Revision 13:	
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PROJECT PLANNER	PROJECT CIVIL ENGINEER
ASSOCIATE PLANNER	ASSISTANT CIVIL ENGINEER
DATE	DATE

Stephen C. Ott
STEPHEN C. OTT P.E. C70666
6-15-2022
DATE

Interim Slope Easement Aandonment.

Interim Slope Easement Aandonment.

Subject
Property

Interim Slope
Easement Area



Google Earth

Image Landsat / Copernicus



RESOLUTION PC 23-5047

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN MARCOS
RECOMMENDING TO CITY COUNCIL THE SUMMARY VACATION AND
ABANDONMENT OF THE SLOPE EASEMENT ALONG BARHAM DRIVE GRANTED BY
DOCUMENT 2012-0429406 ON JULY 24, 2012, WITHIN THE BOUNDARY OF
TENTATIVE SUBDIVISION MAP TSM20-0001 FOR HALLMARK BARHAM

VAC 23-0012
Barham 151, LLC

Brief Legal Description: Refer to Exhibits A and B

WHEREAS, staff considered a request for the vacation and abandonment of the Slope Easement along Barham Drive within the boundary of Tentative Subdivision Map TSM20-0001 for Hallmark Barham; the Slope Easement to be vacated more particularly described in Exhibits A and B; and

WHEREAS, the slope easement was granted by Document 2012-0429406 recorded July 24, 2012 in the Office of the County Recorder of San Diego County; and

WHEREAS, Streets and Highways Code Section 8333(c) expressly permits the legislative body of a local agency to summarily vacate a public service easement if the easement has been determined to be excess by the easement holder, and there are no other public facilities within the easement; and

WHEREAS, all of the public service easement to be vacated and abandoned is excess; and

WHEREAS, the proposed vacation of the subject public service easement would have no effect on existing improvements or easements; and

WHEREAS, vacation and abandonment of the public service easement as proposed would remove the encumbrances from the title, thereby allowing the affected property owner to improve the affected portions of the property; and

WHEREAS, in accordance with Streets and Highways Code Section 8313 and Government Code Section 65402, the local planning agency is required to consider the proposed vacation action and to report on the conformity with the adopted General Plan; and

WHEREAS, on at a regularly-scheduled and duly noticed meeting held on July 17, 2023, the Planning Commission did consider the proposed summary vacation of public service easement; and

WHEREAS, the Planning Commission did review and consider an Environmental Impact Report (FEIR21-001) (SCH No. 2021040009) for said request pursuant to the California Environmental Quality Act (CEQA).

NOW, THEREFORE, the Planning Commission does hereby resolve as follows:

- A. The foregoing recitals are true and correct, and are hereby incorporated by reference into this Resolution.
- B. The Planning Commission hereby recommends that the City Council approve the summary vacation of this public service easement as described and depicted on the attached Exhibits A and B, incorporated by reference and made a part of this Resolution as though fully set forth herein.
- C. The Planning Commission's decision is based on the following findings and determinations:
 - 1. The proposed public service easement vacation is consistent with the City's General Plan.
 - 2. The proposed public service easement vacation complies with the objectives of the adopted City-wide Land Use Policy Plan.
 - 3. The affected public service easement is hereby determined to be excess.
 - 4. The proposed public service easement vacation would have no effect on existing improvements or easements.
 - 5. The proposed public service easement vacation will not be detrimental to public health, safety, and welfare.
 - 6. All requirements of California Environmental Quality Act (CEQA) have been met in that the proposed street vacations will not have a significant effect on the environment, as reviewed and analyzed in the Environmental Impact Report (FEIR21-001) (SCH No. 2021040009).
- D. To the extent permitted by law, the applicant/developer shall defend and hold the City of San Marcos, its agents and employees harmless from liability from: (i) any and all actions, claims, damages, injuries, challenges and/or costs of liabilities arising from the City's approval of any and all entitlements or permits arising from the project as defined in the conditions of approval, or issuance of grading or building permits; (ii) any damages, liability and/or claim of any kind for any injury to or death of any person, or damage or injury of any kind to property which may arise from or be related to the direct or indirect operations of the applicant/developer or its contractors, subcontractors, agents, employees or other persons acting on applicant/developer's behalf which relate to the project; and (iii) any and all damages, liability and/or claims of any kind arising from operation of the project. The applicant/developer further agrees that such indemnification and hold

harmless shall include all defense related fees and costs associated with the defense of City by counsel selected by the City. This indemnification shall not terminate upon expiration of the conditions of approval or completion of the project, but shall survive in perpetuity.

PASSED, APPROVED AND ADOPTED by the Planning Commission of the City of San Marcos, California, at a regular meeting thereof, held on this 17th day of July, 2023 by the following roll call vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

APPROVED:

Christopher Carroll, Chairman

ATTEST:

Gina Jackson, Senior Office Specialist

Exhibit(s):

Exhibit A – Street Vacation Legal Description

Exhibit B – Plat of Street Vacation

EXHIBIT 'A'
LEGAL DESCRIPTION OF SLOPE EASEMENT VACATION

ALL THAT PORTION OF THE SLOPE EASEMENT AS DESCRIBED IN THAT CERTAIN FINAL ORDER OF CONDEMNATION PER DOCUMENT RECORDED JULY 24, 2012 AS INSTRUMENT NO. 2012-0429406 OF OFFICIAL RECORDS, LYING WITHIN THOSE PORTIONS OF LOTS 1 AND 3 OF SECTION 18, TOWNSHIP 12 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF SAN MARCOS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY APPROVED DECEMBER 14, 1885.

EXHIBIT "B"

SCALE: 1" = 100'



CURVE DATA :

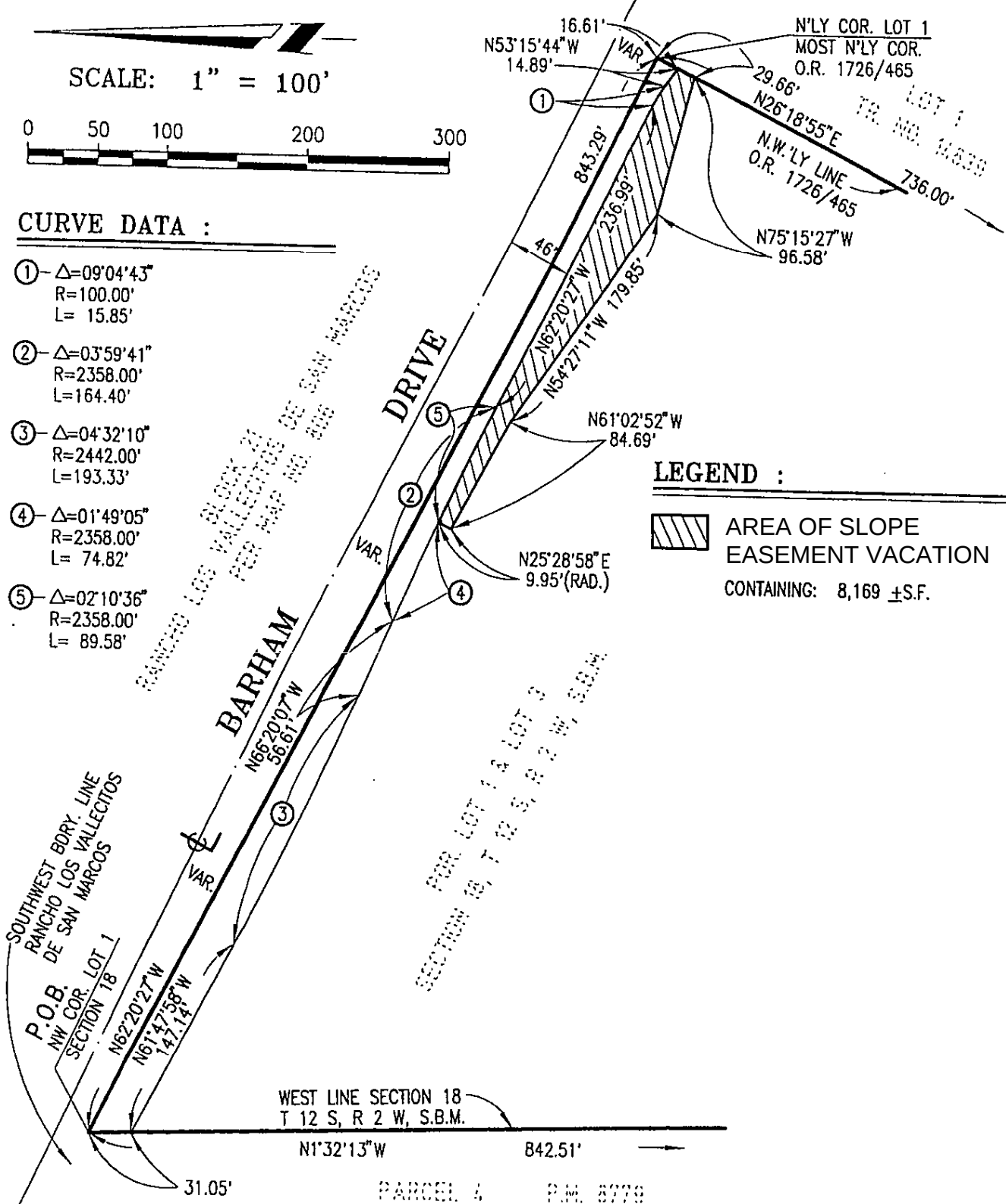
- ① - $\Delta = 09^{\circ}04'43''$
R = 100.00'
L = 15.85'
- ② - $\Delta = 03^{\circ}59'41''$
R = 2358.00'
L = 164.40'
- ③ - $\Delta = 04^{\circ}32'10''$
R = 2442.00'
L = 193.33'
- ④ - $\Delta = 01^{\circ}49'05''$
R = 2358.00'
L = 74.82'
- ⑤ - $\Delta = 02^{\circ}10'36''$
R = 2358.00'
L = 89.58'

LEGEND :



AREA OF SLOPE
EASEMENT VACATION

CONTAINING: 8,169 $\pm$ S.F.



Revised By	LNS	Date	10/22/07
Approved By		Date	
Checked By		Date	
Drawn By	AMB/LNS	Date	10/09/06

CITY OF SAN MARCOS

EXHIBIT "B"
SLOPE EASEMENT VACATION
APN 228-310-01

Scale
1"=100'

Ref.
15,267

Tracing No.
